AGENDA ITEM 4A

Public Hearing for Planned Unit Development (PUD) Amendment - Lot 1, Southport West Replat Five - HOA Restaurant Holder, LLC

CITY OF LA VISTA
PLANNING DIVISION

RECOMMENDATION REPORT

CASE NUMBER: PPUD-18-0005 For Hearing of: November 15, 2018
Report Prepared on: November 6, 2018

I. GENERAL INFORMATION

A. APPLICANT: HOA Restaurant Holder, LLC

B. PROPERTY OWNER(S):

RBTJ LLC
PO Box 248
Paxton, NE 69155

C. LOCATION: South of Interstate 80 on northwest corner Westport Parkway.

D. LEGAL DESCRIPTION: Lot 1 Southport West Replat Five

E. REQUESTED ACTION(S):
Planned Unit Development (PUD) Site Plan amendment to allow for the development of a restaurant.

F. EXISTING ZONING AND LAND USE:
C-3 Highway Commercial/Office Park District, Gateway Corridor District (Overlay District), and Southport West PUD District (Overlay District); the property is currently vacant.

G. PROPOSED USES: Developer wishes to construct a 5,633 square foot freestanding restaurant building.

H. SIZE OF SITE: 3.39 Acres.

II. BACKGROUND INFORMATION

A. EXISTING CONDITION OF SITE: The existing site is vacant ground. There is a slight downward grade to the south.

B. GENERAL NEIGHBORHOOD/AREA LAND USES AND ZONING:

1. **North:** Andover Pointe; R-3 High Density Residential and Gateway Corridor District (Overlay District) (west of Interstate 80).

2. **West:** Boot Barn; C-3 Highway Commercial/Office Park District, Gateway Corridor District (Overlay District), and Southport West PUD District (Overlay District)
3. **South:** Cabela's; C-3 Highway Commercial/Office Park District, Gateway Corridor District (Overlay District), and Southport West PUD District (Overlay District)
4. **East:** Mutual of Omaha Bank; C-3 Highway Commercial/Office Park District, Gateway Corridor District (Overlay District), and Southport West PUD District (Overlay District)

C. RELEVANT CASE HISTORY:

1. The PUD Plan and Ordinance for Southport West was originally approved on December 21, 2004.
2. The PUD Ordinance for Southport West was last amended on February 16, 2016.
3. The Final PUD Site Plan, Replat, and Subdivision Agreement for Southport West Replat 5 were approved on October 7, 2014.

III. ANALYSIS

A. COMPREHENSIVE PLAN: The Future Land Use Map of the Comprehensive Plan designates this property for commercial uses.

B. OTHER PLANS: N/A

C. TRAFFIC AND ACCESS:

1. Access to the property will be provided from an existing entrance off of Westport Parkway that currently serves Boot Barn and the rest of Southport West Replat 5. Upon development of the balance of this lot, a connection northward to Lot 16 Southport West will be constructed to allow through-access.

2. The proposed development of a restaurant on part of Lot 1 is consistent with the range of uses assumed for Southport West in prior traffic impact studies. Additionally, the applicant has provided a statement as to expected peak hour trips (inbound and outbound) during the weekday, evening rush hour of 4:30 to 5:30 pm. Based on this information, the City Engineer has concluded that a new traffic impact study would not be required.

D. UTILITIES: All utilities are available to the site.

E. PARKING REQUIREMENTS:

1. The plans indicate approximately 5,633 square feet of gross floor area. The zoning regulations would require one stall per 100 square square feet plus one space per employee on the peak shift. The gross floor

area requires 57 stalls. The peak shift employment has been stated as 20 employees during peak shift. The parking count is 114 stalls (110 without the "food to-go" stalls) which exceeds the requirement.

F. LANDSCAPING:

The landscape plan is currently under review by the City's Design Review Architect as part of the overall building and site design package. The design review process needs to be substantially complete prior to City Council review.

G. BUILDING DESIGN:

The building design is currently under review by the City's Design Review Architect as part of the overall building and site design package. The design review process needs to be substantially complete prior to City Council review.

IV. REVIEW COMMENTS:

1. The applicant has submitted a proposed schedule of construction that is compliant and acceptable to staff.

2. Steve Thornburg of the Papillion Fire Department has noted that the Fire Department approves of the PUD Amendment as long as the proposed development complies with emergency responder radio coverage requirements. This shall be verified by the Papillion Fire Department upon the completion of construction.

3. The development will need to obtain FAA approval prior to the issuance of a building permit.

4. The proposed common area installation and maintenance agreement needs to be approved, executed and recorded prior to obtaining a building permit. The form of the agreement must be approved prior to City Council action on the PUD.

V. STAFF RECOMMENDATION – PUD SITE PLAN:

Approval of the PUD Site Plan for a restaurant development contingent on satisfactory finalization and recording of a common area installation and maintenance agreement and the substantial completion of the design review process prior to City Council approval, as the PUD Site Plan request is consistent with the Comprehensive Plan and the Zoning Ordinance.

VI. ATTACHMENTS TO REPORT:

1. Vicinity Map
2. Staff Review and Consultant Response Letters
3. Draft PUD Site Plan Map Set

VII. COPIES OF REPORT TO:

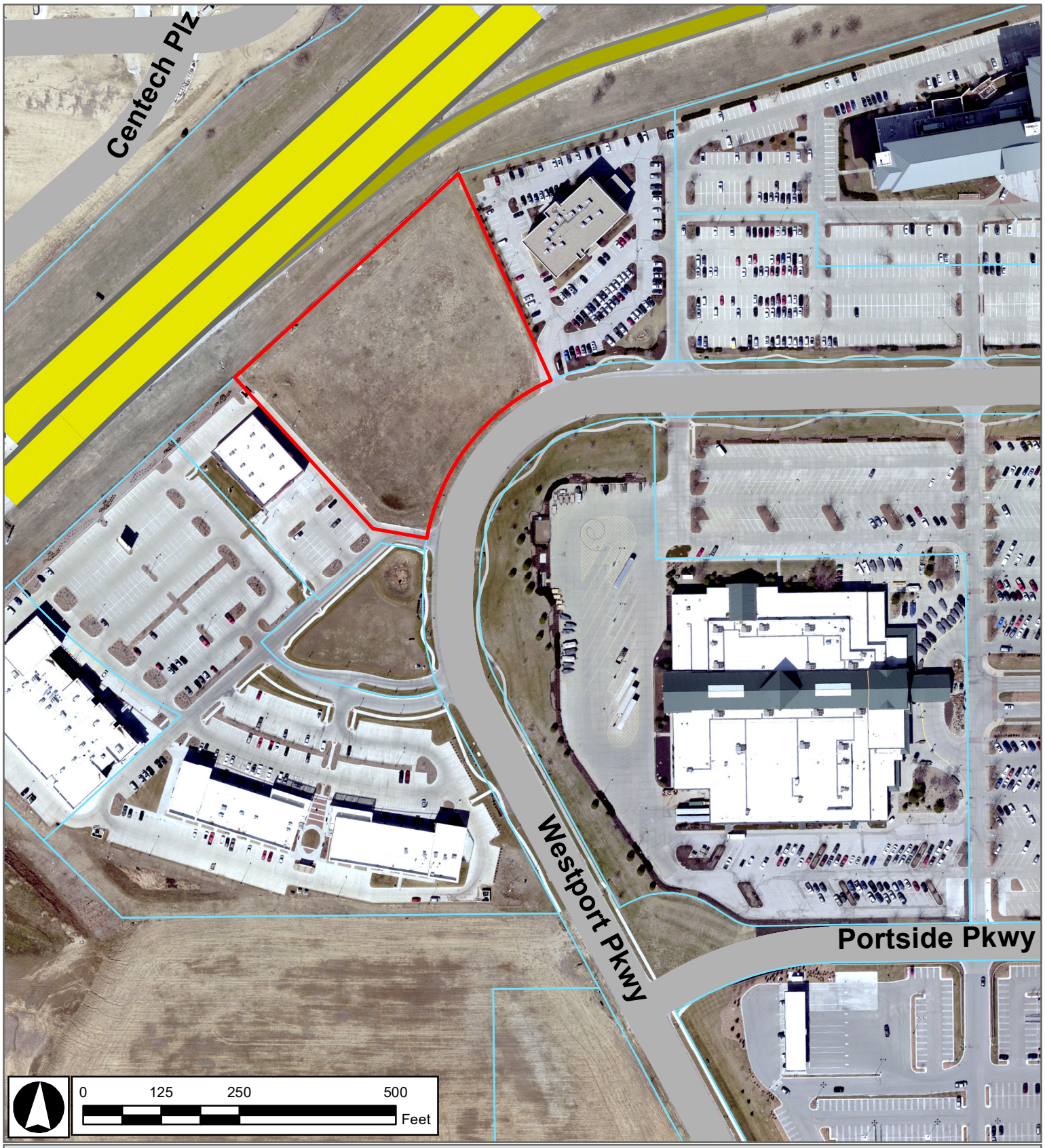
1. Brian Nebel, Consolidated Development Services
2. LeAmber Yisrael, HOA Restaurant Holder, LLC
3. David Tipton, CEI Engineering
4. Tim Holzfaster, RBTJ, LLC
5. Public Upon Request

Prepared by:

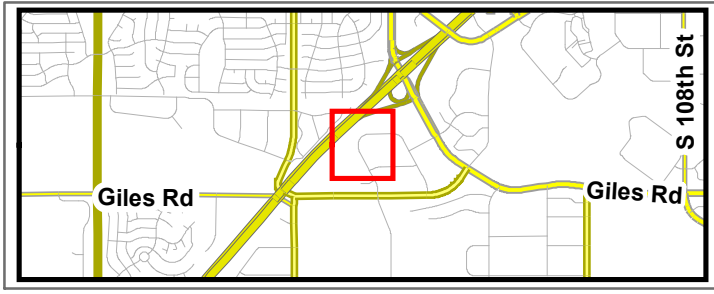
11-9-18

Community Development Director Date

I:\Community Development\Planning Department\Planning Commission\Staff Reports\18memos\PPUD-18-0005 - Lot 1 Southport West Replat 5 - Hooters.docx



Project Vicinity Map



Hooters PUD Amendment:
Lot 1, Southport West Replat Five

11/7/18
CRB

La Vista

September 17, 2018

Brian Nebel
Consolidated Development Services
14901 Quorum Drive, Suite 310
Dallas, TX 75254

RE: Hooters Restaurant
Proposed Planned Unit Development (PUD) Site Plan Amendment - Initial Review

Mr. Nebel,

We have reviewed the documents submitted for the above-referenced application. Based on the elements for consideration set forth in the applicable sections of the Zoning Ordinance and in reference to the existing PUD plan that was approved on October 7, 2014, for Southport West Replat Five which also covered this lot, the City has the following comments:

1. Article 5.15.04.01: The applicant needs to submit a proposed schedule of construction that is compliant with this article.

2. Article 5.15.04.02: A copy of a proposed common area installation and maintenance agreement needs to be provided along with a statement identifying which entities are to be a party to the agreement. It appears at a minimum, the shared, private infrastructure would be the shared roadway along the common boundary of Lots 1 and 2 as well as the front driveway across the restaurant site to the remaining portion of Lot 1. If there are any other items to be shared, such as lighting, they need to be set forth in the agreement. A final version that has been approved, executed and recorded will be needed prior to obtaining a building permit. Staff recommends the form of the agreement be approved prior to the City Council action on the PUD. The portion of the existing drainage and detention easement in favor of the City and located on Lot 1 will need to be released. This should occur after a building permit is issued and prior to the Certificate of Occupancy if the PUD is approved and the development proceeds. This portion of the existing easement is not required to remain.

3. Article 5.15.04.03: The proposed development of a restaurant on part of Lot 1 is consistent with the range of uses assumed for Southport West in prior traffic impact studies. For this reason, the City Engineer does not recommend a new traffic impact study be undertaken. But, the applicant needs to provide a statement as to expected peak hour trips (inbound and outbound) during the weekday, evening rush hour of 4:30 to 5:30 pm. Relative to the proposed driveways being adequate to serve the proposed development, the City

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Fire
8110 Park View Blvd.
p: 402-331-4748
f: 402-331-0410

Golf Course
8305 Park View Blvd.
p: 402-339-9147

Library
9110 Giles Rd.
p: 402-537-3900
f: 402-537-3902

Police
7701 South 96th St.
p: 402-331-1582
f: 402-331-7210

Public Buildings & Grounds
8112 Park View Blvd.
p: 402-331-4343
f: 402-331-4375

Public Works
9900 Portal Rd.
p: 402-331-8927
f: 402-331-1051

Recreation
8116 Park View Blvd.
p: 402-331-3455
f: 402-331-0299

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info@cityoflavista.org

Engineer recommends that the proposed entry drive in front of the restaurant be better aligned with the existing driveway that leads southwesterly in front of the Boot Barn. The concern is the short amount of stacking to the internal intersection from Westport Parkway and potential for gridlock with conflicting traffic movements. A representative sketch of the necessary changes has been attached to this review letter. The applicant should expect that there will be congestion at peak hours at intersections connecting to Giles Road.

4. Article 5.15.04.04: The Papillion Fire Marshall's office requires the provision of a separate Emergency Vehicle Access Plan which includes Site Plan, Fire Lane, Fire Hydrants, PIV, and FDC - Use Auto-Turn Professional, or similar program, using specifications provided by Fire Marshal.

   All new buildings shall have approved radio coverage for emergency responders within the building based upon the existing coverage levels of the public safety communication systems of the jurisdiction at the exterior of the building. This section shall not require improvement of the existing public safety communication systems. This shall be verified upon the completion of construction.

5. Article 5.15.04.05: The application to amend the PUD needs to be signed by at least 51% of the initial PUD property owners. Provision of signed letters of support would be acceptable.

6. Article 5.15.04.06: The applicant will need to update the open space and site parking data for Lot 1 (both the proposed development portion and an assumption for the remaining portion of Lot 1) to amend the information set forth in the current PUD plan for Southport West Replat Five approved on October 7, 2014. There needs to be an indication of the continuation of the proposed front driveway across the remainder of Lot 1 to reach the shared access with adjacent Lot 16 of Southport West, which is consistent with the existing PUD plan.

7. Article 5.15.04.07: The current PUD indicates that Lot 1 is not subject to sharing of parking with other lots. The plans indicate approximately 5,633 SF of gross floor area. The zoning regulations would require one stall per 100 square feet plus one space per employee on the peak shift. The gross floor area requires 57 stalls. The peak shift employment is not stated. The parking count is 114 stalls (110 without the "to-go" stalls) which most likely exceeds the requirement. The applicant needs to state the peak employment shift to complete the parking review. It should be noted that the data table on the Site Plan indicates required parking to be 112 spaces based on 1 per 100 sf, so some clarification is needed or correction to the data table. If there is excess parking, the applicant needs to indicate whether there will be shared parking with the remainder of Lot 1.

8. Article 5.15.04.08: The Site Plan needs to have dimensions of green spaces along Westport Parkway and I-80 labelled to demonstrative compliance with the minimum requirement of 15 feet. Also, the site plan needs to contain data

showing compliance with the minimum requirement of 25% greenspace for the total lot and 10% of the parking lot area being landscaped as set forth in the current PUD for this property.

The grading plan submitted does not depict the required berming of the landscaped areas along Westport Parkway as required per Section 8(B)(ii)(c) of the Southport West PUD.

The landscape plan is currently under review by the City's Design Review Architect as part of the overall building and site design package. A separate design review letter will be forwarded once the initial review has been completed. The design review process needs to be substantially complete prior to proceeding through City Council approval process.

9. Article 5.15.04.09: The setbacks in the site information table and on the map of the site plan need to depict the setbacks set forth within Section 5.12.06.01 of the Zoning Ordinance. Specifically,

Front Yard Setback:	25'
Front Yard Setback (when parking present in front yard):	50'
Side Yard Setback:	15'
Rear Yard Setback:	15'

Please note that the lot line along the Interstate 80 right-of-way is not considered a rear yard. As per the graphic, "Example of possible Lot Configurations and Yard Requirement" on page 32 of the Zoning Ordinance, this is considered a front yard.

10. Article 5.15.04.10: Building coverage does not appear to be an issue, but data should be set forth on the site layout plan to show compliance with the 60% limitation.

11. Article 5.15.04.11: Not applicable.

12. Article 5.15.04.12: While there is not specifically common open space, there is shared, private infrastructure. The applicant should be aware of the requirement to participate in the operation and maintenance of such facilities.

13. Article 5.15.04.13: Not applicable.

14. Article 5.15.04.14: The plan is compliant as proposed subject to showing the remainder of Lot 1 having a connection to the proposed development and the shared access with Lot 16 of Southport West.

15. Article 5.15.04.15: The sidewalk along Westport Parkway is properly noted to be 5 feet wide by 6 inches thick. The sidewalk needs to be continued to the

existing drive approach and align with the existing sidewalk on the southerly side of the existing drive approach. The existing sidewalk is not shown.

16. Article 5.15.04.16: Not applicable.

17. Articles 5.15.04.17-21: The building and site design is currently under review by the City's Design Review Architect. A separate design review letter will be forwarded once the initial review has been completed. The design review process needs to be substantially complete prior to proceeding through the City Council approval process.

18. Article 5.15.05.04: Provide a statement on the Post Area Drainage Map that the drainage system will be sized to address first ½ of storm water runoff for water quality and to limit peak storm water runoff flows for 2-year events to pre-development levels.

Note that the development will need to obtain FAA approval prior to the issuance of a building permit. Also, there may be private, protective covenants recorded against the property that the applicant should review.

In order for the PUD to be considered for review at the October 18, 2018 Planning Commission meeting, revised PUD plan set documents will need to be provided for further review. Please submit 4 full size copies (along with electronic copies) of the revised documents by September 26, 2018 to ensure that the application stays on track for the review by Planning Commission.

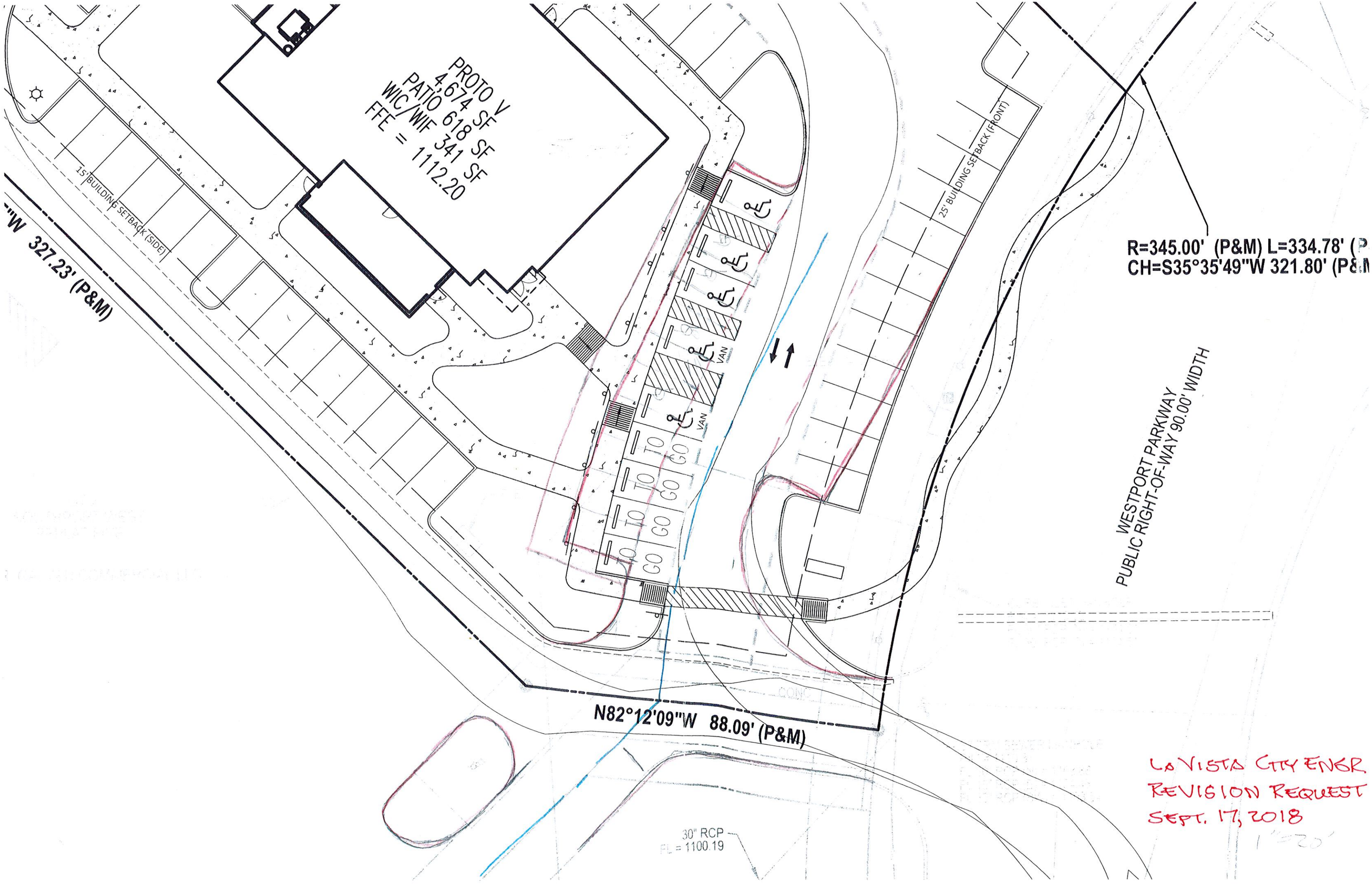
If you have any questions regarding these comments please feel free to contact me at any time.

Thank you,

Christopher Solberg, AICP
City Planner

Attachment

cc: David Tipton, CEI Engineering
Ann Birch, Community Development Director
John Kottmann, City Engineer


PROTO V
4,674 SF
PATIO 618 SF
WIC/WIF 341 SF
FFE = 1112.20
15' BUILDING SETBACK (SIDE)
25' BUILDING SETBACK (FRONT)
"W 327.23' (P&M)
R=345.00' (P&M) L=334.78' (P
CH=S35°35'49"W 321.80' (P&M
WESTPORT PARKWAY
PUBLIC RIGHT-OF-WAY 90.00' WIDTH
VAN
VAN
TO GO
TO GO
TO GO
TO GO
N82°12'09"W 88.09' (P&M)
30" RCP
FL = 1100.19
LA VISTA CITY ENGR.
REVISION REQUEST
SEPT. 17, 2018
1"=20'

CDS
Consolidated Development Services

Response to Proposed Planned Unit Development (PUD) Site Plan Amendment
Initial Review Comments
for
Hooters
12710 Westport Parkway
La Vista, NE 68138

September 26, 2018

Introduction:
Below in **bold font** are the written responses to the Initial Comments for the above project.

1. Article 5.15.04.01: The applicant needs to submit a proposed schedule of construction that is compliant with this article.

   Hooters is preparing this schedule. As it has to account for replat, DRB, City/State Health/FAA approvals of building plans, that critical path timeline is being confirmed.

2. Article 5.15.04.02: A copy of a proposed common area installation and maintenance agreement needs to be provided along with a statement identifying which entities are to be a party to the agreement. It appears at a minimum, the shared, private infrastructure would be the shared roadway along the common boundary of Lots 1 and 2 as well as the front driveway across the restaurant site to the remaining portion of Lot 1. If there are any other items to be shared, such as lighting, they need to be set forth in the agreement. A final version that has been approved, executed and recorded will be needed prior to obtaining a building permit. Staff recommends the form of the agreement be approved prior to the City Council action on the PUD. The portion of the existing drainage and detention easement in favor of the City and located on Lot 1will need to be released. This should occur after a building permit is issued and prior to the Certificate of Occupancy if the PUD is approved and the development proceeds. This portion of the existing easement is not required to remain.

   Hooters is working on this document with their legal counsel with the goal of approval prior to the 11/20/18 City Council date.

3. Article 5.15.04.03: The proposed development of a restaurant on part of Lot 1 is consistent with the range of uses assumed for Southport West in prior traffic impact studies. For this reason, the City Engineer does not recommend a new traffic impact study be undertaken. But, the applicant needs to provide a statement as to expected peak hour trips (inbound and outbound) during the weekday, evening rush hour of 4:30 to 5:30 pm.

   We are working with Hooters and our engineer to confirm the excepted peak hour trips.

   Relative to the proposed driveways being adequate to serve the proposed development, the City Engineer recommends that the proposed entry drive in front of the restaurant be better aligned

with the existing driveway that leads southwesterly in front of the Boot Barn. The concern is the short amount of stacking to the internal intersection from Westport Parkway and potential for gridlock with conflicting traffic movements. A representative sketch of the necessary changes has been attached to this review letter. The applicant should expect that there will be congestion at peak hours at intersections connecting to Giles Road.

The revised plans show the entry configuration revised per City Engineer's redlined plan.

4. Article 5.15.04.04: The Papillion Fire Marshall's office requires the provision of a separate Emergency Vehicle Access Plan which includes Site Plan, Fire Lane, Fire Hydrants, PIV, and FDC - Use Auto-Turn Professional, or similar program, using specifications provided by Fire Marshal.

   The revised plans include an Emergency Vehicle Access Plan sheet.

   All new buildings shall have approved radio coverage for emergency responders within the building based upon the existing coverage levels of the public safety communication systems of the jurisdiction at the exterior of the building. This section shall not require improvement of the existing public safety communication systems. This shall be verified upon the completion of construction.

   Acknowledged

5. Article 5.15.04.05: The application to amend the PUD needs to be signed by at least 51% of the initial PUD property owners. Provision of signed letters of support would be acceptable.

   We have obtained a list of current PUD property owners, and will be sending letters to all, requesting signed letters of support. We understand that this will need to be provided prior to City Council approval.

6. Article 5.15.04.06: The applicant will need to update the open space and site parking data for Lot 1 (both the proposed development portion and an assumption for the remaining portion of Lot 1 to amend the information set forth in the current PUD plan for Southport West Replat Five approved on October 7, 2014. There needs to be an indication of the continuation of the proposed front driveway across the remainder of Lot 1 to reach the shared access with adjacent Lot 16 of Southport West, which is consistent with the existing PUD plan.

   The revised plans address this comment.

7. Article 5.15.04.07: The current PUD indicates that Lot 1is not subject to sharing of parking with other lots. The plans indicate approximately 5,633 SF of gross floor area. The zoning regulations would require one stall per 100 square feet plus one space per employee on the peak shift. The gross floor area requires 57 stalls. The peak shift employment is not stated. The parking count is 114 stalls (110 without the "to-go" stalls) which most likely exceeds the requirement. The applicant needs to state the peak employment shift to complete the parking review. It should be noted that the data table on the Site Plan indicates required parking to be 112 spaces based on 1per 100 sf, so some clarification is needed or correction to the data table. If there is excess parking, the applicant needs to indicate whether there will be shared parking with the remainder of Lot 1.

As this is the first location where Hooters will be constructing their smaller building, the number of employees is being confirmed. We will have that figure and an updated parking count prior to the 10/18 Planning Commission meeting.

8. Article 5.15.04.08: The Site Plan needs to have dimensions of green spaces along Westport Parkway and 1-80 labelled to demonstrate compliance with the minimum requirement of 15 feet. Also, the site plan needs to contain data showing compliance with the minimum requirement of 25% greenspace for the total lot and 10% of the parking lot area being landscaped as set forth in the current PUD for this property.

   The revised plans address these comments.

   The grading plan submitted does not depict the required berming of the landscaped areas along Westport Parkway as required per Section 8(B) (ii) (c) of the Southport West PUD.

   Please confirm how large of an area (i.e. percentage of the overall Secondary Street Frontage Green Space) must be bermed, and what the minimum berm height requirement is. Exhibit C of the Southport West Design Guidelines refers to a 3' maximum height.

   The landscape plan is currently under review by the City's Design Review Architect as part of the overall building and site design package. A separate design review letter will be forwarded once the initial review has been completed. The design review process needs to be substantially complete prior to proceeding through City Council approval process.

   We will respond to the City Design Review Architect's comments as soon as possible once we receive them.

9. Article 5.15.04.09: The setbacks in the site information table and on the map of the site plan need to depict the setbacks set forth within Section 5.12.06.01of the Zoning Ordinance. Specifically,

   Front Yard Setback: 25'

   Front Yard Setback (when parking present in front yard): 50'

   Side Yard Setback: 15'

   Rear Yard Setback: 15'

   Please note that the lot line along the Interstate 80 right-of-way is not considered a rear yard. As per the graphic, "Example of possible Lot Configurations and Yard Requirement" on page 32 of the Zoning Ordinance, this is considered a front yard.

   The revised plans address this comment.

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    The revised plans address this comment.

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    Acknowledged

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    The revised plans show the new sidewalk being extended to the curb and will align with the existing sidewalk on the south side of the driveway.

16. Article 5.15.04.16: Not applicable.

17. Articles 5.15.04.17-21: The building and site design is currently under review by the City's Design Review Architect. A separate design review letter will be forwarded once the initial review has been completed. The design review process needs to be substantially complete prior to proceeding through the City Council approval process.

    We will respond to the City Design Review Architect's comments as soon as possible once we receive them.

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    The revised plans address this comment.

    Note that the development will need to obtain FAA approval prior to the issuance of a building permit.

    Acknowledged.

    Also, there may be private, protective covenants recorded against the property that the applicant should review.

    Acknowledged.

    END OF COMMENTS

Thank you for your time and attention to this project. Please contact me with any questions or comments.

Sincerely,

Brian Nebel
Property Development Manager

October 1, 2018

Brian Nebel
Consolidated Development Services
14901 Quorum Drive, Suite 310
Dallas, TX 75254

RE: Hooters Restaurant
Proposed Planned Unit Development (PUD) Site Plan Amendment – 2nd Review

Mr. Nebel,

We have reviewed the resubmitted documents submitted for the above-referenced application. Based on the elements for consideration set forth in the applicable sections of the Zoning Ordinance and in reference to the existing PUD plan that was approved on October 7, 2014, for Southport West Replat Five which also covered this lot, the City has the following comments:

1. Article 5.15.04.01: The applicant needs to submit a proposed schedule of construction that is compliant with this article. Applicant has notified the City that work on this document is still underway. We await the submittal of this document.

2. Article 5.15.04.02: A copy of a proposed common area installation and maintenance agreement needs to be provided along with a statement identifying which entities are to be a party to the agreement. It appears at a minimum, the shared, private infrastructure would be the shared roadway along the common boundary of Lots 1 and 2 as well as the front driveway across the restaurant site to the remaining portion of Lot 1. If there are any other items to be shared, such as lighting, they need to be set forth in the agreement. A final version that has been approved, executed and recorded will be needed prior to obtaining a building permit. Staff recommends the form of the agreement be approved prior to the City Council action on the PUD. The portion of the existing drainage and detention easement in favor of the City and located on Lot 1 will need to be released. This should occur after a building permit is issued and prior to the Certificate of Occupancy if the PUD is approved and the development proceeds. This portion of the existing easement is not required to remain.

   Applicant has notified the City that work on this document is still underway. We await the submittal of this document. Please note that the form of the agreement will need be approved prior to submittal of final documents for City Council packets.

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3. Article 5.15.04.03: The proposed development of a restaurant on part of Lot 1 is consistent with the range of uses assumed for Southport West in prior traffic impact studies. For this reason, the City Engineer does not recommend a new traffic impact study be undertaken. But, the applicant needs to provide a statement as to expected peak hour trips (inbound and outbound) during the weekday, evening rush hour of 4:30 to 5:30 pm. Applicant has notified the City that work on this document is still underway. We await the submittal of this document.

4. Article 5.15.04.05: The application to amend the PUD needs to be signed by at least 51% of the initial PUD property owners. Provision of signed letters of support would be acceptable. Applicant has notified the City that work on this document is still underway. We await the submittal of this document.

5. Article 5.15.04.06: The applicant needs to provide clarification on the data table that the parking info is NOT for all of Lot 1 and that the remaining undeveloped area will have to provide its own. Please provide a note on Sheets 2 and 4 stating that there is to be a future extension of the driveway across the remainder of Lot 1 to reach the shared access point at the common line of Lot 1, Replat Five and Lot 16. The intention of this note is to try to avoid future conflicts if a connection is not illustrated as part of this plan set.

6. Article 5.15.04.07: The current PUD indicates that Lot 1 is not subject to sharing of parking with other lots. The plans indicate approximately 5,633 SF of gross floor area. The zoning regulations would require one stall per 100 square feet plus one space per employee on the peak shift. The gross floor area requires 57 stalls. The peak shift employment is not stated. The parking count is 114 stalls (110 without the "to-go" stalls) which most likely exceeds the requirement. The applicant needs to state the peak employment shift to complete the parking review. It should be noted that the data table on the Site Plan indicates required parking to be 112 spaces based on 1 per 100 sf, so some clarification is needed or correction to the data table. If there is excess parking, the applicant needs to indicate whether there will be shared parking with the remainder of Lot 1. Applicant has notified the City that work on this document is still underway. We await the submittal of this document.

7. Article 5.15.04.08: The grading plan submitted does not depict the required berming of the landscaped areas along Westport Parkway as required per Section 8(B)(ii)(c) of the Southport West PUD.

   The application has submitted a request for clarification regarding this aspect. Attached is a copy of the existing landscaping plan for the Southport West Replat 5 for review. As depicted on this plan, one "Non-Corner Streetscape" lies in the vicinity of the Hooters frontage on Westport Parkway. This is the expected vicinity of the berming and related landscaping as noted in the detail. Comments from the City's Design Review Architect are expected to reflect this requirement as well.

8. Article 5.15.04.09: The setbacks in the site information table and on the map of the site plan need to depict the setbacks set forth within Section 5.12.06.01 of the Zoning Ordinance. Specifically,

Front Yard Setback:	25'
Front Yard Setback (when parking present in front yard):	50'
Side Yard Setback:	15'
Rear Yard Setback:	15'

This table has not been sufficiently updated since the initial review letter.

Also, the side building setback along the northeast property line is still depicted at 10 feet. This needs to be revised to 15 feet.

9. Article 5.15.04.14: Please provide a note on Sheets 2 and 4 stating that there is to be a future extension of the driveway across the remainder of Lot 1 to reach the shared access point at the common line of Lot 1, Replat Five and Lot 16. The intention of this note is to try to avoid future conflicts if a connection is not illustrated as part of this plan set.

10. Article 5.15.04.15: The existing sidewalk on the south is still not shown.

At this time staff has concluded that the PUD application is not in acceptable form for the October Planning Commission. In order for the PUD to be considered for review at the November 15, 2018 Planning Commission meeting, revised PUD plan set documents will need to be provided for further review. Please submit 4 full size copies (along with electronic copies) in a timely manner to ensure that the application stays on track for the review by Planning Commission in November.

If you have any questions regarding these comments please feel free to contact me at any time.

Thank you,

Christopher Solberg, AICP
City Planner

Attachment

cc: David Tipton, CEI Engineering
Ann Birch, Community Development Director
John Kottmann, City Engineer

CDS
Consolidated Development Services

Response to Proposed Planned Unit Development (PUD) Site Plan Amendment
Second Review Comments
for
Hooters
12710 Westport Parkway
La Vista, NE 68138

October 22, 2018

Introduction:
Below in ***bold font*** are the written responses to the Second Comments for the above project.

1. Article 5.15.04.01: The applicant needs to submit a proposed schedule of construction that is compliant with this article.

   A Preliminary timeline is included in the resubmittal package.

2. Article 5.15.04.02: A copy of a proposed common area installation and maintenance agreement needs to be provided along with a statement identifying which entities are to be a party to the agreement. It appears at a minimum, the shared, private infrastructure would be the shared roadway along the common boundary of Lots 1 and 2 as well as the front driveway across the restaurant site to the remaining portion of Lot 1. If there are any other items to be shared, such as lighting, they need to be set forth in the agreement. A final version that has been approved, executed and recorded will be needed prior to obtaining a building permit. Staff recommends the form of the agreement be approved prior to the City Council action on the PUD. The portion of the existing drainage and detention easement in favor of the City and located on Lot 1will need to be released. This should occur after a building permit is issued and prior to the Certificate of Occupancy if the PUD is approved and the development proceeds. This portion of the existing easement is not required to remain.

   Received sample easement document from Planning staff 10/19. Hooters legal counsel is preparing a draft document, which will be submitted for staff review prior to 11/15/18 Planning Commission Meeting date.

3. Article 5.15.04.03: The proposed development of a restaurant on part of Lot 1 is consistent with the range of uses assumed for Southport West in prior traffic impact studies. For this reason, the City Engineer does not recommend a new traffic impact study be undertaken. But, the applicant needs to provide a statement as to expected peak hour trips (inbound and outbound) during the weekday, evening rush hour of 4:30 to 5:30 pm.

   Per the current ITE Manual (for a High-Turnover/Sit-Down Restaurant), the expected total number of peak-hour trips is 55, which includes 33 trips entering (60%) and 22 trips exiting (40%).

4. Article 5.15.04.05: The application to amend the PUD needs to be signed by at least 51% of the initial PUD property owners. Provision of signed letters of support would be acceptable.

   Hooters legal counsel has sent requests to all current PUD property owners requesting signed letters of support. I have requested documentation of shipment and/or receipt by each owner from counsel. We understand that this documentation will need to be submitted to staff prior to the Planning Commission Meeting.

5. Article 5.15.04.06: The applicant needs to provide clarification on the data table that the parking info is NOT for all of Lot 1 and that the remaining undeveloped area will have to provide its own.

   The Site Information table on the Site Plan (sheet 2 of 19) has been updated to state that the future development on the remainder of Lot 1 will need to provide its own parking.

   Please provide a note on Sheets 2 and 4 stating that there is to be a future extension of the driveway across the remainder of Lot 1 to reach the shared access point at the common line of Lot 1, Replat Five and Lot 16. The intention of this note is to try to avoid future conflicts if a connection is not illustrated as part of this plan set.

   Statement has been added to Sheets 2 and 4.

6. Article 5.15.04.07: The current PUD indicates that Lot 1 is not subject to sharing of parking with other lots. The plans indicate approximately 5,633 SF of gross floor area. The zoning regulations would require one stall per 100 square feet plus one space per employee on the peak shift. The gross floor area requires 57 stalls. The peak shift employment is not stated. The parking count is 114 stalls (110 without the "to-go" stalls) which most likely exceeds the requirement. The applicant needs to state the peak employment shift to complete the parking review. It should be noted that the data table on the Site Plan indicates required parking to be 112 spaces based on 1per 100 sf, so some clarification is needed or correction to the data table. If there is excess parking, the applicant needs to indicate whether there will be shared parking with the remainder of Lot 1.

   Hooters estimates to have (20) employees working during peak shift. The Site Information table on the Site Plan (sheet 2 of 19) has been updated to call out (20) employee parking spaces, and to state that the future development on the remainder of Lot 1 will need to provide its own parking.

7. The grading plan submitted does not depict the required berming of the landscaped areas along Westport Parkway as required per Section 8(B) (ii) (c) of the Southport West PUD.

   The plan set has been updated to show a bermed landscape area along the Hooters frontage.

8. Article 5.15.04.09: The setbacks in the site information table and on the map of the site plan need to depict the setbacks set forth within Section 5.12.06.01of the Zoning Ordinance. Specifically,

   Front Yard Setback: 25'

   Front Yard Setback (when parking present in front yard): 50'

Side Yard Setback: 15'

Rear Yard Setback: 15'

Please note that the lot line along the Interstate 80 right-of-way is not considered a rear yard. As per the graphic, "Example of possible Lot Configurations and Yard Requirement" on page 32 of the Zoning Ordinance, this is considered a front yard.

The Site Information table on the Site Plan (sheet 2 of 19) has been updated to note the above minimum setback requirements.

9. Article 5.15.04.14: Please provide a note on Sheets 2 and 4 stating that there is to be a future extension of the driveway across the remainder of Lot 1 to reach the shared access point at the common line of Lot 1, Replat Five and Lot 16. The intention of this note is to try to avoid future conflicts if a connection is not illustrated as part of this plan set.

   The note has been added to Sheets 2 and 4.

10. Article 5.15.04.15: The existing sidewalk on the south is still not shown.

    The revised plans show the existing sidewalk/ramp on the south side of the shared driveway in a "light" line weight, so as not to be confused with future improvements.

END OF COMMENTS

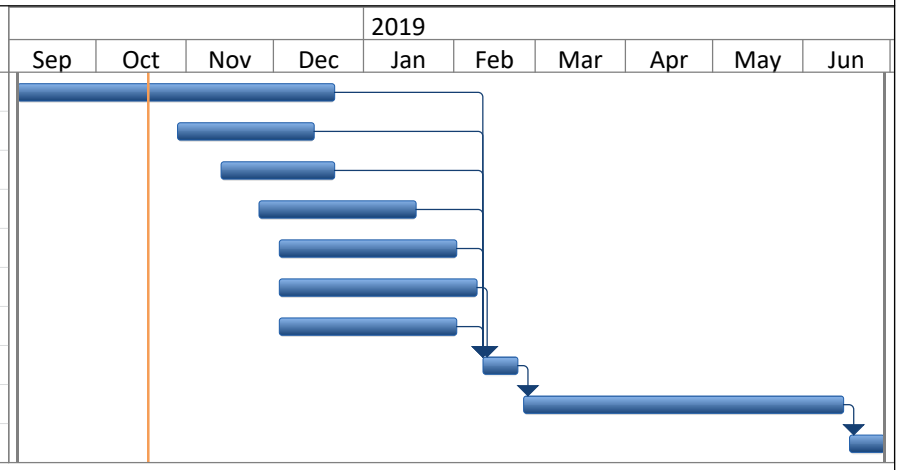
Thank you for your time and attention to this project. Please contact me with any questions or comments.

Sincerely,

Brian Nebel
Property Development Manager

Hooters - Southport West - La Vista, NE - PRELIMINARY TIMELINE

ID	Task Name	Duration	Start	Finish
1	PUD SITE PLAN AMENDMENT	79 days	Tue 9/4/18	Fri 12/21/18
2	ADMINISTRATIVE DESIGN REVIEW	35 days	Mon 10/29/18	Fri 12/14/18
3	ADMINISTRATIVE REPLAT	29 days	Tue 11/13/18	Fri 12/21/18
4	GRADING PLAN REVIEW	40 days	Mon 11/26/18	Fri 1/18/19
5	BUILDING PLAN REVIEW - CITY	45 days	Mon 12/3/18	Fri 2/1/19
6	COUNTY HEALTH PLAN REVIEW	50 days	Mon 12/3/18	Fri 2/8/19
7	BUILDING PLAN REVIEW - FAA	45 days	Mon 12/3/18	Fri 2/1/19
8	MOBILIZE	2 wks	Mon 2/11/19	Fri 2/22/19
9	CONSTRUCTION	4 mons	Mon 2/25/19	Fri 6/14/19
10	OPEN	2 wks	Mon 6/17/19	Fri 6/28/19



SITE DEVELOPMENT PLANS

HOOTERS

12710 WESTPORT PARKWAY

LA VISTA, NEBRASKA

GENERAL NOTES:

A. TOPOGRAPHIC BOUNDARY SURVEY, INCLUDING PROPERTY LINES, LEGAL DESCRIPTION, EXISTING UTILITIES, SITE TOPOGRAPHY WITH SPOT ELEVATIONS, OUTSTANDING PHYSICAL FEATURES AND EXISTING STRUCTURE LOCATIONS WAS PROVIDED BY THE FOLLOWING COMPANY, AS A CONTRACTOR TO THE SELLER/OWNER:

TOPOGRAPHY: E & A CONSULTING GROUP, INC.
10909 MILL VALLEY ROAD, SUITE 100
OMAHA, NE 68154
PHONE: 402-895-4700

CEI ENGINEERING AND ITS ASSOCIATES WILL NOT BE HELD RESPONSIBLE FOR THE ACCURACY OF THE SURVEY OR FOR DESIGN ERRORS OR OMISSIONS RESULTING FROM SURVEY INACCURACIES.

B. ALL PHASES OF SITE WORK FOR THIS PROJECT SHALL MEET OR EXCEED THE OWNER / DEVELOPER SITE WORK SPECIFICATIONS.

C. CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL OF EXISTING STRUCTURES, RELATED UTILITIES, PAVING, UNDERGROUND STORAGE TANKS AND ANY OTHER EXISTING IMPROVEMENTS AS NOTED. SEE SITE WORK SPECIFICATIONS.

D. CONTRACTOR IS TO REMOVE AND DISPOSE OF ALL DEBRIS, RUBBISH AND OTHER MATERIALS RESULTING FROM PREVIOUS AND CURRENT DEMOLITION OPERATIONS. DISPOSAL WILL BE IN ACCORDANCE WITH ALL LOCAL, STATE AND/OR FEDERAL REGULATIONS GOVERNING SUCH OPERATIONS.

E. THE GENERAL CONTRACTOR WILL BE HELD SOLELY RESPONSIBLE FOR AND SHALL TAKE ALL PRECAUTIONS NECESSARY TO AVOID PROPERTY DAMAGE TO ADJACENT PROPERTIES DURING THE CONSTRUCTION PHASES OF THIS PROJECT.

F. WARRANTY/DISCLAIMER: THE DESIGNS REPRESENTED IN THESE PLANS ARE IN ACCORDANCE WITH ESTABLISHED PRACTICES OF CIVIL ENGINEERING FOR THE DESIGN FUNCTIONS AND USES INTENDED BY THE OWNER AT THIS TIME. HOWEVER, NEITHER THE ENGINEER NOR ITS PERSONNEL CAN OR DO WARRANT THESE DESIGNS OR PLANS AS CONSTRUCTED EXCEPT IN THE SPECIFIC CASES WHERE THE ENGINEER INSPECTS AND CONTROLS THE PHYSICAL CONSTRUCTION ON A CONTEMPORANEOUS BASIS AT THE SITE.

G. SAFETY NOTICE TO CONTRACTOR: IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, THE CONTRACTOR SHALL BE SOLELY AND COMPLETELY RESPONSIBLE FOR CONDITIONS OF THE JOB SITE, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY DURING PERFORMANCE OF THE WORK. THIS REQUIREMENT WILL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS. ANY CONSTRUCTION OBSERVATION BY THE ENGINEER OF THE CONTRACTOR'S PERFORMANCE IS NOT INTENDED TO INCLUDE REVIEW OF THE ADEQUACY OF THE CONTRACTOR'S SAFETY MEASURES, IN, ON OR NEAR THE CONSTRUCTION SITE.

H. ALL CONSTRUCTION IN STATE HIGHWAY DEPARTMENT RIGHT-OF-WAY SHALL BE COORDINATED WITH THE HIGHWAY DEPARTMENT RESIDENT ENGINEER.

I. WETLANDS NOTE: ANY DEVELOPMENT, EXCAVATION, CONSTRUCTION, OR FILLING IN A U.S. CORPS OF ENGINEERS DESIGNATED WETLAND IS SUBJECT TO LOCAL, STATE AND FEDERAL APPROVALS. THE CONTRACTOR SHALL COMPLY WITH ALL PERMIT REQUIREMENTS AND/OR RESTRICTIONS AND ANY VIOLATION WILL BE SUBJECT TO FEDERAL PENALTY. THE CONTRACTOR SHALL HOLD THE OWNER/DEVELOPER, THE ENGINEER AND THE LOCAL GOVERNING AGENCIES HARMLESS AGAINST SUCH VIOLATION.

J. RESIDENT ENGINEERING SERVICES: WHEN REQUESTED BY THE OWNER, RESIDENT ENGINEERING SERVICES SHALL BE PROVIDED BY THE ENGINEERS (ON A TIME AND FREQUENCY BASIS) ACCEPTABLE TO THE CITY ENGINEER FOR IMPROVEMENTS TO PUBLIC WATER MAINS, PUBLIC SEWER, AND CITY STREETS. AT THE COMPLETION OF CONSTRUCTION, THE ENGINEER SHALL CERTIFY THE CONSTRUCTION TO BE IN COMPLIANCE WITH THE PLANS AND SPECIFICATIONS. THIS WORK WILL BE AT THE OWNER/DEVELOPER'S DIRECT EXPENSE AND SHALL BE COORDINATED WITH CEI ENGINEERING ASSOCIATES, INC. IT WILL BE THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE RESIDENT ENGINEER OF ANY PRECONSTRUCTION / CONSTRUCTION CONFERENCES AND ANY PUBLIC CONSTRUCTION 24 HOURS PRIOR TO SAID ACTION.

Vicinity Map

Not to Scale

PLAN INDEX:

1.	COVER SHEET	10.	EMERGENCY VEHICLE ACCESS PLAN
--	SURVEY	11.	DETAIL SHEET 1
2.	SITE PLAN	12.	DETAIL SHEET 2
3.	DEMOLITION PLAN	13.	DETAIL SHEET 3
4.	PAVING PLAN	14.	DETAIL SHEET 4
5.	GRADING PLAN	15.	DETAIL SHEET 5
6.	PRE-DRAINAGE AREA MAP	16.	LANDSCAPE PLAN
7.	POST-DRAINAGE AREA MAP	17.	LANDSCAPE DETAILS
8.	EROSION CONTROL PLAN	18.	IRRIGATION PLAN
9.	UTILITY PLAN	19.	PHOTOMETRIC PLAN

LEGAL DESCRIPTION

LOT 1, SOUTHPORT WEST REPLAT FIVE, AN ADDITION TO THE CITY OF LA VISTA, IN SARPY COUNTY, NEBRASKA.

SAID LOT 1, SOUTHPORT WEST REPLAT FIVE, CONTAINS AN AREA OF 147,991 SQUARE FEET OR 3.397 ACRES, MORE OR LESS.

APPROVED	DATE
CITY OF LA VISTA	_____

RESOURCE LIST:

PLANNING AND ZONING
CITY OF LA VISTA COMMUNITY
DEVELOPMENT DEPARTMENT
8116 PARK VIEW BLVD.
LA VISTA, NE 68128
ANN BIRCH
COMMUNITY DEVELOPMENT DIRECTOR
402-593-6400

ENGINEERING
CITY OF LA VISTA
ENGINEERING DEPARTMENT
9900 PORTAL ROAD
LA VISTA, NE 68128
JOHN M. KOTTMANN, P.E.
CITY ENGINEER
402-331-8927

FIRE AUTHORITY
PAPILLION FIRE MARSHAL
146 N. ADAMS STREET
PAPILLION, NE 68046
TODD MOFFETT
FIRE MARSHAL-CITY OF PAPILLION
402-829-1398

LIQUOR AUTHORITY
CITY OF LA VISTA
CITY CLERK'S OFFICE
8116 PARK VIEW BOULEVARD
LA VISTA, NE 68128
MANDY GARROD
DEPUTY CITY CLERK
402-331-4343

GAS PROVIDER
BLACK HILLS ENERGY
501 W. 6TH STREET
PAPILLION, NE 68046
RON HANDKE
BUSINESS DEVELOPMENT REP.
PH: 402-935-4875
CELL: 402-689-7817
DAVID.DOBERNECKI@ATMOSENERGY.COM

SIGNAGE AUTHORITY
CITY OF LA VISTA
BUILDING DEPARTMENT
8116 PARK VIEW BOULEVARD
LA VISTA, NE 68128
JEFF SINNETT
CHIEF BUILDING OFFICIAL
402-593-6400

BUILDING DEPARTMENT AUTHORITY
CITY OF LA VISTA
BUILDING DEPARTMENT
8116 PARK VIEW BOULEVARD
LA VISTA, NE 68128
JEFF SINNETT
CHIEF BUILDING OFFICIAL
402-593-6400

HEALTH AUTHORITY
STATE OF NEBRASKA
DEPARTMENT OF AGRICULTURE
FOOD & DAIRIES
301 CENTENNIAL MALL SOUTH
LINCOLN, NE 68509-4947
PAUL DEL SIGNORE
FOOD SANITARIAN
PH: 402-471-2536
CELL: 402-326-2694

ELECTRIC PROVIDER
OMAHA PUBLIC POWER DISTRICT (OPPD)
1210 WEST 6TH STREET
PAPILLION, NE 68046
DEB NASTASE-QUADE
ELECTRICAL SERVICE DESIGNER
PH: 402-552-5332
CELL: 402-699-9683

COMMUNICATIONS PROVIDER
CENTURY LINK
15825 W MAPLE RD
OMAHA, NE 68116
ELIZABETH LEEGE
ENGINEER II
402-572-5803

SANITARY PROVIDER
CITY OF LA VISTA
PUBLIC WORKS DEPARTMENT
9900 PORTAL ROAD
LA VISTA, NE 68128
JOHN KOTTMANN
CITY ENGINEER
402-331-8927

STORM DRAINAGE AUTHORITY
CITY OF LA VISTA
PUBLIC WORKS DEPARTMENT
STORMWATER MANAGEMENT
9900 PORTAL ROAD
LA VISTA, NE 68128
JOHN KOTTMANN
CITY ENGINEER
402-331-8927

WATER PROVIDER
METROPOLITAN UTILITIES DISTRICT (MUD)
1723 HARNEY ST.
OMAHA, NE 68102-1960
SANDY LOVGREN
BUILDER SERVICES REPRESENTATIVE
402-504-7986

APPLICANT:

CONSOLIDATED DEVELOPMENT SERVICES
14901 QUORUM DR. SUITE 310
DALLAS, TX 75254
CONTACT: BRIAN NEBEL, PROPERTY DEVELOPMENT MANAGER
PHONE: (972) 850-0816
EMAIL: BNEBEL@CDSDEVELOPMENT.COM

OWNER:

HOOTERS OF AMERICA, LLC
1815 THE EXCHANGE SE
ATLANTA, GA 30339
CONTACT: LEAMBER YISRAEL, DEVELOPMENT SERVICES MANAGER
PHONE: (470) 351-0643

ENGINEER:

CEI ENGINEERING ASSOCIATES
3030 LYNDON B. JOHNSON FWY., STE. 100
DALLAS, TX 75234
CONTACT: DAVID TIPTON, PROJECT MANAGER
PHONE: (972) 488-3737
EMAIL: DTIPTON@CEIENG.COM

GEOTECH:

TERRACON CONSULTANTS, INC.
15080 A CIRCLE
OMAHA, NE 68144
CONTACT: SCOTT MILLER, P.E.
PHONE: (402) 330-2202
EMAIL: SGMILLER@TERRACON.COM

FLOOD ZONE:

SUBJECT PROPERTY IS LOCATED IN ZONE X, AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOOD PLAIN, AS SHOWN ON FIRM,FLOOD INSURANCE RATE MAP, SARPY COUNTY, NEBRASKA AND INCORPORATED AREAS PANEL NUMBER 61 OF 255, CONTAINS COMMUNITY SARPY COUNTY, PANEL NUMBER 310190 0061 H, AND ALSO LA VISTA, CITY OF, PANEL NUMBER 310192 0061 H, AND ALSO PAPILLION, CITY OF, PANEL NUMBER 315275 0061 H, MAP NUMBER 31153C0061H, EFFECTIVE DATE MAY 3, 2010.

SURVEY:

E & A CONSULTING GROUP, INC.
10909 MILL VALLEY ROAD, SUITE 100
OMAHA, NE 68154
PHONE: 402-895-4700
FAX: 402-895-3599

811 Know what's **below.** **Call** before you dig.

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Dallas, TX 75234 FAX (972)488-6732

*Arkansas * California * Minnesota * Pennsylvania * Texas*

JOB NO.: 30898
DWG NAME: 30898-CS
DATE 10/19/18 9:53 AM REV-3
SHEET NO. 1 OF 19

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LEGEND

NOTE: FOR REFERENCE ONLY, ITEMS DEPICTED IN LEGEND MAY NOT APPEAR ON PLANS.

Symbol	Description	Symbol	Description	Symbol	Description
●	PROPERTY CORNER FOUND W/ CAP LS-579		LIGHT POLE	— X — X —	FENCE LINE
(P)	PLATTED DISTANCE INST. NO. 2014-24370	T	TELEPHONE RISER	— G — G —	GAS LINE
(M)	MEASURED DISTANCE	TV	CABLE TV RISER	— W — W —	WATER LINE
R	RADIUS		FIRE HYDRANT	— UGP — UGP —	POWER LINE (UNDER GROUND)
L	LENGTH		UTILITY VALVE (WATER)	— COM — COM —	COMMUNICATION LINE (TELEPHONE, TV)
LC	LONG CHORD		MANHOLE	—SS—SS—	SANITARY SEWER LINE
	BUILDING		FLARED END SECTION (SIZE NOTED)	—ST—ST—	STORM SEWER LINE
P	POWER RISER		CURB INLET	—FO—FO—	FIBER OPTICS LINE
	POWER POLE		UTILITY VALVE (GAS)	FL	FLOW LINE
	GUY WIRE		SIGN	RCP	REINFORCED CONCRETE PIPE

30 0 30

1 inch = 30 ft.

BENCHMARK:

NO. 1

CHISELED "X" WEST RIM CURB INLET MANHOLE, 1ST CURB INLET NORTH OF 12702 WESTPORT PARKWAY ENTRANCE, WEST SIDE WESTPORT PARKWAY.

ELEVATION = 1113.01 (NAVD 88) AS SHOWN HEREON

NO. 2

CHISELED "X" WEST RIM CURB INLET MANHOLE, 1ST CURB INLET NORTH OF 12720 WESTPORT PARKWAY (BOOT BARN) ENTRANCE WEST SIDE WESTPORT PARKWAY.

ELEVATION = 1110.62 (NAVD 88) AS SHOWN HEREON

UTILITIES NOTE:

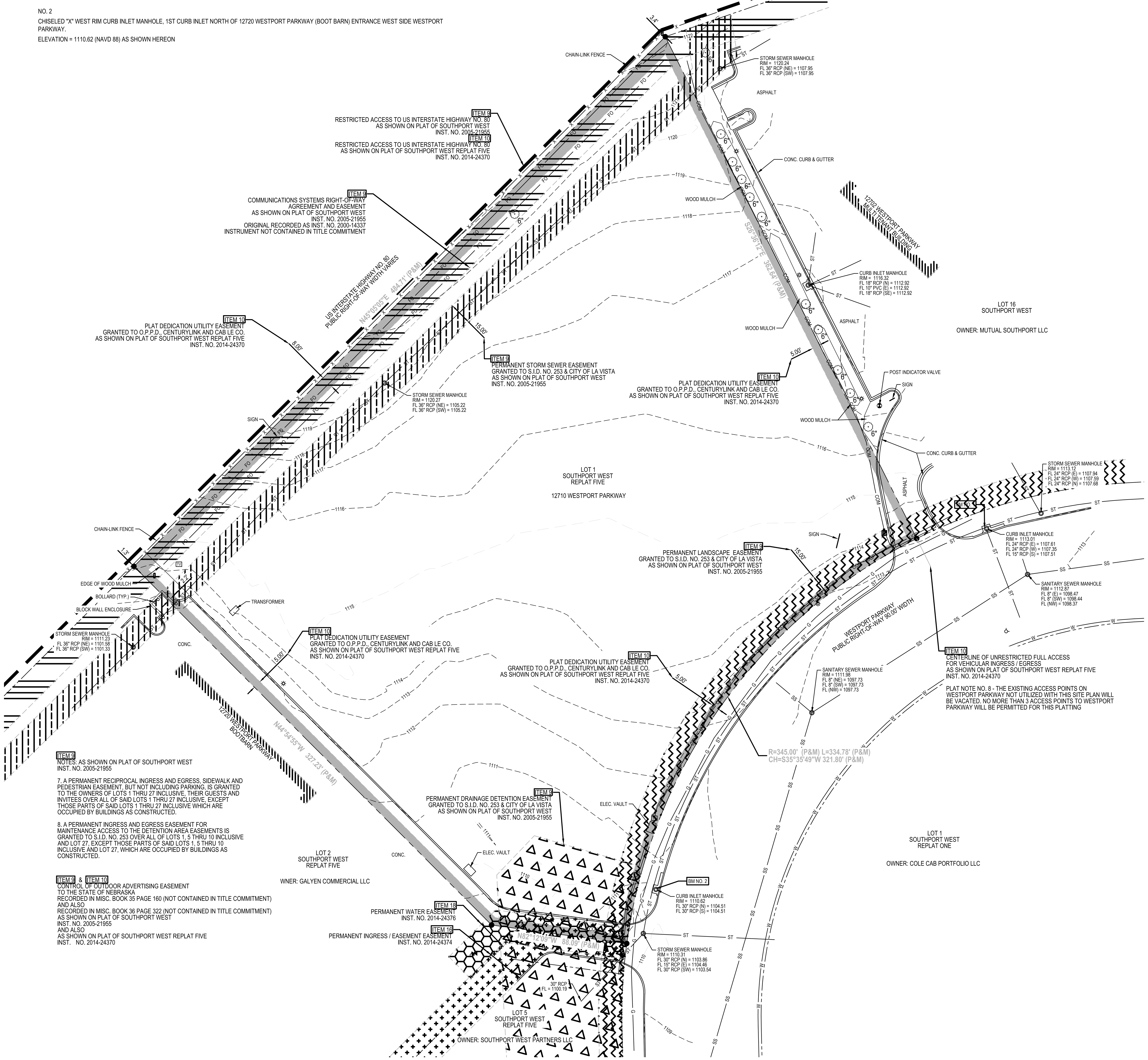
NEBRASKA ONE CALL TICKET NO. 181210274

THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM OBSERVED EVIDENCE TOGETHER WITH EVIDENCE FROM PLANS OBTAINED FROM UTILITY COMPANIES OR PROVIDED BY CLIENT, AND MARKING BY UTILITY COMPANIES AND OTHER APPROPRIATE SOURCES. HOWEVER, LACKING EXCAVATION, THE EXACT LOCATION OF UNDERGROUND FEATURES CANNOT BE ACCURATELY, COMPLETELY, AND RELIABLY DEPICTED. IN ADDITION, IN SOME JURISDICTIONS, 811 OR OTHER SIMILAR UTILITY LOCATE REQUESTS FROM SURVEYORS MAY BE IGNORED OR RESULT IN AN INCOMPLETE RESPONSE, IN WHICH CASE THE SURVEYOR SHALL NOTE ON THE PLAT OR MAP HOW THIS AFFECTED THE SURVEYOR'S ASSESSMENT OF THE LOCATION OF THE UTILITIES.

MISCELLANEOUS NOTES:

1) NO OBSERVABLE EVIDENCE OF RECENT EARTH MOVING WORK AT TIME OF FIELDWORK, NO OBSERVABLE EVIDENCE OF BUILDING CONSTRUCTION, OR BUILDING ADDITIONS OBSERVED IN THE PROCESS OF CONDUCTING THE FIELDWORK.

2) NO OBSERVABLE EVIDENCE OF PROPOSED CHANGES IN STREET RIGHT OF WAY LINES MADE AVAILABLE TO THE SURVEYOR BY THE CONTROLLING JURISDICTION, OR NO OBSERVABLE EVIDENCE OF RECENT STREET OR SIDEWALK CONSTRUCTION OR REPAIRS OBSERVED IN THE PROCESS OF CONDUCTING THE FIELDWORK.



FLOOD PLAIN STATEMENT:

SUBJECT PROPERTY IS LOCATED IN ZONE X, AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOOD PLAIN, AS SHOWN ON FIRM, FLOOD INSURANCE RATE MAP, SARPY COUNTY, NEBRASKA AND INCORPORATED AREAS PANEL NUMBER 61 OF 255, CONTAINS COMMUNITY SARPY COUNTY, PANEL NUMBER 310190 0061 H, AND ALSO LA VISTA, CITY OF, PANEL NUMBER 310192 0061 H, AND ALSO PAPILLION, CITY OF, PANEL NUMBER 315275 0061 H, MAP NUMBER 31153C0061H, EFFECTIVE DATE MAY 3, 2010.

LEGAL DESCRIPTION

LOT 1, SOUTHPORT WEST REPLAT FIVE, AN ADDITION TO THE CITY OF LA VISTA, IN SARPY COUNTY, NEBRASKA.

SAID LOT 1, SOUTHPORT WEST REPLAT FIVE, CONTAINS AN AREA OF 147,991 SQUARE FEET OR 3.397 ACRES, MORE OR LESS.

SCHEDULE B PART II "EXCEPTIONS" FROM COMMITMENT FOR TITLE INSURANCE FILE NO. 18-13984:

EASEMENT LOCATIONS SHOWN ON DRAWING WERE COMPILED FROM COMMITMENT FOR TITLE COMMITMENT FILE NO. 18-13984, COMMITMENT DATE: MARCH 16, 2018 AT 7:30 AM, SUPPLIED BY GRS TITLE SERVICES, LLC, AS AGENT OF FIRST AMERICA TITLE INSURANCE COMPANY.

ITEM 1 AND ITEM 8 ARE NOT SURVEY MATTERS.

ITEM 9 PROVISIONS OF THE PLAT OF SOUTHPORT WEST, RECORDED AS INSTRUMENT NO. 2005-21955 OF THE PUBLIC RECORDS OF SARPY COUNTY, NEBRASKA. *(AFFECTS SUBJECT PROPERTY, AS SHOWN ON DRAWING)*

ITEM 10 PROVISIONS OF THE PLAT OF SOUTHPORT WEST REPLAT FIVE, RECORDED IN AS INSTRUMENT NO. 2014-24370 OF THE PUBLIC RECORDS OF SARPY COUNTY, NEBRASKA. *(AFFECTS SUBJECT PROPERTY, AS SHOWN ON DRAWING)*

ITEM 11 BURDENS AND OBLIGATIONS CONTAINED IN ORDINANCE NO. 960, AN ORDINANCE TO ANNEX CERTAIN REAL ESTATE TO THE CITY OF LA VISTA, RECORDED OCTOBER 3, 2005 AS INSTRUMENT NO. 2005-36237. (NOTE: THE AFOREMENTIONED RECORDED DOCUMENT APPEARS TO BE MISSING ONE OR MORE PAGES FROM THE ORIGINAL). *(AFFECTS SUBJECT PROPERTY, NOT AN EASEMENT)*

ITEM 12 DECLARATION OF COVENANTS, CONDITIONS, RESTRICTIONS AND EASEMENTS, WHICH CONTAINS PROVISIONS FOR A PRIVATE CHARGE OR ASSESSMENTS, RECORDED AS INSTRUMENT NO. 2005-22478 AS AFFECTED BY FIRST AMENDMENT TO DECLARATION RECORDED AS INSTRUMENT NO. 2006-17152 AND AS AFFECTED BY SECOND AMENDMENT TO DECLARATION RECORDED AS INSTRUMENT NO. 2015-32100, BUT DELETING ANY COVENANT, CONDITION OR RESTRICTION INDICATING A PREFERENCE, LIMITATION OR DISCRIMINATION BASED ON RACE, COLOR, RELIGION, SEX, HANDICAP, FAMILIAL STATUS OR NATIONAL ORIGIN TO THE EXTENT SUCH COVENANTS, CONDITIONS OR RESTRICTIONS VIOLATE 42 USC 3604(C). *(AFFECTS SUBJECT PROPERTY, CONTAINS BLANKET EASEMENTS FOR COMMON AREAS AND RESERVATION OF UTILITY, UNPLOTTABLE)*

NOTE: ASSIGNMENT OF RIGHTS AS DECLARANT UNDER DECLARATION OF COVENANTS, CONDITIONS, RESTRICTIONS AND EASEMENTS FOR SOUTHPORT WEST SUBDIVISION RECORDED JUNE 9, 2006 AS INSTRUMENT NO. 2006-19335. *(AFFECTS SUBJECT PROPERTY, NOT AN EASEMENT)*

NOTE: ASSIGNMENT OF RIGHTS AS DECLARANT UNDER DECLARATION OF COVENANTS, CONDITIONS, RESTRICTIONS AND EASEMENTS FOR SOUTHPORT WEST SUBDIVISION RECORDED APRIL 1, 2008 AS INSTRUMENT NO. 2008-08886. *(AFFECTS SUBJECT PROPERTY, NOT AN EASEMENT)*

ITEM 13 TERMS, CONDITIONS, BURDENS AND OBLIGATIONS CONTAINED IN FIRST AMENDMENT COMMERCIAL/INDUSTRIAL SUBDIVISION AGREEMENT SOUTHPORT WEST SUBDIVISION RECORDED SEPTEMBER 17, 2007 AS INSTRUMENT NO. 2007-28607. *(AFFECTS SUBJECT PROPERTY, NOT AN EASEMENT)*

ITEM 14 TERMS, CONDITIONS, BURDENS AND OBLIGATIONS CONTAINED IN SUBDIVISION AGREEMENT BY AND BETWEEN SOUTHPORT WEST PARTNERS, LLC AND THE CITY OF LA VISTA RECORDED OCTOBER 31, 2014 AS INSTRUMENT NO. 2014-24372. *(AFFECTS SUBJECT PROPERTY. CONTAINS BLANKED EASEMENTS FOR CROSS PARKING, ACCESS, UTILITIES, SURFACE WATER DRAINAGE, AND CITY USES. UNPLOTTABLE)*

ITEM 15 SANITARY SEWER EASEMENT AS GRANTED TO THE OWNERS OF LOTS 1 THROUGH 5, INCLUSIVE OF SOUTHPORT WEST REPLAT FIVE AND THE SOUTHPORT WEST OWNERS ASSOCIATION RECORDED OCTOBER 31, 2014 AS INSTRUMENT NO. 2014-24373. *(DOES NOT AFFECT SUBJECT PROPERTY)*

ITEM 16 INGRESS AND EGRESS EASEMENT AS GRANTED TO THE OWNERS OF LOTS 1 THROUGH 5, INCLUSIVE OF SOUTHPORT WEST REPLAT FIVE AND THE SOUTHPORT WEST OWNERS ASSOCIATION AND THE GENERAL PUBLIC RECORDED OCTOBER 31, 2014 AS INSTRUMENT NO. 2014-24374. *(AFFECTS SUBJECT PROPERTY, AS SHOWN ON DRAWING)*

ITEM 17 17. STORM SEWER & DRAINAGE EASEMENT AS GRANTED TO THE OWNERS OF LOTS 1 THROUGH 5, INCLUSIVE OF SOUTHPORT WEST REPLAT FIVE AND THE SOUTHPORT WEST OWNERS ASSOCIATION RECORDED OCTOBER 31, 2014 AS INSTRUMENT NO. 2014-24375. *(DOES NOT AFFECT SUBJECT PROPERTY)*

ITEM 18 WATER EASEMENT AS GRANTED TO THE OWNERS OF LOTS 1 THROUGH 5, INCLUSIVE OF SOUTHPORT WEST REPLAT FIVE AND THE SOUTHPORT WEST OWNERS ASSOCIATION AND METROPOLITAN UTILITIES DISTRICT RECORDED OCTOBER 31, 2014 AS INSTRUMENT NO. 2014-24376. *(AFFECTS SUBJECT PROPERTY, AS SHOWN ON DRAWING)*

ITEM 19 TERMS AND CONDITIONS, INCLUDING A GRANT OF LIEN RIGHTS, CONTAINED IN POST CONSTRUCTION STORMWATER MANAGEMENT PLAN, MAINTENANCE AGREEMENT AND EASEMENT BY SOUTHPORT WEST PARTNERS, LLC RECORDED NOVEMBER 6, 2014 AS INSTRUMENT NO. 2014-24898. *(AFFECTS SUBJECT PROPERTY, NOT AN EASEMENT)*

ITEM 20 DECLARATION OF EASEMENTS, COVENANTS, CONDITIONS AND RESTRICTIONS FOR SHOPPES AT SOUTHPORT WEST, INCLUDING ANY AMENDMENTS OR MODIFICATIONS THERETO, WHICH CONTAINS PROVISIONS FOR A PRIVATE CHARGE OR ASSESSMENTS, RECORDED IN AS INSTRUMENT NO. 2014-25283, BUT DELETING ANY COVENANT, CONDITION OR RESTRICTION INDICATING A PREFERENCE, LIMITATION OR DISCRIMINATION BASED ON RACE, COLOR, RELIGION, SEX, HANDICAP, FAMILIAL STATUS OR NATIONAL ORIGIN, TO THE EXTENT SUCH COVENANTS, CONDITIONS OR RESTRICTIONS VIOLATE 42 USC 3604(C) *(AFFECTS SUBJECT PROPERTY. CONTAINS BLANKED EASEMENTS FOR CROSS PARKING, ACCESS, UTILITIES, SURFACE WATER DRAINAGE, AND CITY USES. UNPLOTTABLE)*

ITEM 21 NOT A SURVEY MATTER.

ZONING AND SETBACKS:

SUBJECT PROPERTY IS ZONED: C-3 HIGHWAY COMMERCIAL / OFFICE PARK DISTRICT WITH GATEWAY CORRIDOR OVERLAY DISTRICT

C-3 PERMITTED USES HEIGHT AND LOT REQUIREMENTS

LOT AREA	10,000 SQUARE FEET
LOT WIDTH	NO REQUIREMENT
FRONT YARD	25 FEET MINIMUM (1)
SIDE YARD	15 FEET MINIMUM
REAR YARD	15 FEET MINIMUM
MAX HEIGHT	90 FEET MAXIMUM (2)
MAX LOT COVERAGE	60%

(1) 25 FEET FRONT YARD SETBACK REQUIRED ONLY WHEN NO PARKING IN PRESENT IN THE FRONT YARD. IF PARKING IS LOCATED IN THE FRONT YARD THEN FRONT YARD SETBACK IS A MINIMUM OF FIFTY (50) FEET.

(2) ANY BUILDING WITHIN 100 FEET OF A RESIDENTIALLY ZONED DISTRICT SHALL NOT EXCEED 45 FEET IN HEIGHT. (ORDINANCE NO. 1082, 11-18-08)

NOTE: NO ZONING REPORT OR LETTER WAS PROVIDED TO THE SURVEYOR LISTING CURRENT ZONING CLASSIFICATIONS, REQUIREMENTS OR RESTRICTIONS AS REQUIRED BY ALTA / NSPS TABLE A ITEM 6(A). ZONING AND SETBACKS AS SHOWN ON SURVEY WERE OBTAINED FROM CITY OF LA VISTA WEB-SITE.

SURVEYOR'S CERTIFICATION:

TO: HOA RESTAURANT HOLDER, LLC, A DELAWARE LIMITED LIABILITY COMPANY, AND GRS TITLE SERVICES, LLC AS AGENT OF FIRST AMERICAN TITLE INSURANCE COMPANY.

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2016 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 1, 2, 3, 4, 5, 6(a), 8, 11, 13 AND 16 OF TABLE A THEREOF. THE FIELDWORK WAS COMPLETED ON APRIL 24, 2018.

JASON HEADLEY L.S. 787 DATE:

BOOK 4304

E & A CONSULTING GROUP, INC.

Engineering ● Planning ● Environmental & Field Services

10909 Mill Valley Road, Suite 100 ● Omaha, NE 68154
Phone: 402.895.4700 ● Fax: 402.895.3599
www.eacg.com

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LOT 1, SOUTHPORT WEST REPLAT FIVE
12710 WESTPORT PARKWAY

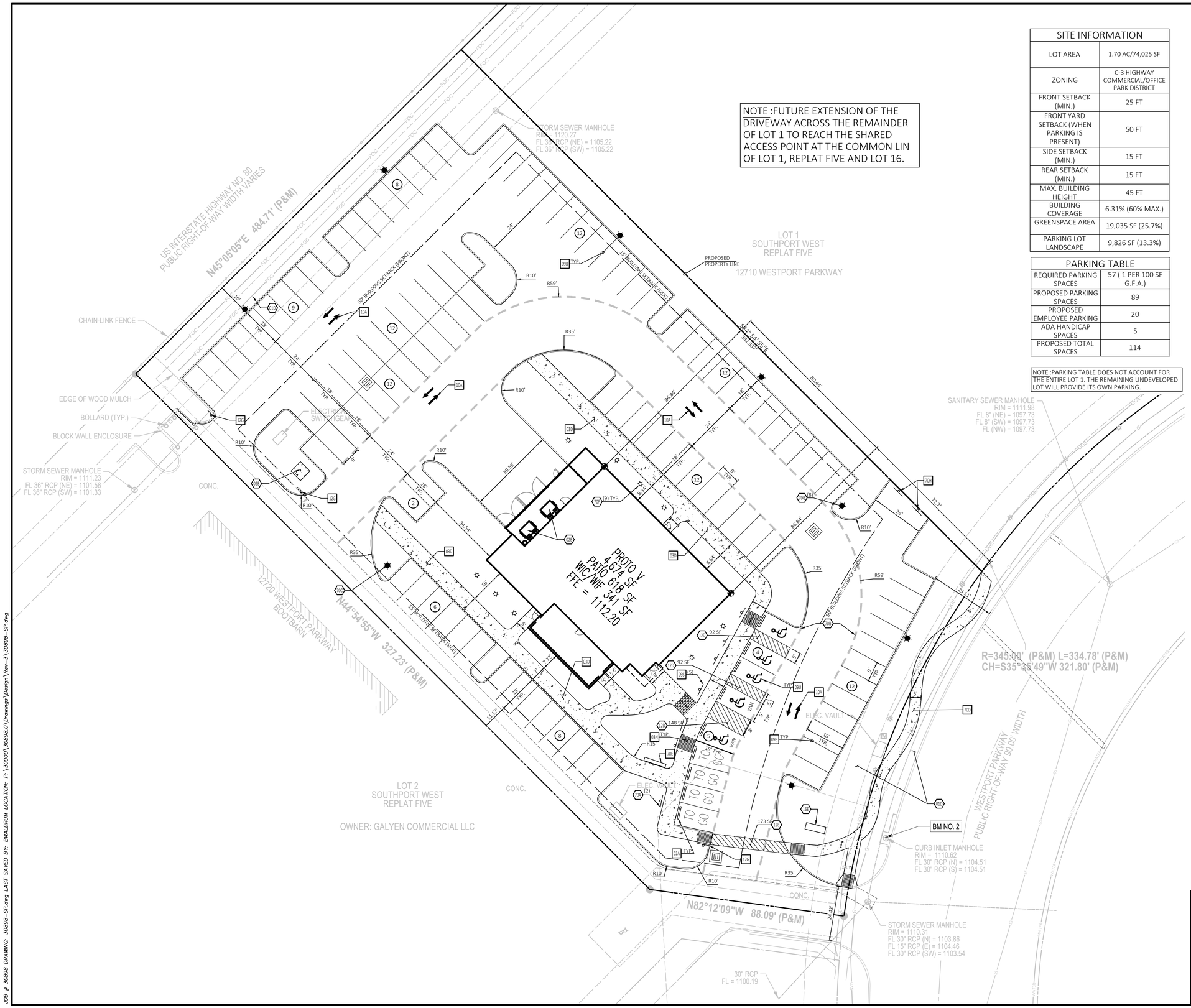
SARPY COUNTY, NEBRASKA

ALTA / NSPS LAND TITLE SURVEY

Revisions		
No	Date	Description

Proj No:	P2000.030.148
Date:	04/30/2018
Designed By:	
Drawn By:	FCE
Scale:	1" = 30'
Sheet:	1 of 1

Brandon Waldrum 5/15/2018 8:11 AM P:\93000\1-08-01\Tipton\Proposals\Hooters (CDS)\La Vista, NE\Info from client\ALTA-LOT 1 REPLAT 5-000.dwg



NOTE :FUTURE EXTENSION OF THE DRIVEWAY ACROSS THE REMAINDER OF LOT 1 TO REACH THE SHARED ACCESS POINT AT THE COMMON LIN OF LOT 1, REPLAT FIVE AND LOT 16.

SITE INFORMATION

LOT AREA	1.70 AC/74,025 SF
ZONING	C-3 HIGHWAY COMMERCIAL/OFFICE PARK DISTRICT
FRONT SETBACK (MIN.)	25 FT
FRONT YARD SETBACK (WHEN PARKING IS PRESENT)	50 FT
SIDE SETBACK (MIN.)	15 FT
REAR SETBACK (MIN.)	15 FT
MAX. BUILDING HEIGHT	45 FT
BUILDING COVERAGE	6.31% (60% MAX.)
GREENSPACE AREA	19,035 SF (25.7%)
PARKING LOT LANDSCAPE	9,826 SF (13.3%)

PARKING TABLE

REQUIRED PARKING SPACES	57 (1 PER 100 SF G.F.A.)
PROPOSED PARKING SPACES	89
PROPOSED EMPLOYEE PARKING	20
ADA HANDICAP SPACES	5
PROPOSED TOTAL SPACES	114

NOTE :PARKING TABLE DOES NOT ACCOUNT FOR THE ENTIRE LOT 1. THE REMAINING UNDEVELOPED LOT WILL PROVIDE ITS OWN PARKING.

Know what's **below.**
Call before you dig.

N

0 20' 30' 40'
SCALE IN FEET

SITE BENCHMARK

BM NO.1
CHISELED "X" WEST RIM CURB INLET MANHOLE, 1ST CURB INLET NORTH OF 12702 WESTPORT PARKWAY ENTRANCE, WEST SIDE WESTPORT PARKWAY.
ELEVATION = 1113.01 (NAVD 88) AS SHOWN HEREON

BM NO.2
CHISELED "X" WEST RIM CURB INLET MANHOLE, 1ST CURB INLET NORTH OF 12720 WESTPORT PARKWAY (BOOT BARN) ENTRANCE WEST SIDE WESTPORT PARKWAY.
ELEVATION = 1110.62 (NAVD 88) AS SHOWN HEREON

LEGEND

EXISTING

e	EAST OR ELECTRIC
n	NORTH
oh	OVERHEAD
s	SOUTH OR SEWER
t	TELEPHONE
ug	UNDERGROUND
w	WEST OR WATER
	PROPERTY LINE
	RIGHT OF WAY LINE
	STORM DRAIN
X"G	GAS
OHE	OVERHEAD ELECTRIC
OHE&T	OVERHEAD ELECTRIC AND TELEPHONE
OHT	OVERHEAD TELEPHONE
OHTV	OVERHEAD TV
X"SS	SANITARY SEWER
UGE	UNDERGROUND ELECTRIC
UGE&T	UNDERGROUND ELECTRIC AND TELEPHONE
UGT	UNDERGROUND TELEPHONE
UGTV	UNDERGROUND TV
X"W	WATER
.5-10-11 50.5	TREE INFO .5 = DIAMETER OF TRUNK IN FEET 10 = HEIGHT OF TREE IN FEET 11 = CANOPY DIAMETER IN FEET 50.5 = ELEVATION AT BASE OF TREE

PROPOSED

	PROPERTY LINE/RIGHT OF WAY LINE
	CONCRETE CURB AND GUTTER. SEE DETAIL 01A/01B.
	BUILDING CONTROL POINT
#	PROPOSED PARKING SPACES
	LIMITS OF SIDEWALKS AND CONCRETE APRONS (PER ARCH. PLANS)

GENERAL SITE NOTES

A. ALL DIMENSIONS SHOWN ARE TO THE FACE OF CURB UNLESS OTHERWISE NOTED.

B. ALL CURB RETURN RADII SHALL BE 2' OR 10', AS SHOWN TYPICAL ON THIS PLAN, UNLESS OTHERWISE NOTED.

C. UNLESS OTHERWISE SHOWN, CALLED OUT OR SPECIFIED HEREON OR WITHIN THE SPECIFICATIONS: ALL CURBING ADJACENT TO CONCRETE PAVING SHALL BE INSTALLED PER DETAIL 01B. PAVEMENT SHALL BE INSTALLED IN ACCORDANCE WITH DETAIL 08A OVER THE ENTIRE PARKING LOT AREA AND ALL APPROACH DRIVES. ALL PARKING LOT STRIPING INCLUDING ACCESSIBLE AND VAN ACCESSIBLE SPACES SHALL BE PAINTED PER DETAIL: 09B.

D. ALL PARKING LOT SIGN BASE SUPPORTS SHALL BE INSTALLED PER DETAIL 12F.

E. ALL ACCESSIBLE PARKING STALLS SHALL HAVE SIGNAGE INSTALLED PER DETAIL 09S.

SITE NOTES

01D SODDED GREEN AREA
02B TRANSFORMER PAD (PER ELEC. CO. AND/OR ARCH. PLANS).
02E TRASH DUMPSTER ENCLOSURE (PER ARCH. PLANS).
12D 4 INCH WIDE PAINTED YELLOW STRIPES. 2.0 FOOT O.C. @ 45 DEGREES (SEE SIZE INDICATED AT SYMBOL).
12E PEDESTRIAN CROSSING-4 INCH WIDE PAINTED WHITE STRIPES. 2.0 FOOT O.C. @ 45 DEGREES (SEE SIZE INDICATED AT SYMBOL).
16E MONUMENT SIGN. (PER ARCH. PLANS).
70A "TO-GO" PARKING SIGNS
70B FIRE TRUCK ROUTE
70C POINT OF RELOCATION FOR EXISTING LIGHT POLE
70F LANDSCAPE UP-LIGHTS (PER ARCH. PLANS)
70G PARKING LOT LIGHTING (PER ARCH. PLANS)

SITE DETAILS

02A PRECAST CONCRETE WHEEL STOP
03D CONCRETE SIDEWALK
03N WHEELCHAIR RAMP IN SIDEWALK (TYPICAL AT EACH DRIVEWAY CURB RETURN)
09B NINETY DEGREE PARKING SPACE STRIPING
09S ACCESSIBLE / VAN ACCESSIBLE PARKING SIGN
09U ACCESSIBLE PARKING SYMBOL
10A TRAFFIC FLOW ARROW
12G STOP SIGN
70D R.O.W.SIDEWALK (5' WIDE X 6" IN DEPTH).
70E METAL BACKLESS PARK BENCH BY CANAAN SITE FURNISHINGS, PART NUMBER CAL-953B, WWW.CANAANSITEFURNISHING.COM. SURFACE MOUNT PER MANUFACTURES SPECIFICATIONS
70H DOT TRAFFIC CONTROL SIGN (PER MUTCD STANDARDS)

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12710 WESTPORT PARKWAY
LA VISTA NEBRASKA

SITE PLAN

REV DATE 10/19/18 REV-3

SHEET NO. 2 OF 19

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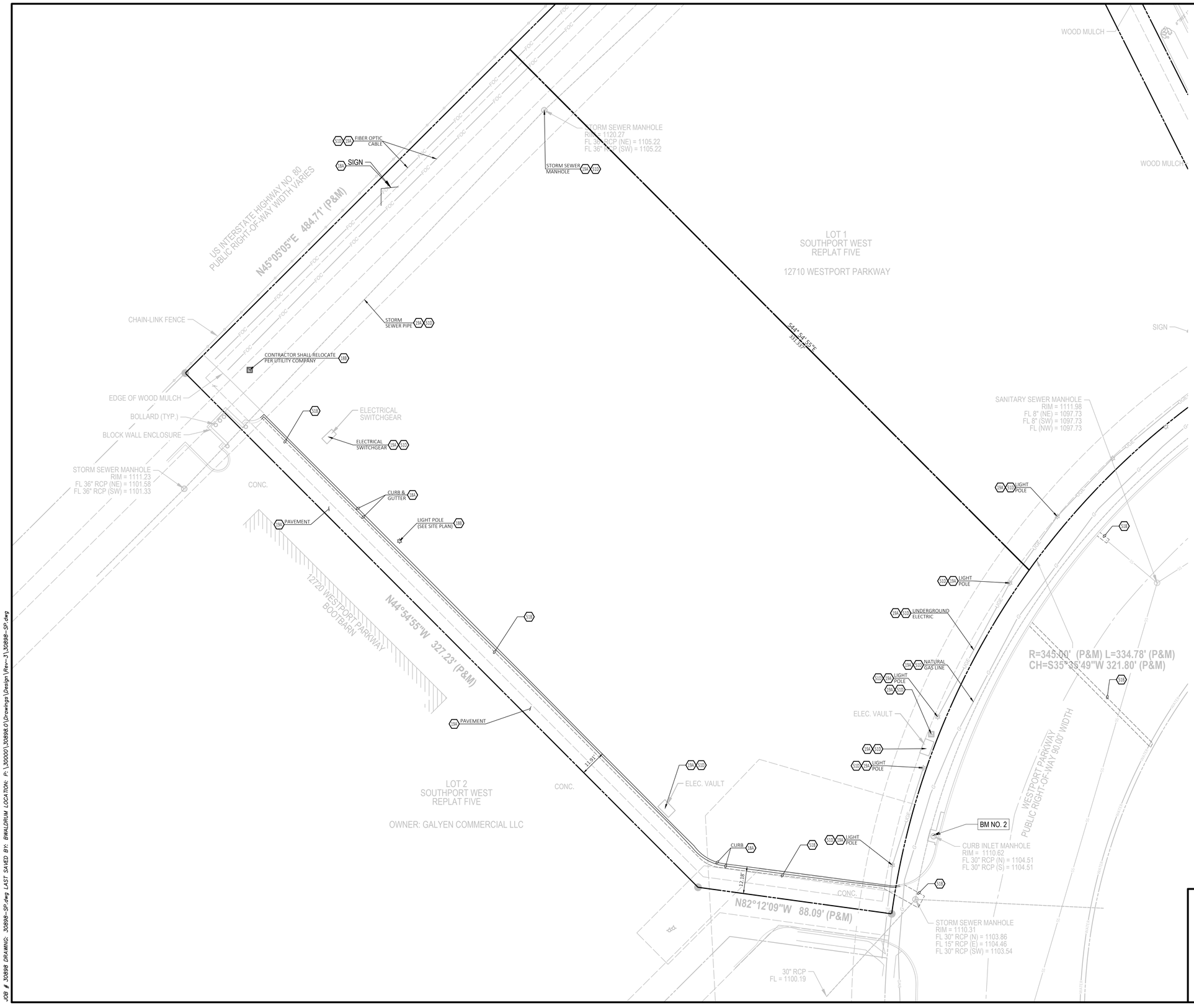

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SCALE IN FEET

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LEGEND

EXISTING

e	EAST OR ELECTRIC	OHT	OVERHEAD TELEPHONE
n	NORTH	OHTV	OVERHEAD TV
oh	OVERHEAD	X"SS	SANITARY SEWER
s	SOUTH OR SEWER	UGE	UNDERGROUND ELECTRIC
t	TELEPHONE	UGE&T	UNDERGROUND ELECTRIC AND TELEPHONE
ug	UNDERGROUND	UGT	UNDERGROUND TELEPHONE
w	WEST OR WATER	UGTV	UNDERGROUND TV
	PROPERTY LINE	X"W	WATER
	RIGHT OF WAY LINE	.5-10-11 50.5	TREE INFO .5 = DIAMETER OF TRUNK IN FEET 10 = HEIGHT OF TREE IN FEET 11 = CANOPY DIAMETER IN FEET 50.5 = ELEVATION AT BASE OF TREE
	STORM DRAIN		
X"G	GAS		
OHE	OVERHEAD ELECTRIC		
OHE&T	OVERHEAD ELECTRIC AND TELEPHONE		

GENERAL DEMOLITION NOTES

A. THE SITE WORK FOR THIS PROJECT SHALL MEET OR EXCEED THE "HOOTERS STANDARD SITE WORK SPECIFICATIONS".

B. CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVAL OF THE EXISTING STRUCTURES, RELATED UTILITIES, PAVING, AND ANY OTHER EXISTING IMPROVEMENTS AS NOTED. SEE SITE WORK SPECIFICATIONS.

C. CONTRACTOR IS TO REMOVE AND DISPOSE OF ALL DEBRIS, RUBBISH AND OTHER MATERIALS RESULTING FROM PREVIOUS AND CURRENT DEMOLITION OPERATIONS. DISPOSAL WILL BE IN ACCORDANCE WITH ALL LOCAL, STATE AND/OR FEDERAL REGULATIONS GOVERNING SUCH OPERATIONS.

D. THE GENERAL CONTRACTOR SHALL TAKE ALL PRECAUTIONS NECESSARY TO AVOID PROPERTY DAMAGE TO ADJACENT PROPERTIES DURING THE CONSTRUCTION PHASES OF THIS PROJECT. THE CONTRACTOR WILL BE HELD SOLELY RESPONSIBLE FOR ANY DAMAGES TO THE ADJACENT PROPERTIES OCCURRING DURING THE CONSTRUCTION PHASES OF THIS PROJECT.

E. ENGINEER'S NOTICE TO CONTRACTOR
THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES, AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANY AT LEAST 48 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.

DEMOLITION NOTES

18A EXISTING TO BE REMOVED.
18B EXISTING TO BE RELOCATED.
19A EXISTING TO REMAIN.
51B LIMITS OF SAWCUT AND PAVEMENT REMOVAL
51D PROTECT EXISTING STRUCTURES AND/OR PIPES DURING DEMOLITION AND CONSTRUCTION PHASES.

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DEMOLITION PLAN

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SHEET NO. 3 OF 19

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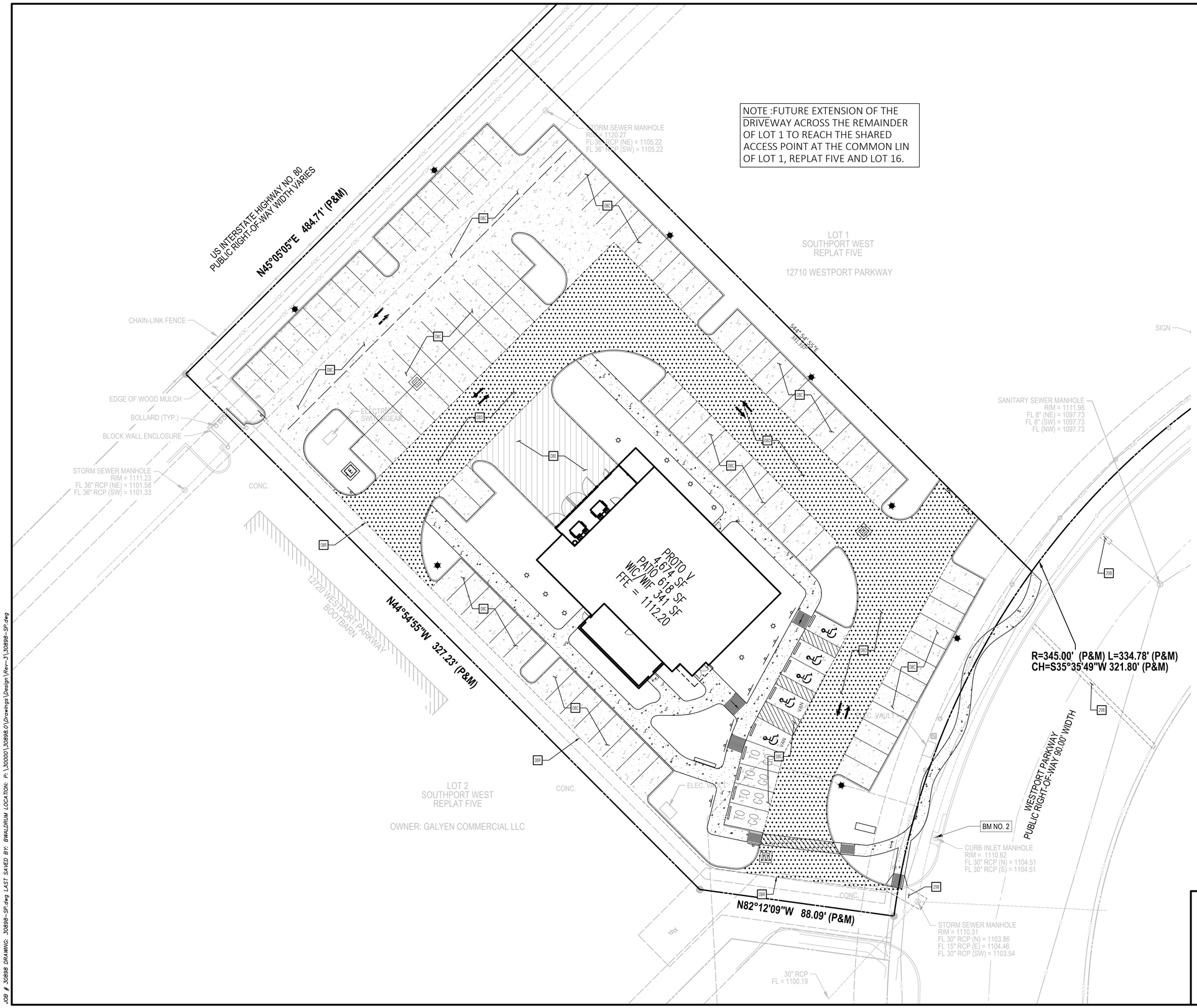

NOTE :FUTURE EXTENSION OF THE DRIVEWAY ACROSS THE REMAINDER OF LOT 1 TO REACH THE SHARED ACCESS POINT AT THE COMMON LIN OF LOT 1, REPLAT FIVE AND LOT 16.

Know what's **below.**
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N

0 20' 30' 40'
SCALE IN FEET

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ELEVATION = 1113.01 (NAVD 88) AS SHOWN HEREON

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LEGEND

EXISTING

e	EAST OR ELECTRIC	OHT	OVERHEAD TELEPHONE
n	NORTH	OHTV	OVERHEAD TV
oh	OVERHEAD	X"SS	SANITARY SEWER
s	SOUTH OR SEWER	UGE	UNDERGROUND ELECTRIC
t	TELEPHONE	UGE&T	UNDERGROUND ELECTRIC AND TELEPHONE
ug	UNDERGROUND	UGT	UNDERGROUND TELEPHONE
w	WEST OR WATER	UGTV	UNDERGROUND TV
	PROPERTY LINE	X"W	WATER
	RIGHT OF WAY LINE	.5-10-11 50.5	TREE INFO .5 = DIAMETER OF TRUNK IN FEET 10 = HEIGHT OF TREE IN FEET 11 = CANOPY DIAMETER IN FEET 50.5 = ELEVATION AT BASE OF TREE
	STORM DRAIN		
X"G	GAS		
OHE	OVERHEAD ELECTRIC		
OHE&T	OVERHEAD ELECTRIC AND TELEPHONE		

GENERAL PAVING NOTES

A. THE PAVING CONTRACTOR SHALL COORDINATE WITH THE UTILITY & IRRIGATION CONTRACTORS TO INSURE THAT ALL SLEEVING HAS BEEN INSTALLED PRIOR TO PLACEMENT OF PERMANENT PAVEMENT.

B. ALL PAVING AND EARTHWORK OPERATIONS SHALL CONFORM TO THE RECOMMENDATIONS IN THE GEOTECHNICAL REPORT DATED MAY 4, 2018, TERRACON PROJECT NO. 05185066 AND MEET CITY OF LA VISTA STANDARDS. (SEE DETAIL SHEET #1 FOR PAVEMENT DETAILS)

C. ALL CONCRETE PAVEMENT CONNECTION TO EXISTING CONCRETE PAVEMENT SHALL BE PER PAVEMENT JOINT STANDARD DETAIL: REFER TO DETAIL 8R

PAVING DETAILS

08C STANDARD DUTY CONCRETE

08D HEAVY DUTY CONCRETE

08E EXTRA HEAVY DUTY CONCRETE

08R CONCRETE JOINT DETAILS

29B CONCRETE STREET OR DRIVE CUT/REPAIR

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PAVING PLAN

REV DATE 10/19/18 REV-3

SHEET NO. 4 OF 19

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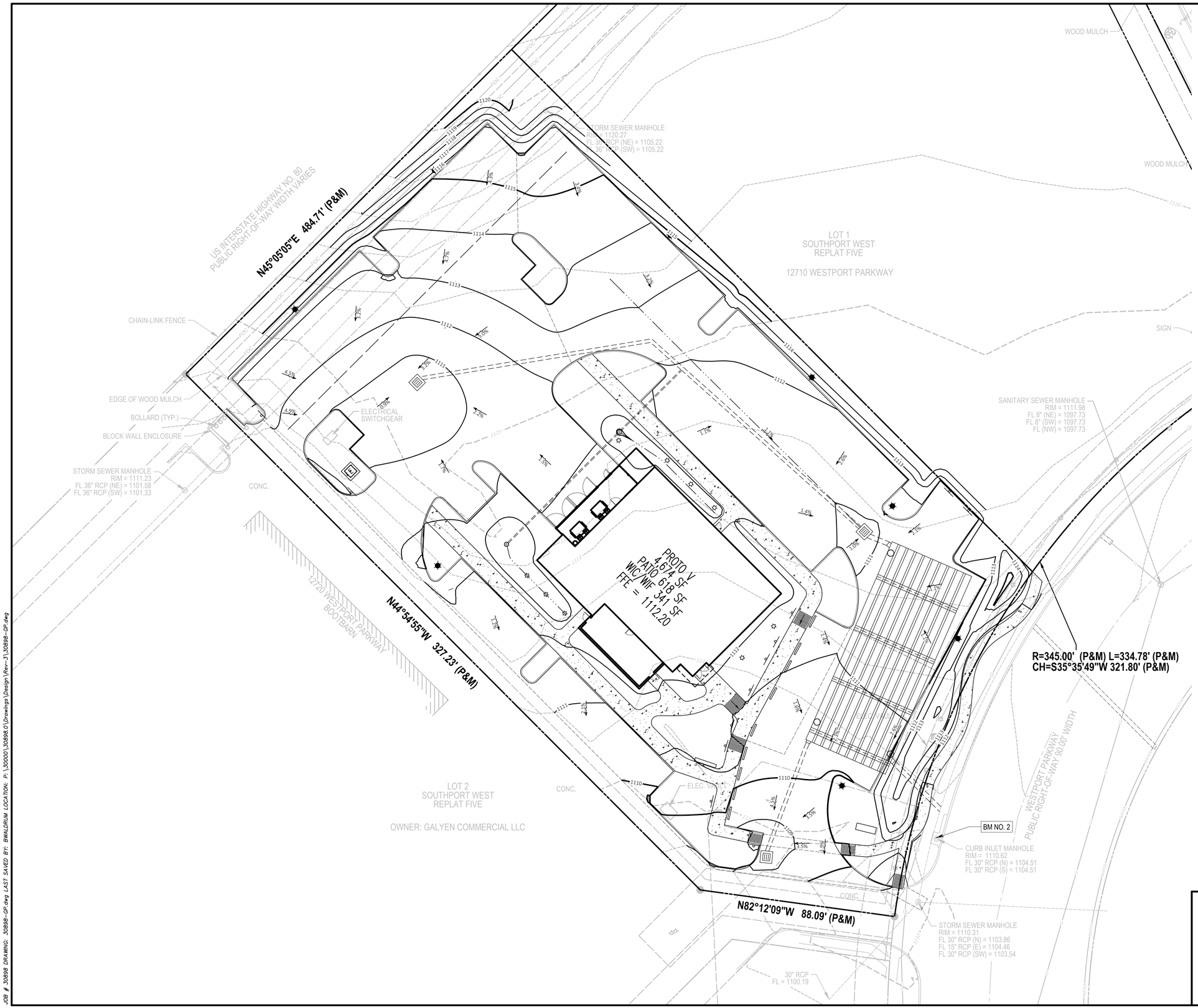

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LEGEND

EXISTING

e	EAST OR ELECTRIC	OHT	OVERHEAD TELEPHONE
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	STORM DRAIN		
X"G	GAS		
OHE	OVERHEAD ELECTRIC		
OHE&T	OVERHEAD ELECTRIC AND TELEPHONE		

PROPOSED

	PROPERTY LINE/RIGHT OF WAY LINE
	GRADE BREAK
XXX	CONTOUR ELEVATIONS
	STORM DRAIN
x XX.XX	SPOT ELEVATIONS: TC = TOP OF CURB G = GUTTER FS = FINISHED SURFACE FG = FINISHED GRADE HP = HIGH POINT

GENERAL GRADING NOTES

A. PRIOR TO INSTALLATION OF STORM OR SANITARY SEWER, THE CONTRACTOR SHALL EXCAVATE, VERIFY, AND CALCULATE ALL CROSSINGS AND INFORM THE OWNER AND THE ENGINEER OF ANY CONFLICTS PRIOR TO CONSTRUCTION. THE ENGINEER WILL BE HELD HARMLESS IN THE EVENT THE ENGINEER IS NOT NOTIFIED OF DESIGN CONFLICTS.

B. ALL SLOPES AND AREAS DISTURBED BY CONSTRUCTION SHALL BE GRADED SMOOTH AND 4" OF TOPSOIL APPLIED. IF ADEQUATE TOPSOIL IS NOT AVAILABLE ON SITE, THE CONTRACTOR SHALL PROVIDE TOPSOIL, APPROVED BY THE OWNER, AS NEEDED. THE AREA SHALL THEN BE SEEDED, FERTILIZED, MULCHED, WATERED AND MAINTAINED UNTIL HARDY GRASS GROWTH IS ESTABLISHED IN ALL AREAS (SEE LANDSCAPE PLAN FOR SEED MIX AND PROPER APPLICATION RATE). ANY AREAS DISTURBED FOR ANY REASON PRIOR TO FINAL ACCEPTANCE OF THE PROJECT SHALL BE CORRECTED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.

C. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES, AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANY AT LEAST 48 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES.

D. UNLESS OTHERWISE SHOWN, CALLED OUT OR SPECIFIED HEREON OR WITHIN THE SPECIFICATIONS: ALL STORM DRAIN PIPE BEDDING SHALL BE INSTALLED PER DETAIL 28A. ALL STORM DRAIN PIPES ARE MEASURED FROM CENTER OF STRUCTURES AND ENDS OF FLARED END SECTIONS.

GRADING DETAILS

23A GRATE INLET
73A CONTECH UNDERGROUND DETENTION SYSTEM
73B 10" NYLOPLAST DRAIN

GRADING NOTES

18C CONNECT TO EXISTING STORM DRAIN MANHOLE OR INLET.
18D MATCH EXISTING PAVEMENT ELEVATIONS.

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GRADING PLAN

REV DATE	SHEET NO.
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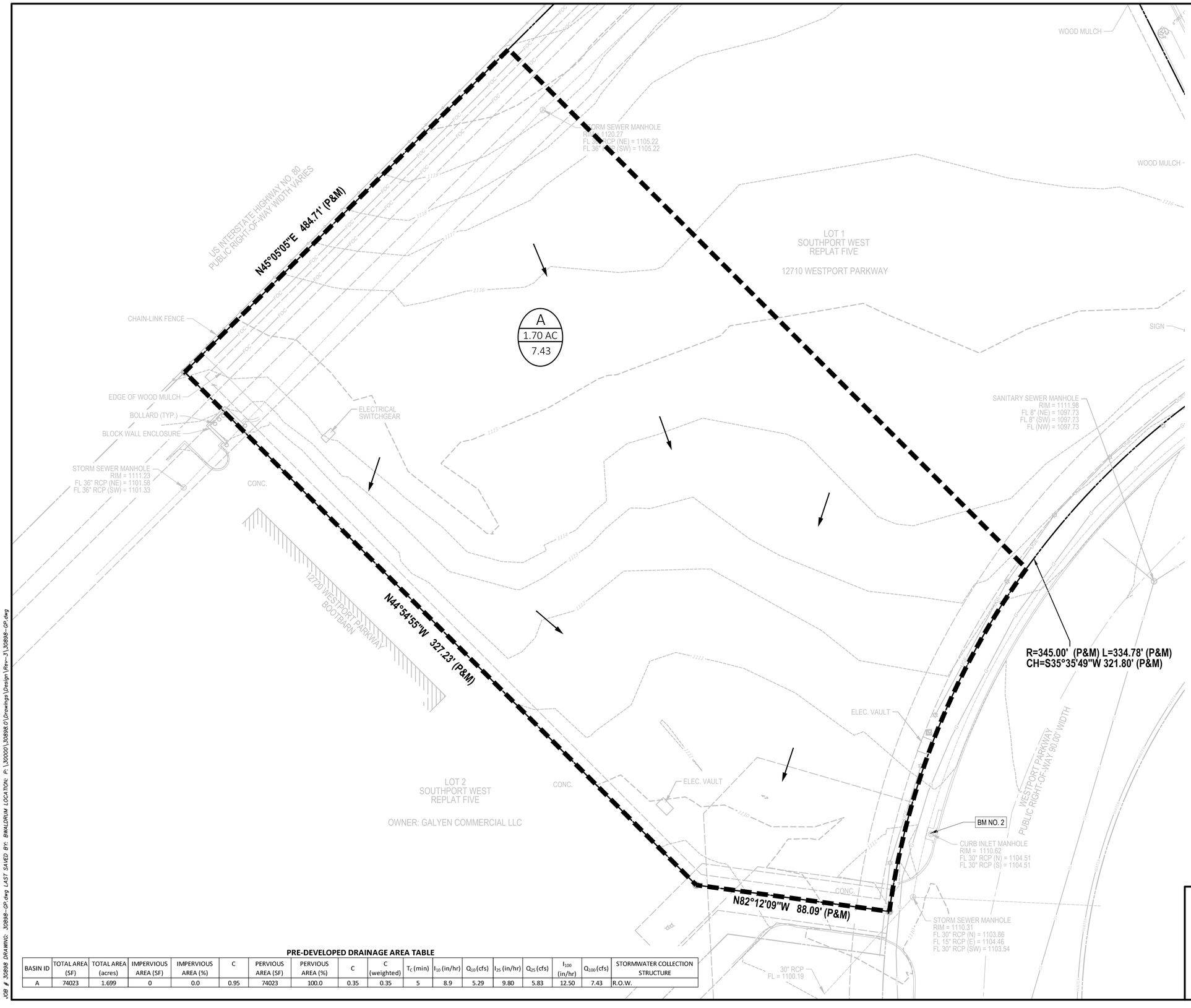

Know what's **below.**
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0 20' 30' 40'
SCALE IN FEET

SITE BENCHMARK

BM NO.1
CHISELED "X" WEST RIM CURB INLET MANHOLE, 1ST CURB INLET NORTH OF 12702 WESTPORT PARKWAY ENTRANCE, WEST SIDE WESTPORT PARKWAY.
ELEVATION = 1113.01 (NAVD 88) AS SHOWN HEREON

BM NO.2
CHISELED "X" WEST RIM CURB INLET MANHOLE, 1ST CURB INLET NORTH OF 12720 WESTPORT PARKWAY (BOOT BARN) ENTRANCE WEST SIDE WESTPORT PARKWAY.
ELEVATION = 1110.62 (NAVD 88) AS SHOWN HEREON

LEGEND

EXISTING

e	EAST OR ELECTRIC	OHT	OVERHEAD TELEPHONE
n	NORTH	OHTV	OVERHEAD TV
oh	OVERHEAD	X"SS	SANITARY SEWER
s	SOUTH OR SEWER	UGE	UNDERGROUND ELECTRIC
t	TELEPHONE	UGE&T	UNDERGROUND ELECTRIC AND TELEPHONE
ug	UNDERGROUND	UGT	UNDERGROUND TELEPHONE
w	WEST OR WATER	UGTV	UNDERGROUND TV
	PROPERTY LINE	X"W	WATER
	RIGHT OF WAY LINE	.5-10-11 50.5	TREE INFO .5 = DIAMETER OF TRUNK IN FEET 10 = HEIGHT OF TREE IN FEET 11 = CANOPY DIAMETER IN FEET 50.5 = ELEVATION AT BASE OF TREE
	STORM DRAIN		
X"G	GAS		
OHE	OVERHEAD ELECTRIC		
OHE&T	OVERHEAD ELECTRIC AND TELEPHONE		

PROPOSED

DRAINAGE AREA DIVIDE
FLOW DIRECTION

BASIN AREA — A
AREA IN ACRES — XX.XAC
100-YR (Q_{100}) FLOW IN CFS — XX.X

PRE-DEVELOPED DRAINAGE AREA TABLE

BASIN ID	TOTAL AREA (SF)	TOTAL AREA (acres)	IMPERVIOUS AREA (SF)	IMPERVIOUS AREA (%)	C	PERVIOUS AREA (SF)	PERVIOUS AREA (%)	C	C (weighted)	T_C (min)	I_{10} (in/hr)	Q_{10} (cfs)	I_{25} (in/hr)	Q_{25} (cfs)	I_{100} (in/hr)	Q_{100} (cfs)	STORMWATER COLLECTION STRUCTURE
A	74023	1.699	0	0.0	0.95	74023	100.0	0.35	0.35	5	8.9	5.29	9.80	5.83	12.50	7.43	R.O.W.

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PRE-DRAINAGE AREA MAP

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SITE BENCHMARK

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ELEVATION = 1113.01 (NAVD 88) AS SHOWN HEREON

BM NO. 2
CHISELED "X" WEST RIM CURB INLET MANHOLE, 1ST CURB INLET NORTH OF 12720 WESTPORT PARKWAY (BOOT BARN) ENTRANCE WEST SIDE WESTPORT PARKWAY.
ELEVATION = 1110.62 (NAVD 88) AS SHOWN HEREON

LEGEND

EXISTING

e	EAST OR ELECTRIC	OHT	OVERHEAD TELEPHONE
n	NORTH	OHTV	OVERHEAD TV
oh	OVERHEAD	X"SS	SANITARY SEWER
s	SOUTH OR SEWER	UGE	UNDERGROUND ELECTRIC
t	TELEPHONE	UGE&T	UNDERGROUND ELECTRIC AND TELEPHONE
ug	UNDERGROUND	UGT	UNDERGROUND TELEPHONE
w	WEST OR WATER	UGTV	UNDERGROUND TV
	PROPERTY LINE	X"W	WATER
	RIGHT OF WAY LINE	.5-10-11 50.5	TREE INFO .5 = DIAMETER OF TRUNK IN FEET 10 = HEIGHT OF TREE IN FEET 11 = CANOPY DIAMETER IN FEET 50.5 = ELEVATION AT BASE OF TREE
	STORM DRAIN		
X"G	GAS		
OHE	OVERHEAD ELECTRIC		
OHE&T	OVERHEAD ELECTRIC AND TELEPHONE		

PROPOSED

DRAINAGE AREA DIVIDE
FLOW DIRECTION

BASIN AREA — A
AREA IN ACRES — XX.XAC
100-YR (Q_{100}) FLOW IN CFS — XX.X

NOTE: THE DRAINAGE SYSTEM WILL BE SIZED TO ADDRESS THE FIRST $\frac{1}{4}$ INCH OF STORM WATER QUALITY AND TO LIMIT PEAK STORM WATER RUNOFF FLOWS FOR 2-YEAR EVENTS TO PRE-DEVELOPMENT LEVELS.

POST-DEVELOPED DRAINAGE AREA TABLE

BASIN ID	TOTAL AREA (SF)	TOTAL AREA (acres)	IMPERVIOUS AREA (SF)	IMPERVIOUS AREA (%)	C	PERVIOUS AREA (SF)	PERVIOUS AREA (%)	C	C (weighted)	T_C (min)	I_{10} (in/hr)	Q_{10} (cfs)	I_{25} (in/hr)	Q_{25} (cfs)	I_{100} (in/hr)	Q_{100} (cfs)	STORMWATER COLLECTION STRUCTURE
A	20818	0.478	15127	72.7	0.95	5691	27.3	0.35	0.79	5	8.9	3.34	9.80	3.68	12.50	4.70	Grate Inlet
B	27067	0.621	22460	83.0	0.95	4607	17.0	0.35	0.85	5	8.9	4.69	9.80	5.16	12.50	6.59	Grate Inlet
C	21830	0.501	15926	73.0	0.95	5904	27.0	0.35	0.79	5	8.9	3.51	9.80	3.87	12.50	4.93	Grate Inlet
D	2285	0.052	865	37.9	0.95	1420	62.1	0.35	0.58	5	8.9	0.27	9.80	0.30	12.50	0.38	Grate Inlet
E	2023	0.046	610	30.2	0.95	1413	69.8	0.35	0.53	5	8.9	0.22	9.80	0.24	12.50	0.31	Grate Inlet
																16.90	

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POST DRAINAGE AREA MAP

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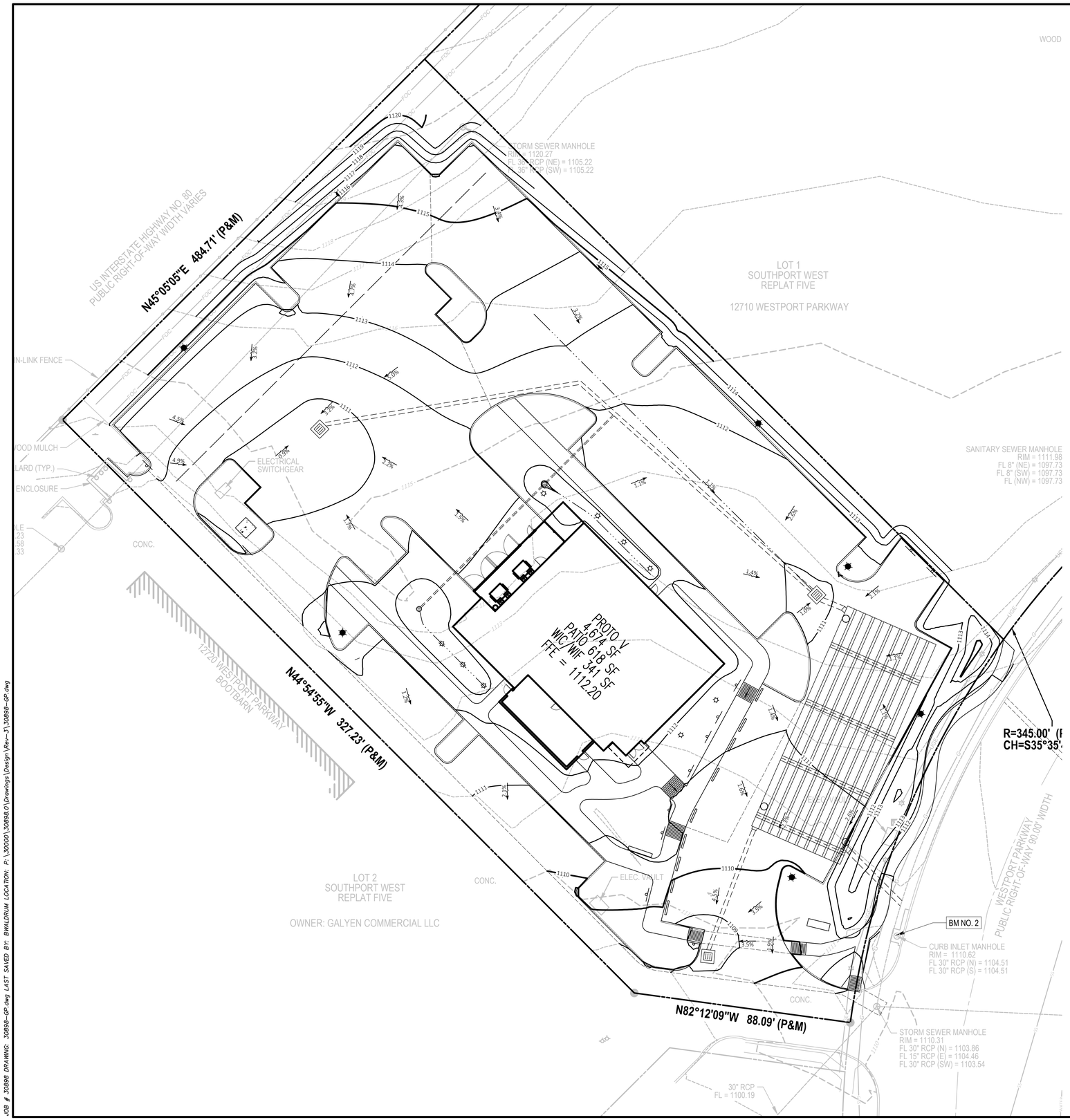

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SITE BENCHMARK

BM NO.1
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BM NO.2
CHISELED "X" WEST RIM CURB INLET MANHOLE, 1ST CURB INLET NORTH OF 12720 WESTPORT PARKWAY (BOOT BARN) ENTRANCE WEST SIDE WESTPORT PARKWAY.
ELEVATION = 1110.62 (NAVD 88) AS SHOWN HEREON

LEGEND

☐ EROSION DETAILS

75A	BIG RED CURB – MODEL SWP-CI
80A	TEMPORARY BLOCK AND AGGREGATE INLET SEDIMENT FILTER
84A	TEMPORARY SILT FENCE
85A	TEMPORARY STONE CONSTRUCTION ENTRANCE
85C	TEMPORARY CONCRETE WASH OUT.

EXISTING

e	EAST OR ELECTRIC
n	NORTH
oh	OVERHEAD
s	SOUTH OR SEWER
t	TELEPHONE
ug	UNDERGROUND
w	WEST OR WATER
	PROPERTY LINE
	RIGHT OF WAY LINE
	STORM DRAIN
X"G	GAS
OHE	OVERHEAD ELECTRIC
OHE&T	OVERHEAD ELECTRIC AND TELEPHONE
OHT	OVERHEAD TELEPHONE
OHTV	OVERHEAD TV
X"SS	SANITARY SEWER
UGE	UNDERGROUND ELECTRIC
UGE&T	UNDERGROUND ELECTRIC AND TELEPHONE
UGT	UNDERGROUND TELEPHONE
UGTV	UNDERGROUND TV
X"W	WATER
.5-10-11 50.5	TREE INFO .5 = DIAMETER OF TRUNK IN FEET 10 = HEIGHT OF TREE IN FEET 11 = CANOPY DIAMETER IN FEET 50.5 = ELEVATION AT BASE OF TREE

PROPOSED

	PROPERTY LINE/RIGHT OF WAY LINE
	LIMITS OF DISTURBANCE
SF	SILT FENCE
	GRADE BREAK
XXX	CONTOUR ELEVATIONS
	STORM DRAIN
	INLET PROTECTION

GENERAL EROSION NOTES

A. ALL CONTRACTORS AND SUBCONTRACTORS INVOLVED WITH STORM WATER POLLUTION PREVENTION SHALL OBTAIN A COPY OF THE STORM WATER POLLUTION PREVENTION PLAN AND THE STATE OF NEBRASKA NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM GENERAL PERMIT (NPDES PERMIT) AND BECOME FAMILIAR WITH THEIR CONTENTS.

B. THE TEMPORARY PARKING AND STORAGE AREA SHALL ALSO BE USED AS THE EQUIPMENT MAINTENANCE AREA, EQUIPMENT CLEANING AREA, EMPLOYEE BREAK AREA, AND AREA FOR LOCATING PORTABLE FACILITIES, OFFICE TRAILERS AND TOILET FACILITIES. THE EXACT LOCATIONS SHALL BE COORDINATED WITH THE OWNER'S CONSTRUCTION MANAGER.

C. ALL WASH WATER (CONCRETE TRUCKS, VEHICLE CLEANING, EQUIPMENT CLEANING, ETC.) SHALL BE DISPOSED OF IN A MANNER THAT PREVENTS CONTACT BETWEEN THESE MATERIALS AND STORM WATER THAT IS DISCHARGED FROM THE SITE.

D. MAINTAIN ON THE SITE OR HAVE READILY AVAILABLE SUFFICIENT OIL AND GREASE ABSORBING MATERIALS AND FLOTATION BOOMS TO CONTAIN AND CLEAN UP FUEL OR CHEMICAL SPILLS AND LEAKS.

E. DUST ON THE SITE SHALL BE CONTROLLED BY SPRAYING WATER ON DRY AREAS OF THE SITE. THE USE OF MOTOR OILS AND OTHER PETROLEUM BASED OR TOXIC LIQUIDS FOR DUST SUPPRESSION OPERATIONS IS PROHIBITED.

F. NO RUBBISH, TRASH, GARBAGE OR OTHER SUCH MATERIALS SHALL BE DISCHARGED INTO DRAINAGE DITCHES OR WATERS OF THE STATE.

G. ALL STORM WATER POLLUTION PREVENTION MEASURES PRESENTED ON THIS PLAN, AND IN THE STORM WATER POLLUTION PREVENTION PLAN, SHALL BE INITIATED AS SOON AS PRACTICABLE.

H. DISTURBED PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITY WILL STOP FOR AT LEAST 21 DAYS, SHALL BE TEMPORARILY SEEDED WITHIN 14 DAYS.

I. DISTURBED PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITY HAS PERMANENTLY STOPPED SHALL BE PERMANENTLY SEEDED. THESE AREAS SHALL BE SEEDED NO LATER THAN 14 DAYS AFTER THE LAST CONSTRUCTION ACTIVITY OCCURRING IN THESE AREAS. REFER TO THE LANDSCAPING PLAN.

J. IF THE ACTION OF VEHICLES TRAVELING OVER THE GRAVEL CONSTRUCTION ENTRANCES IS NOT SUFFICIENT TO REMOVE THE MAJORITY OF DIRT OR MUD, THEN THE TIRES MUST BE WASHED BEFORE THE VEHICLES ENTER A PUBLIC ROAD. IF WASHING IS USED, PROVISIONS MUST BE MADE TO INTERCEPT THE WASH WATER AND TRAP THE SEDIMENT BEFORE IT IS CARRIED OFF THE SITE. THE EXACT LOCATIONS SHALL BE COORDINATED WITH THE OWNERS CONSTRUCTION MANAGER.

K. ALL MATERIALS SPILLED, DROPPED, WASHED OR TRACKED FROM VEHICLES ONTO ROADWAYS OR INTO STORM DRAINS MUST BE REMOVED IMMEDIATELY.

L. CONTRACTORS OR SUBCONTRACTORS WILL BE RESPONSIBLE FOR REMOVING SEDIMENT IN THE DETENTION POND AFTER THE STABILIZATION OF THE SITE AND ALSO ANY SEDIMENT THAT MAY HAVE COLLECTED IN THE STORM SEWER DRAINAGE SYSTEMS.

M. IF SOIL STOCKPILING IS EMPLOYED ON THE SITE, SILT FENCES SHALL BE USED TO HELP CONTAIN THE SEDIMENT.

N. SLOPES SHALL BE LEFT IN A ROUGHENED CONDITION DURING THE GRADING PHASE TO REDUCE RUNOFF VELOCITIES AND EROSION.

O. ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES SHALL BE DISPOSED OF WITHIN 30 DAYS AFTER FINAL STABILIZATION. FINAL STABILIZATION HAS OCCURRED WHEN ALL SOIL DISTURBING ACTIVITIES ARE COMPLETED AND A UNIFORM PERENNIAL VEGETATIVE COVER WITH A DENSITY OF 70% OF THE COVER FOR UNPAVED AREAS AND AREAS NOT COVERED BY PERMANENT STRUCTURES HAS BEEN EMPLOYED.

P. DUE TO THE GRADE CHANGES DURING THE DEVELOPMENT OF THE PROJECT, THE CONTRACTOR SHALL BE RESPONSIBLE FOR ADJUSTING THE EROSION CONTROL MEASURES (SILT FENCES, STRAW BALES, ETC.) TO HELP PREVENT EROSION AND STORM WATER POLLUTION.

Q. ALL OFF-SITE CONSTRUCTION SHALL BE STABILIZED AT THE END OF EACH WORKING DAY, THIS INCLUDES BACKFILLING OF TRENCHES FOR STORM DRAINS & UTILITY CONSTRUCTION AND PLACEMENT OF GRAVEL OR BITUMINOUS PAVING FOR ROAD CONSTRUCTION.

LIMITS OF DISTURBANCE
73,247/1.682 AC

GENERAL EROSION NOTES CONT'D

MAINTENANCE
ALL MEASURES STATED ON THIS EROSION AND SEDIMENT CONTROL PLAN, AND IN THE STORM WATER POLLUTION PREVENTION PLAN, SHALL BE MAINTAINED IN FULLY FUNCTIONAL CONDITION UNTIL FINAL STABILIZATION OF THE SITE. ALL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE CHECKED BY A QUALIFIED PERSON AT LEAST ONCE EVERY SEVEN CALENDAR DAYS AND WITHIN 24 HOURS OF THE END OF A RAINFALL EVENT, AND SHOULD BE CLEANED AND REPAIRED IN ACCORDANCE WITH THE FOLLOWING:

1. ALL SEEDED AREAS SHALL BE CHECKED REGULARLY TO SEE THAT A GOOD STAND IS MAINTAINED. AREAS SHOULD BE FERTILIZED AND RESEEDED AS NEEDED.
2. SILT FENCES SHALL BE REPAIRED TO THEIR ORIGINAL CONDITIONS IF DAMAGED. SEDIMENT SHALL BE REMOVED FROM THE SILT FENCES WHEN IT REACHES ONE-THIRD TO ONE-HALF THE HEIGHT OF THE SILT FENCE.
3. THE CONSTRUCTION ENTRANCES SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOW OF MUD ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING OF THE CONSTRUCTION ENTRANCES AS CONDITIONS DEMAND.
4. THE TEMPORARY PARKING AND STORAGE AREA SHALL BE KEPT IN GOOD CONDITION (SUITABLE FOR PARKING AND STORAGE). THIS MAY REQUIRE PERIODIC TOP DRESSING OF THE TEMPORARY PARKING AS CONDITIONS DEMAND.
5. IF THE STONES IN THE GRAVEL INLET SEDIMENT FILTERS BECOME CLOGGED WITH SEDIMENT, THE STONES MUST BE PULLED AWAY, CLEANED AND REPLACED.

SEQUENCE OF CONSTRUCTION
1. INSTALL STABILIZED CONSTRUCTION ENTRANCES.
2. PREPARE TEMPORARY PARKING AND STORAGE AREA.
3. CONSTRUCT THE SILT FENCES ON THE SITE.
4. CLEAR AND GRUB THE SITE.
5. BEGIN GRADING THE SITE.
6. START CONSTRUCTION OF BUILDING PAD AND STRUCTURES.
7. TEMPORARILY SEED DENUDED AREAS.
8. INSTALL UTILITIES, UNDERDRAINS, STORM SEWERS, CURBS AND GUTTERS.
9. INSTALL INLET PROTECTION DEVICES.
10. PREPARE SITE FOR PAVING.
11. PAVE SITE.
12. COMPLETE GRADING AND INSTALL PERMANENT SEEDING AND PLANTING.
13. REMOVE ALL TEMPORARY EROSION AND SEDIMENT CONTROL DEVICES (ONLY IF SITE IS STABILIZED).

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EROSION CONTROL PLAN

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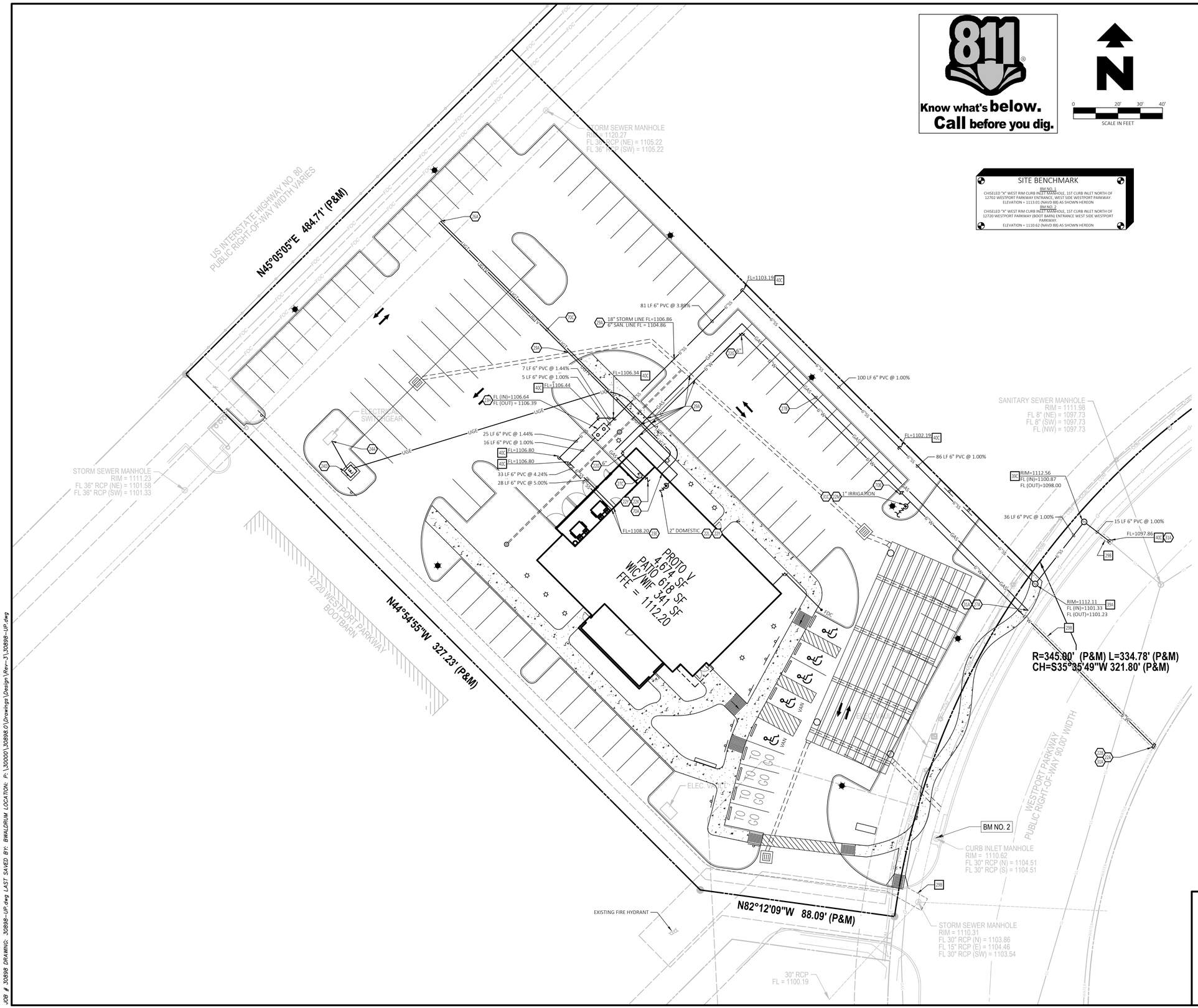

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LEGEND

EXISTING

e	EAST OR ELECTRIC	OHE&T	OVERHEAD ELECTRIC AND TELEPHONE
n	NORTH	OHT	OVERHEAD TELEPHONE
oh	OVERHEAD	OHTV	OVERHEAD TV
s	SOUTH OR SEWER	X"SS	SANITARY SEWER
t	TELEPHONE	UGE	UNDERGROUND ELECTRIC
ug	UNDERGROUND	UGE&T	UNDERGROUND ELECTRIC AND TELEPHONE
w	WEST OR WATER	UGT	UNDERGROUND TELEPHONE
	PROPERTY LINE	UGTV	UNDERGROUND TV
	RIGHT OF WAY LINE	X"W	WATER
	STORM DRAIN		
FOC	FIBER OPTIC CABLE		
X"G	GAS		
OHE	OVERHEAD ELECTRIC		

PROPOSED

	PROPERTY LINE/RIGHT OF WAY LINE
	STORM DRAIN
	POST INDICATOR VALVE
GAS	GAS SERVICE
6"SS	SANITARY SEWER SERVICE
UGE	UNDERGROUND ELECTRIC SERVICE
UGE&T	UNDERGROUND ELECTRIC AND TELEPHONE SERVICE
UGT	UNDERGROUND TELEPHONE SERVICE
2"W	WATER SERVICE
6"W	FIRE LINE SERVICE
FDC	FIRE DEPARTMENT CONNECTION

GENERAL UTILITY NOTES

A. ALL WATER LINES SHALL BE PVC C-900 WITH 36" MIN. COVER.

B. ALL SANITARY SEWER LINES SHALL BE PVC SDR-35 WITH 36" MIN. COVER.

C. CONTRACTOR SHALL COORDINATE ANY DISRUPTIONS TO EXISTING UTILITY SERVICES WITH ADJACENT PROPERTY OWNERS.

D. ALL ELECTRIC, TELEPHONE AND GAS EXTENSIONS INCLUDING SERVICE LINES SHALL BE CONSTRUCTED TO THE APPROPRIATE UTILITY COMPANY SPECIFICATIONS. ALL UTILITY DISCONNECTIONS SHALL BE COORDINATED WITH THE DESIGNATED UTILITY COMPANIES.

E. CONSTRUCTION SHALL NOT START ON ANY PUBLIC UTILITY SYSTEM UNTIL WRITTEN APPROVAL HAS BEEN RECEIVED BY THE ENGINEER FROM THE APPROPRIATE GOVERNING AUTHORITY AND CONTRACTOR HAS BEEN NOTIFIED BY THE ENGINEER.

F. PRIOR TO THE CONSTRUCTION OF OR CONNECTION TO ANY STORM DRAIN, SANITARY SEWER, WATER MAIN OR ANY OF THE DRY UTILITIES, THE CONTRACTOR SHALL EXCAVATE, VERIFY AND CALCULATE ALL POINTS OF CONNECTION AND ALL UTILITY CROSSINGS AND INFORM CEI ENGINEERING AND THE OWNER/DEVELOPER OF ANY CONFLICT OR REQUIRED DEVIATIONS FROM THE PLAN. NOTIFICATION SHALL BE MADE A MINIMUM OF 48 HOURS PRIOR TO CONSTRUCTION. CEI ENGINEERING AND ITS CLIENTS SHALL BE HELD HARMLESS IN THE EVENT THAT THE CONTRACTOR FAILS TO MAKE SUCH NOTIFICATION.

G. UNLESS OTHERWISE SHOWN, CALLED OUT OR SPECIFIED HEREON OR WITHIN SPECIFICATIONS: ALL WATER LINE FITTINGS SHALL BE INSTALLED WITH THRUST BLOCKING PER DETAIL 31A. ALL WATER LINE PIPE BEDDING SHALL BE INSTALLED PER DETAIL 42A. ALL SANITARY SEWER PIPE BEDDING SHALL BE INSTALLED PER DETAIL 42B.

UTILITY DETAILS

29B CONCRETE STREET OR DRIVE CUT REPAIR
39A SANITARY SEWER MANHOLE (CAST IN PLACE)
39C SANITARY SEWER INSIDE DROP MANHOLE
40C SANITARY SEWER CLEAN-OUT

UTILITY NOTES

22A POINT OF CONNECTION - WATER SERVICE (PER LOCAL CODES).
22B M.J.TAPPING SLEEVE WITH M.J. TAPPING VALVE AND THRUST BLOCKING WITH ADJUSTABLE VALVE BOX (SEE SIZES THIS SHEET).
22D M.J.TEE WITH THRUST BLOCKING (SEE SIZES THIS SHEET).
22G 90 DEGREE M.J. BEND WITH THRUST BLOCKING (SEE SIZES THIS SHEET).
22H 45 DEGREE M.J. BEND WITH THRUST BLOCKING (SEE SIZES THIS SHEET).
22K SPRINKLER ENTRY PER ARCH. PLANS (SEE SIZES THIS SHEET).
22L METERED DOMESTIC WATER SERVICE ENTRY PER ARCH. PLANS (SEE SIZES THIS SHEET).
22Y INTERIOR BACK FLOW PREVENTER (PER ARCH. PLANS).
23E SANITARY SEWER SERVICE ENTRY (PER ARCH. PLANS).
23H GREASE TRAP WITH CLEAN-OUT (SIZE TO BE DETERMINED BY PLUMBING ENGINEER FOR MORE INFORMATION, SEE ARCHITECT'S BUILDING PLANS.).
24A POINT OF CONNECTION FOR ELECTRICAL SERVICE (PER ELECTRIC COMPANY REQUIREMENTS).
24D PROPOSED ELECTRIC TRANSFORMER.
26A POINT OF CONNECTION FOR UNDERGROUND TELEPHONE (PER TELEPHONE COMPANY REQUIREMENTS).
27A POINT OF CONNECTION FOR GAS SERVICE (PER LOCAL GAS COMPANY REQUIREMENTS).
27B GAS SERVICE PER LOCAL GAS COMPANY.
27C PROPOSED GAS METER.
31A LOCATION FOR THIS UTILITY AS SHOWN IS FOR DRAWING PURPOSES ONLY. CONTRACTOR SHALL VERIFY THE EXACT LOCATION IN FIELD PRIOR TO THE CONSTRUCTION OF THE PROPOSED UTILITY LINE TO BE CONNECTED. CONTRACTOR SHALL NOTIFY CEI ENGINEERING IF THE DESIGN AS SHOWN IS NOT ACHIEVABLE.
70A ELECTRIC AND COMMUNICATIONS SERVICE ENTRY (PER ARCH. PLANS)
70B POST INDICATOR VALVE (PER LOCAL CODES).

PRELIMINARY
NOT FOR
CONSTRUCTION

30898	10/18/18	JDG	DMT	BMW	BMW
CEI PROJECT NO.	INITIAL DATE	DPOR	PM	DES	DRW

Engineering Associates, Inc.
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LANDSCAPE ARCHITECTS • ENVIRONMENTAL SCIENTISTS
3030 LBJ Freeway, Suite 100
Dallas, TX 75234
(972)488-3737
FAX (972)488-6732

HOOTERS
12710 WESTPORT PARKWAY
LA VISTA NEBRASKA

UTILITY PLAN

REV DATE 10/18/18 REV-3

SHEET NO. 9 OF 19

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Know what's **below.**
Call before you dig.

N

0 40' 60' 80'
SCALE IN FEET

SITE BENCHMARK

BM NO. 1
CHISELED "X" WEST RIM CURB INLET MANHOLE, 1ST CURB INLET NORTH OF 12702 WESTPORT PARKWAY ENTRANCE, WEST SIDE WESTPORT PARKWAY.
ELEVATION = 1113.01 (NAVD 88) AS SHOWN HEREON

BM NO. 2
CHISELED "X" WEST RIM CURB INLET MANHOLE, 1ST CURB INLET NORTH OF 12720 WESTPORT PARKWAY (BOOT BARN) ENTRANCE WEST SIDE WESTPORT PARKWAY.
ELEVATION = 1110.62 (NAVD 88) AS SHOWN HEREON

LEGEND

EXISTING

e	EAST OR ELECTRIC	OHT	OVERHEAD TELEPHONE
n	NORTH	OHTV	OVERHEAD TV
oh	OVERHEAD	X"SS	SANITARY SEWER
s	SOUTH OR SEWER	UGE	UNDERGROUND ELECTRIC
t	TELEPHONE	UGE&T	UNDERGROUND ELECTRIC AND TELEPHONE
ug	UNDERGROUND	UGT	UNDERGROUND TELEPHONE
w	WEST OR WATER	UGTV	UNDERGROUND TV
	PROPERTY LINE	X"W	WATER
	RIGHT OF WAY LINE	.5-10-11 50.5	TREE INFO .5 = DIAMETER OF TRUNK IN FEET 10 = HEIGHT OF TREE IN FEET 11 = CANOPY DIAMETER IN FEET 50.5 = ELEVATION AT BASE OF TREE
	STORM DRAIN		
X"G	GAS		
OHE	OVERHEAD ELECTRIC		
OHE&T	OVERHEAD ELECTRIC AND TELEPHONE		

PRELIMINARY
NOT FOR
CONSTRUCTION

30898	10/18/18	JDG	DMT	BMW	BMW
CEI PROJECT NO.	INITIAL DATE	DPOR	PM	DES	DRW

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Dallas, TX 75234
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FAX (972)488-6732

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12710 WESTPORT PARKWAY
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EMERGENCY VEHICLE ACCESS PLAN

REV DATE 10/19/18 REV-3

SHEET NO. 10 OF 19

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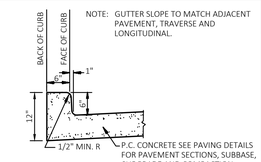
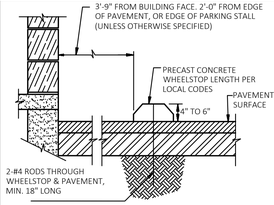
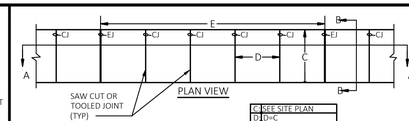
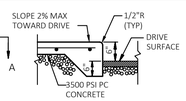


TYPE "B" CONCRETE INTEGRAL CURB AND GUTTER 01B
N.T.S.

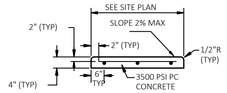


PRECAST CONCRETE WHEEL STOP 02A
N.T.S.



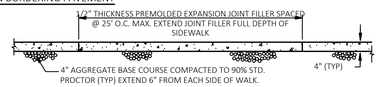


SECTION OF SIDEWALK WHEN BORDERING PAVEMENT



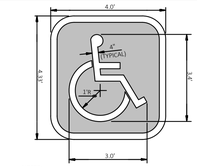
SECTION B-B

NOTES:
1. REQUIRED REINFORCEMENT WILL BE No. 3 BARS 24" O.C. EACH WAY MAX. SPACING, OR 6 x 6 - W1.4 X W1.4 WWF.
2. INSTALL 1/2" EXPANSION JOINT MATERIAL AT AREAS WERE PROPOSED SIDEWALK ABUTTS EXISTING SIDEWALK, CURBS, AND OR STRUCTURE. (JOINT MAT'L. TO MEET ASTM D994 OR D1751)
3. ALL SIDEWALKS WITHIN CITY RIGHT-OF-WAY SHALL BE NON-REINFORCED.



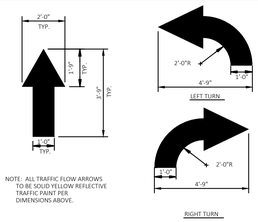
SECTION A-A

CONCRETE SIDEWALK 03D
N.T.S.



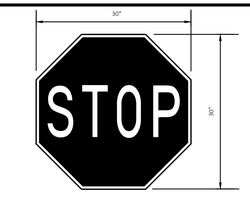
NOTES:
LOCATE AT EDGE OF PARKING SPACE UNLESS ACCOMPANIED BY "VAN" LETTERING. WHERE INDICATED "VAN" LETTERING SHALL BE WHITE 12" HIGH LETTERING CENTERED ON THE STALL. ALL STRIPING SHALL BE WHITE. THE INSIDE AREA OF THE SYMBOL SHALL BE BLUE.

ACCESSIBLE PARKING SYMBOL 09U
N.T.S.



NOTE: ALL TRAFFIC FLOW ARROWS TO BE SOLID YELLOW REFLECTIVE TRAFFIC PAINT PER DIMENSIONS ABOVE.

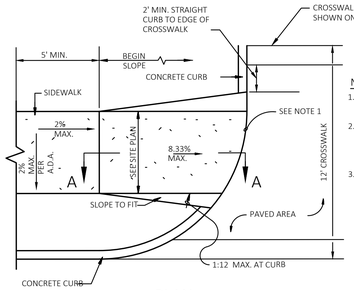
TRAFFIC FLOW ARROW 10A
N.T.S.



WHITE LEGEND RED BACKGROUND

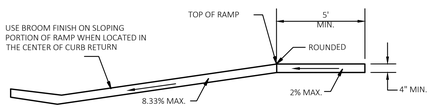
R1-1

"STOP" SIGN 12G
N.T.S.



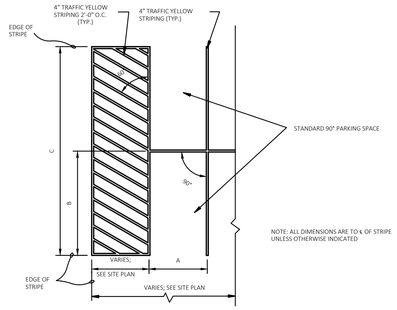
NOTES:
1. THE BOTTOM OF THE RAMP SHALL HAVE A MAXIMUM OF A 1/4" LIP.
2. RAMP SIDE SLOPE VARIES UNIFORMLY FROM A MAXIMUM OF UP TO 8.33 % AT CURB TO CONFORM WITH LONGITUDINAL SIDEWALK SLOPE ADJACENT TO TOP OF THE RAMP.
3. CONSTRUCT PER A.D.A. STANDARDS.

PLAN



SECTION A-A

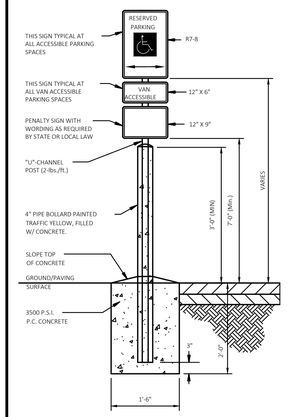
WHEELCHAIR RAMP IN SIDEWALK (TYPICAL AT EACH DRIVEWAY CURB RETURN) 03N
N.T.S.



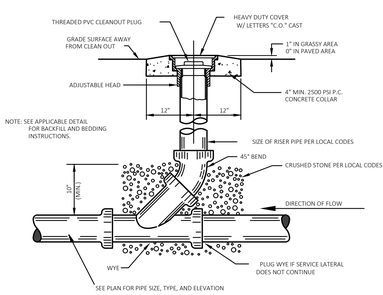
DIMENSION CHART									
A	9'	9.5'	10'	9'	9.5'	10'	9'	9.5'	10'
B	18'	18'	18'	19'	19'	19'	20'	20'	20'
C	36'	36'	36'	38'	38'	38'	40'	40'	40'

NOTE: SEE SITE PLAN FOR TOTAL LAYOUT

90° PARKING SPACE STRIPING 09S
N.T.S.

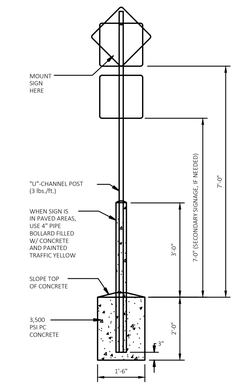


ACCESSIBLE / VAN ACCESSIBLE PARKING SIGN 09S
N.T.S.

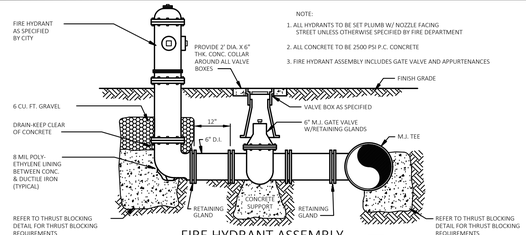


SANITARY SEWER CLEAN-OUT 10C
N.T.S.

ALL SIGNS SHOULD COMPLY WITH U.S. DEPARTMENT OF TRANSPORTATION, FEDERAL HIGHWAY ADMINISTRATION'S "MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES", LOCAL CODES AND AS SPECIFIED. MOUNT SIGNS IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS.

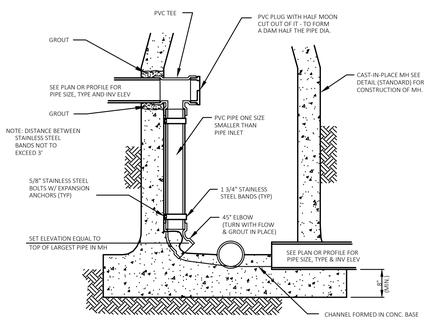


SIGN BASE 12F
N.T.S.

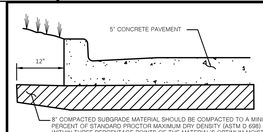


NOTE:
1. ALL HYDRANTS TO BE SET PLUMB W/ NOZZLE FACING STREET UNLESS OTHERWISE SPECIFIED BY FIRE DEPARTMENT
2. ALL CONCRETE TO BE 2500 PSI P.C. CONCRETE
3. FIRE HYDRANT ASSEMBLY INCLUDES GATE VALVE AND APPURTENANCES

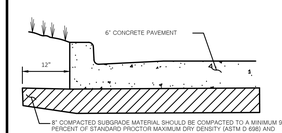
FIRE HYDRANT ASSEMBLY 06A
N.T.S.



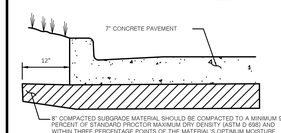
SANITARY SEWER INSIDE DROP MANHOLE 10C
N.T.S.



STANDARD DUTY CONCRETE 09C
N.T.S.

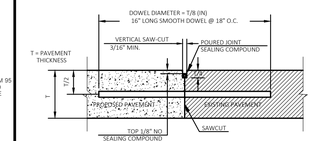


HEAVY DUTY CONCRETE 09D
N.T.S.



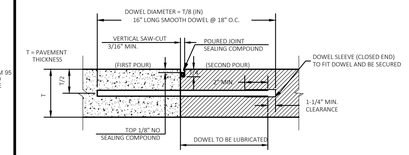
EXTRA HEAVY DUTY CONCRETE 09E
N.T.S.

NOTES:
1. THE BASE COARSE AND SUBGRADE SHALL BE COMPACTED PER GEOTECHNICAL RECOMMENDATIONS (REFER TO GEOTECHNICAL REPORT DATE MAY 4, 2018, TERRACON PROJECT NO: 05185066).
2. CONTRACTOR SHALL VERIFY THE ABOVE DETAILS WITH THE GEOTECHNICAL REPORT PRIOR TO CONSTRUCTION (REFER TO GEOTECHNICAL REPORT DATE MAY 4, 2018, TERRACON PROJECT NO: 05185066). ALL DISCREPANCIES SHALL BE CLARIFIED WITH THE CONSTRUCTION MANAGER PRIOR TO THE START OF CONSTRUCTION.



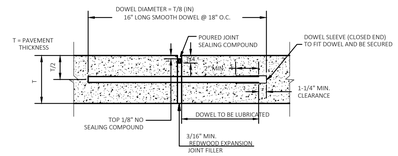
NOTE:
1. DOWEL BARS SHALL BE DRILLED INTO PAVEMENT HORIZONTALLY BY USE OF A MECHANICAL RIG.
2. DRILLING BY HAND IS NOT ACCEPTABLE, PUSHING DOWEL BARS INTO GREEN CONCRETE IS NOT ACCEPTABLE.

BUTT JOINT



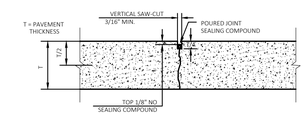
NOTE:
1. DOWELS SHALL BE SUPPORTED BY AN APPROVED DEVICE.

CONSTRUCTION JOINT



NOTE:
1. DOWELS SHALL BE SUPPORTED BY AN APPROVED DEVICE.

TRANSVERSE EXPANSION JOINT



CONTRACTION JOINT

CONCRETE JOINT DETAILS 09R
N.T.S.

30898	10/18/18	JDG	DMT	BMW	BMW
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DETAIL SHEET 1

REV DATE	SHEET NO.
10/19/18 REV-3	11 OF 19

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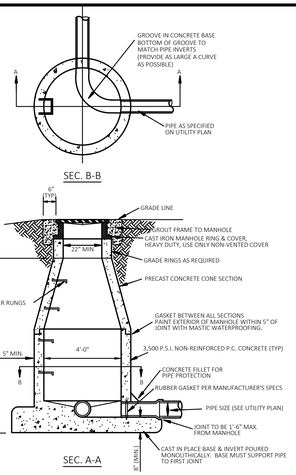
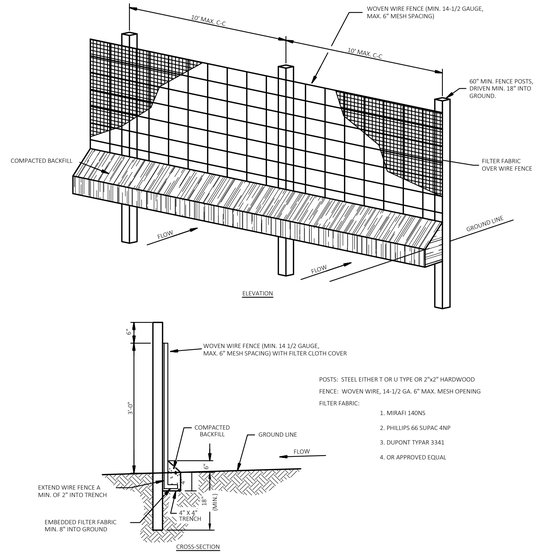


SANITARY SEWER MANHOLE (CAST IN PLACE)

N.T.S. 35A



POSTS: STEEL EITHER T OR U TYPE OR 2"x2" HARDWOOD

FENCE: WOVEN WIRE, 14 -1/2 GA. 6" MAX. MESH OPENING

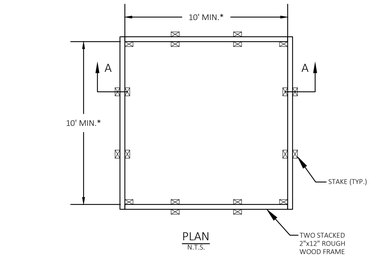
FILTER FABRIC:

1. MIRAFI 140NS
2. PHILLIPS 66 SUPAC 4NP
3. DUPONT TYPAR 3341
4. OR APPROVED EQUAL

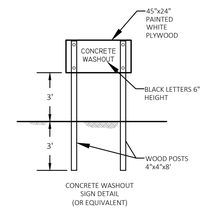
1. WOVEN WIRE FENCE TO BE FASTENED SECURELY TO FENCE POSTS WITH WIRE TIES OR STAPLES.
2. FILTER CLOTH TO BE FASTENED SECURELY TO WOVEN WIRE FENCE WITH TIES SPACED EVERY 24" AT TOP AND MID SECTION.
3. WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER THEY SHALL BE OVERLAPPED BY 6" AND FOLDED.
4. MAINTENANCE SHALL BE PERFORMED AS NOTED IN THE EROSION CONTROL PLAN. COLLECTED MATERIAL SHALL BE REMOVED WHEN "BULGES" DEVELOP IN THE SILT FENCE.

TEMPORARY SILT FENCE

N.T.S. 34A



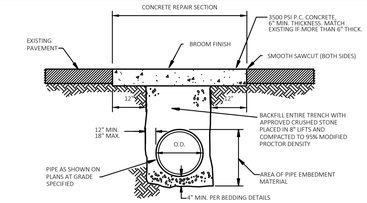
NOTES:
1. *DENOTES THE INTERIOR DIMENSION.
2. CONCRETE WASHOUT SHALL BE AT LEAST 50 FT. FROM ANY STORM SEWER INLET.
3. THE CONCRETE WASHOUT SIGN SHALL BE INSTALLED WITHIN 30 FT. OF THE TEMPORARY CONCRETE WASHOUT FACILITY.



TEMPORARY CONCRETE WASHOUT (ABOVE GRADE)

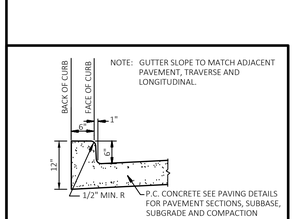
N.T.S. 85C

7-15-2015 RJB 85C



CONCRETE PATCH FOR STREET OR DRIVE

N.T.S. 29B

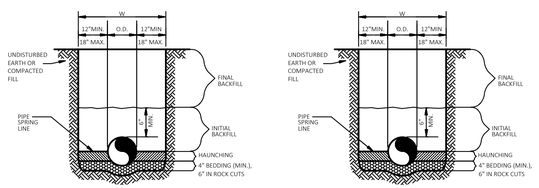


NOTE: GUTTER SLOPE TO MATCH ADJACENT PAVEMENT, TRAVERSE AND LONGITUDINAL.

P.C. CONCRETE SEE PAVING DETAILS FOR PAVEMENT SECTIONS, SUBBASE, SUBGRADE AND COMPACTION REQUIREMENTS.

TYPE "B" CONCRETE INTEGRAL CURB AND GUTTER

N.T.S. 31B



WATER LINE & FORCE MAIN

N.T.S. 12A

SANITARY SEWER

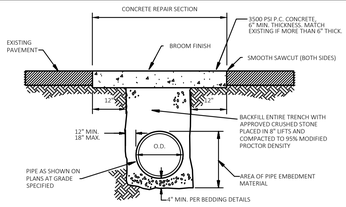
N.T.S. 32B

GENERAL NOTES

1. BEDDING SHALL BE CLASS I-A WORKED BY HAND. IF GROUNDWATER IS ANTICIPATED, THEN BEDDING SHALL BE CLASS I-B COMPACTED TO 85% STANDARD PROCTOR. (SEE SPECIFICATIONS FOR GRADATION)
2. HAUNCHING SHALL BE WORKED AROUND THE PIPE BY HAND TO ELIMINATE VOIDS AND SHALL BE CLASS I-A OR CLASS I-B OR CLASS II COMPACTED TO 85% PROCTOR.
3. INITIAL BACKFILL SHALL BE CLASS I-A WORKED BY HAND, OR CLASS I-B OR CLASS II COMPACTED TO 85% STANDARD PROCTOR.
4. INITIAL BACKFILL NOT UNDER PAVED AREAS CAN BE CLASS III COMPACTED TO 90% STANDARD PROCTOR.
5. FINAL BACKFILL SHALL BE CLASS I, II, OR III COMPACTED AS NOTED IN NOTES 3. AND 4
6. FINAL BACKFILL NOT UNDER PAVED AREAS CAN BE CLASS IV-A COMPACTED TO 95% STANDARD PROCTOR.
7. ALL MATERIALS ARE CLASSIFIED IN ACCORDANCE WITH ASTM D 2321, LATEST EDITION.
8. ALL MATERIALS SHALL BE INSTALLED IN MAXIMUM 8" LOOSE LIFTS IN ACCORDANCE WITH ASTM D 698. CLASS III AND IV-A MATERIALS SHALL BE COMPACTED NEAR OPTIMUM MOISTURE CONTENT.
9. FILL SALVAGED FROM EXCAVATION SHALL BE FREE OF DEBRIS, ORGANICS AND ROCKS LARGER THAN 2".
10. ALL TRENCH EXCAVATIONS SHALL BE SLOPED, SHORED, SHEETED, BRACED, OR OTHERWISE SUPPORTED IN COMPLIANCE WITH OSHA REGULATIONS AND LOCAL ORDINANCES. (SEE SPECIFICATIONS)

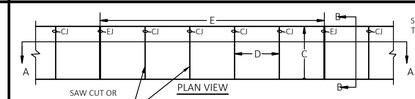
SANITARY SEWER AND WATER LINE TRENCHING AND BEDDING

N.T.S.

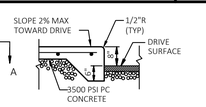


CONCRETE PATCH FOR STREET OR DRIVE

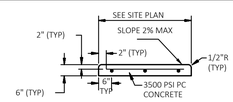
N.T.S. 29B



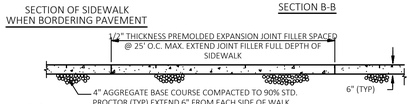
NOTES:
1. REQUIRED REINFORCEMENT WILL BE No. 3 BARS 24" O.C. EACH WAY MAX. SPACING, OR 6 x 6 - W1.4 X W1.4 WWF.
2. INSTALL 1/2" EXPANSION JOINT MATERIAL AT AREAS WERE PROPOSED SIDEWALK ABUTTS EXISTING SIDEWALK, CURBS, AND OR STRUCTURE. (JOINT MAT'L. TO MEET ASTM D994 OR D1751)



SECTION OF SIDEWALK WHEN BORDERING PAVEMENT



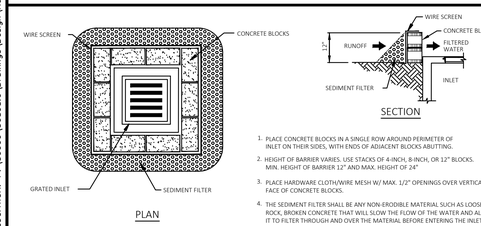
SECTION B-B



SECTION A-A

SIDEWALK (5' WIDE X 6" IN DEPTH)

N.T.S. 30D



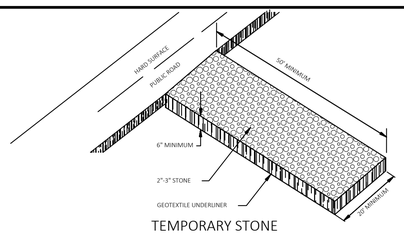
PLAN

SECTION

1. PLACE CONCRETE BLOCKS IN A SINGLE ROW AROUND PERIMETER OF INLET ON THEIR SIDES, WITH ENDS OF ADJACENT BLOCKS ABUTTING.
2. HEIGHT OF BARRIER VARIES. USE STACKS OF 4-INCH, 8-INCH, OR 12" BLOCKS. MIN. HEIGHT OF BARRIER 12" AND MAX. HEIGHT OF 24"
3. PLACE HARDWARE CLOTH/WIRE MESH W/ MAX. 1/2" OPENINGS OVER VERTICAL FACE OF CONCRETE BLOCKS.
4. THE SEDIMENT FILTER SHALL BE ANY NON-ERODIBLE MATERIAL SUCH AS LOOSE ROCK, BROKEN CONCRETE THAT WILL SLOW THE FLOW OF THE WATER AND ALLOW IT TO FILTER THROUGH AND OVER THE MATERIAL BEFORE ENTERING THE INLET.

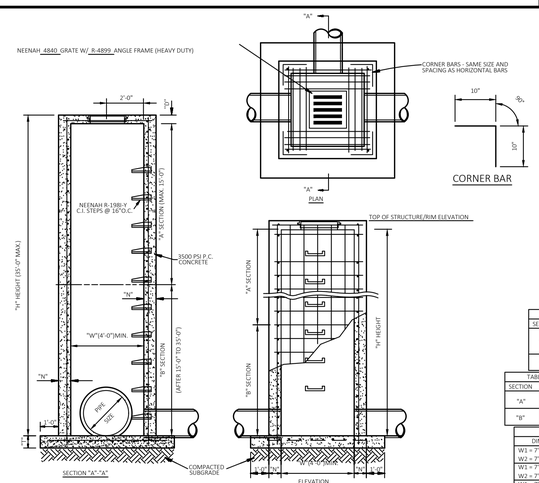
TEMPORARY BLOCK AND AGGREGATE INLET SEDIMENT FILTER

N.T.S. 30A



TEMPORARY STONE CONSTRUCTION ENTRANCE

N.T.S. 85A



CORNER BAR

GRATE INLET

N.T.S. 23A

GENERAL NOTES:
1. ALL EXPOSED CORNERS TO HAVE 3/4" CHAMFER
2. ALL #4 & #5 REINFORCING BARS TO HAVE 1-1/2" COVER, LARGER SIZES TO HAVE 2" COVER.
3. SEE GRADING AND DRAINAGE PLAN FOR PIPE SIZES, LOCATIONS, AND FLOW LINES.
4. PIPES SHALL CONNECT TO THE ENDS OR SIDES OF THE INLET. CONNECTION SHALL NOT BE MADE AT CORNERS OF INLET.
5. ALL REINFORCING BARS TO BE GRADE 60.

REINFORCEMENT SCHEDULE, BASE	
SECTION	
"A"	#4's @ 6" E.W.
"B"	#6's @ 6" E.W.

TABLE OF 'W' DIMENSIONS				
PIPE SIZE	SKEW OF CROSS DRAIN			
SINGLE	STRAIGHT	30°		45°
ø 24"	4'-0"	4'-0"		4'-10"
30"	4'-0"	4'-7"		5'-8"
36"	4'-0"	5'-3"		6'-5"
42"	5'-3"	5'-11"		7'-3"
48"	5'-10"	6'-7"		8'-0"
60"	7'-0"	7'-10"		9'-8"
DOUBLE	FOR "A" SECTION ONLY			
24"	7'-0"	7'-10"		9'-5"
30"	8'-3"	9'-2"		11'-0"
36"	9'-4"	10'-6"		12'-6"
42"	10'-6"	11'-10"		14'-2"
48"	11'-8"	13'-2"		15'-10"

REINFORCEMENT SCHEDULE, WALLS			
SECTION	WIDTH ("W")	HOR.	VERT.
"A"	4'	#4's @ 9"	#4's @ 10"
	BETWEEN 4' & 7'	#6's @ 9"	#4's @ 10"
	GREATER THAN 7'	#5's @ 4 1/2"	#4's @ 10"
"B"	4'	#4's @ 6"	#4's @ 10"
	BETWEEN 4' & 7'	#6's @ 6"	#4's @ 10"

TABLE OF "T" & "N" DIMENSIONS					
SECTION	WIDTH ("W")	"T"		"N"	"D"
"A"	BETWEEN 4' & 7'	6" + PIPE THICKNESS		8"	6"
	GREATER THAN 7'	6" + PIPE THICKNESS		8"	8"
"B"	4'	6" + PIPE THICKNESS		8"	8"
	BETWEEN 4' & 7'	6" + PIPE THICKNESS		10"	8"

REINFORCEMENT SCHEDULE, TOP		
DIMENSIONS	STEEL	SPECIAL PATTERN
W1 = 7' OR LESS	#4's @ 8" E.W.	DIAGONAL @ COVER
W2 = 7' OR LESS	#4's @ 8" E.W.	DIAGONAL @ COVER
W1 = 7' OR LESS	#4's @ 8" E.W.	DIAGONAL @ COVER
W2 = 7' OR GREATER	#4'S @ 6" E.W.	DIAGONAL @ COVER
W1 = 7' OR GREATER	#4's @ 6" E.W.	DIAGONAL @ COVER
W2 = 7' OR GREATER	#4's @ 6" E.W.	DIAGONAL @ COVER

30898	10/18/18	JDG	DMT	BMW	BMW
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ENGINEERS • PLANNERS • SURVEYORS
LANDSCAPE ARCHITECTS • ENVIRONMENTAL SCIENTISTS
3030 LBJ Freeway, Suite 100
Dallas, TX 75234
(972)488-3737
FAX (972)488-6732

HOOTERS

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DETAIL SHEET 2

REV DATE	SHEET NO.
10/19/18 REV-3	12 OF 19

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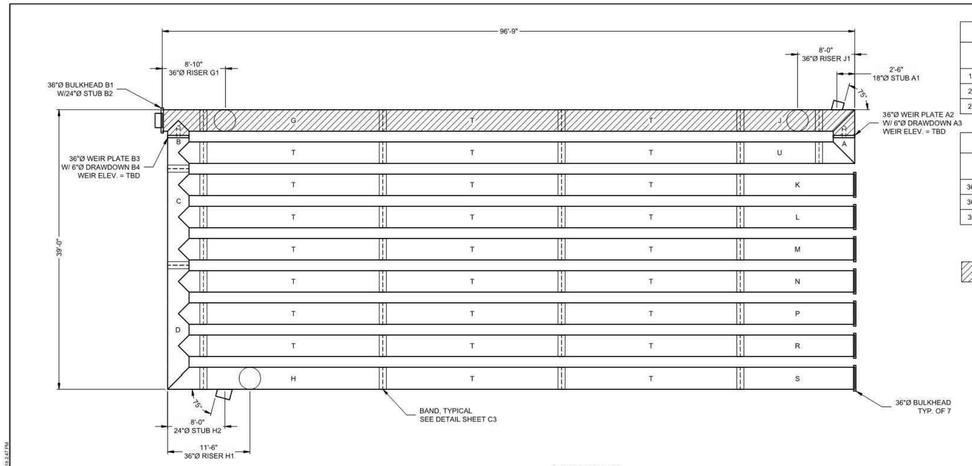

STUB INFORMATION		
PIECE	STUB INVERT	SYSTEM INVERT
18"Ø STUB A1	TBD	1104.33
24"Ø STUB B2	TBD	1104.33
24"Ø STUB H2	1104.33	1104.33

RISER INFORMATION		
PIECE	RIM ELEV.	SYSTEM INVERT
36"Ø RISER G1	TBD	1104.33
36"Ø RISER H1	TBD	1104.33
36"Ø RISER J1	TBD	1104.33

KEY:

SEDIMENTATION ROW

ASSEMBLY

SCALE: 1" = 10'
PIPE STORAGE: 6,209 CF
LOADING: H20
PIPE INV. = 1104.33'±

THE UNDERSIGNED HEREBY APPROVES THE ATTACHED (5) PAGES INCLUDING THE FOLLOWING:

- **PIPE STORAGE = 6,209 CF**
- **MAINLINE PIPE GAGE = 16**
- **WALL TYPE = SOLID**
- **DIAMETER = 36"**
- **FINISH = ALT2**
- **CORRUGATION = 2 2/3x1/2**

CUSTOMER DATE

NOTES

- ALL RISER AND STUB DIMENSIONS ARE TO CENTERLINE.
- ALL ELEVATIONS, DIMENSIONS, AND LOCATIONS OF RISERS AND INLETS, SHALL BE VERIFIED BY THE ENGINEER OF RECORD (EOR) PRIOR TO RELEASING FOR FABRICATION.
- ALL FITTINGS AND REINFORCEMENT COMPLY WITH ASTM A998.
- ALL RISERS AND STUBS ARE 2⅔" x ½" CORRUGATION AND 16 GAGE UNLESS OTHERWISE NOTED.
- RISERS TO BE FIELD TRIMMED TO GRADE AS REQUIRED, BY CONTRACTOR.
- QUANTITY OF PIPE SHOWN DOES NOT PROVIDE EXTRA PIPE FOR CONNECTING THE SYSTEM TO EXISTING PIPE OR DRAINAGE STRUCTURES. OUR SYSTEM AS DETAILED PROVIDES NOMINAL INLET AND/OR OUTLET PIPE STUB FOR CONNECTION TO EXISTING DRAINAGE FACILITIES. IF ADDITIONAL PIPE IS NEEDED IT IS THE RESPONSIBILITY OF THE CONTRACTOR.
- ALL ACCESS CASTINGS ARE THE RESPONSIBILITY OF THE CONTRACTOR AND ARE NOT SUPPLIED BY CONTECH.

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11815 NE Glenn Widing Drive, Portland, OR 97220
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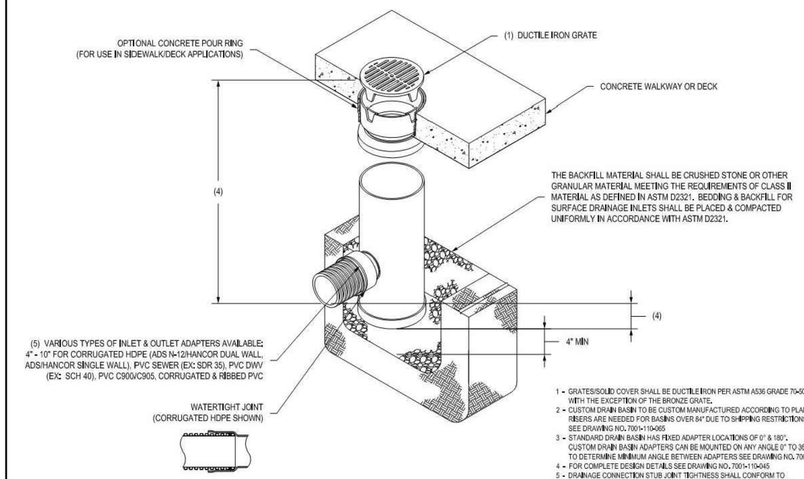
CONTECH CMP DETENTION SYSTEMS
CONTECH PROPOSAL DRAWING

36"Ø UNDERGROUND DETENTION SYSTEM - 599906-010
HOOTERS - LA VISTA, NE
OMAHA, NE
SITE DESIGNATION: 73A

PROJECT No.: 599906	SEQ. No.: 010	DATE: 8/31/2018
DESIGNED: LMO	DRAWN: NRA	
CHECKED:	APPROVED:	
SHEET NO.: C1 OF 5		

NYLOPLAST 10" DRAIN BASIN: 2810AG _ _ X



1 - GRATES/SOLID COVER SHALL BE DUCTILE IRON PER ASTM A536 GRADE 70-50-05, WITH THE EXCEPTION OF THE BRONZE GRATE.
2 - CUSTOM DRAIN BASIN TO BE CUSTOM MANUFACTURED ACCORDING TO PLAN DETAILS. RISERS ARE NEEDED FOR BASINS OVER 84" DUE TO SHIPPING RESTRICTIONS. SEE DRAWING NO. 7001-110-065
3 - STANDARD DRAIN BASIN HAS FIXED ADAPTER LOCATIONS OF 0° & 180°. CUSTOM DRAIN BASIN ADAPTERS CAN BE MOUNTED ON ANY ANGLE 0° TO 360°. TO DETERMINE MINIMUM ANGLE BETWEEN ADAPTERS SEE DRAWING NO. 7001-110-012.
4 - FOR COMPLETE DESIGN DETAILS SEE DRAWING NO. 7001-110-045
5 - DRAINAGE CONNECTION STUB JOINT TIGHTNESS SHALL CONFORM TO ASTM D3212 FOR CORRUGATED HDPE (ADS N-12/HANCOR DUAL WALL) & PVC SEWER (4" - 24").

GRATE OPTIONS	LOAD RATING	PART #	DRAWING #
PEDESTRIAN STANDARD	LIGHT DUTY	1099CGS	7001-110-198
SOLID COVER	LIGHT DUTY	1099CGC	7001-110-199
BRONZE	LIGHT DUTY	1099CGB	7001-110-200
DOME	N/A	1099CGD	7001-110-201
DROP IN GRATE	LIGHT DUTY	1001DI	7001-110-020

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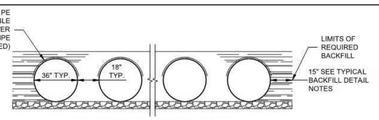
DRAWN BY	EBC	MATERIAL	73B
DATE	11-15-06		
REVISED BY	EBC	PROJECT NO./NAME	
DATE	3-14-10		
DWG SIZE	A	SCALE 1:16	SHEET 1 OF 1

Nyloplast
3130 VERONA AVE
BUFORD, GA 30518
PHN (770) 932-2443
FAX (770) 932-2490
www.nyloplastinfo.com

TITLE
10 IN DRAIN BASIN QUICK SPEC INSTALLATION DETAIL

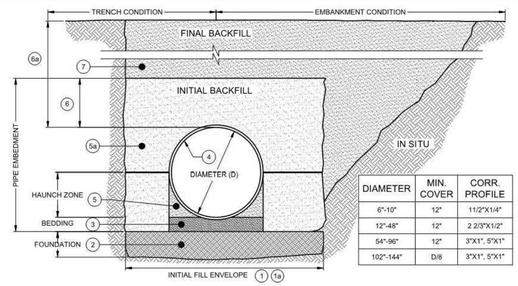
DWG NO. 7001-110-273 REV C



TYPICAL SECTION VIEW

NOT TO SCALE

NOTE: IF SALTING AGENTS FOR SNOW AND ICE REMOVAL ARE USED ON OR NEAR THE PROJECT, A GEOMEMBRANE BARRIER IS RECOMMENDED WITH THE SYSTEM. THE GEOMEMBRANE LINER IS INTENDED TO HELP PROTECT THE SYSTEM FROM THE POTENTIAL ADVERSE EFFECTS THAT MAY RESULT FROM A CHANGE IN THE SURROUNDING ENVIRONMENT OVER A PERIOD OF TIME. PLEASE REFER TO THE CORRUGATED METAL PIPE DETENTION DESIGN GUIDE FOR ADDITIONAL INFORMATION.



DIAMETER	MIN. COVER	CORR. PROFILE
6"-10"	12"	11/2"X1/4"
12"-48"	12"	2 2/3"X1/2"
54"-96"	12"	3"X1", 5"X1"
102"-144"	D/8	3"X1", 5"X1"

- **BACKFILL REQUIREMENTS FOLLOW THE GUIDELINES OF AASHTO LRFD BRIDGE DESIGN (SEC 12) and CONSTRUCTION (SEC 26).**

1 MINIMUM TRENCH WIDTH MUST ALLOW ROOM FOR PROPER COMPACTION OF HAUNCH MATERIALS UNDER THE PIPE.
THE MINIMUM TRENCH WIDTH (12.6.6.1):
PIPE ≤ 12": D + 16"
PIPE > 12": 1.5D + 12"

1a MINIMUM EMBANKMENT WIDTH (in feet) FOR INITIAL FILL ENVELOPE (12.6.6.2):
PIPE < 24": 3.0D
PIPE 24" - 144": D + 4'0"
PIPE > 144": D + 10'0"

2 THE FOUNDATION UNDER THE PIPE AND SIDE BACKFILL SHALL BE ADEQUATE TO SUPPORT THE LOADS ACTING UPON IT (26.5.2).

3 BEDDING MATERIAL SHALL BE A RELATIVELY LOOSE MATERIAL THAT IS ROUGHLY SHAPED TO FIT THE BOTTOM OF THE PIPE, AND A MINIMUM OF TWICE THE CORRUGATION DEPTH IN THICKNESS, WITH THE MAXIMUM PARTICLE SIZE OF ONE-HALF OF THE CORRUGATION DEPTH (26.3.8.1, 26.5.3).

4 CORRUGATED STEEL PIPE (CSP) [HEL-COR].

5 HAUNCH ZONE MATERIAL SHALL BE HAND SHOVELED OR SHOVEL SLICED INTO PLACE TO ALLOW FOR PROPER COMPACTION (26.5.4).

5a INITIAL BACKFILL FOR PIPE EMBEDMENT TO MEET AASHTO A-1, A-2 OR A-3 CLASSIFICATION OR APPROVED EQUAL, COMPACTED TO 90% STANDARD PROCTOR (T-99). MAXIMUM PARTICLE SIZE NOT TO EXCEED 3" (12.4.1.2). ALL LIFTS PLACED IN A CONTROLLED MANNER. IT IS RECOMMENDED THAT LIFTS NOT EXCEED AN 8" UNCOMPACTED LIFT HEIGHT TO PREVENT UNEVEN LOADING, AND THE LESSER OF 1/3 THE DIAMETER OR 24" AS THE MAXIMUM DIFFERENTIAL SIDE-TO-SIDE (26.5.4).

6 INITIAL BACKFILL ABOVE PIPE MAY INCLUDE ROAD BASE MATERIAL (AND RIGID PAVEMENT IF APPLICABLE). SEE TABLE ABOVE.

6a TOTAL HEIGHT OF COMPACTED COVER FOR CONVENTIONAL HIGHWAY LOADS IS MEASURED FROM TOP OF PIPE TO BOTTOM OF FLEXIBLE PAVEMENT OR TOP OF RIGID PAVEMENT (12.6.6.3).

7 FINAL BACKFILL MATERIAL SELECTION AND COMPACTION REQUIREMENTS SHALL FOLLOW THE PROJECT PLANS AND SPECIFICATIONS PER THE ENGINEER OF RECORD (26.5.4.1).

NOTES:

- GEOTEXTILE SHOULD BE CONSIDERED FOR USE TO PREVENT SOIL MIGRATION INTO VARYING SOIL TYPES (PROJECT ENGINEER).
- FOR MULTIPLE BARREL INSTALLATIONS THE RECOMMENDED STANDARD SPACING BETWEEN PARALLEL PIPE RUNS SHALL BE PIPE DIA./2 BUT NO LESS THAN 12", OR 36" FOR PIPE DIAMETERS 72" AND LARGER. CONTACT YOUR CONTECH REPRESENTATIVE FOR NONSTANDARD SPACING (TABLE C12.6.7-1).

TYPICAL BACKFILL DETAIL

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CONTECH CMP DETENTION SYSTEMS
CONTECH PROPOSAL DRAWING

36"Ø UNDERGROUND DETENTION SYSTEM - 599906-010
HOOTERS - LA VISTA, NE
OMAHA, NE
SITE DESIGNATION: 73A

PROJECT No.: 599906	SEQ. No.: 010	DATE: 8/31/2018
DESIGNED: LMO	DRAWN: NRA	
CHECKED:	APPROVED:	
SHEET NO.: C2 OF 5		

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LANDSCAPE ARCHITECTS • ENVIRONMENTAL SCIENTISTS
3030 LBJ Freeway, Suite 100
Dallas, TX 75234
(972)488-3737
FAX (972)488-6732

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REV DATE	SHEET NO.
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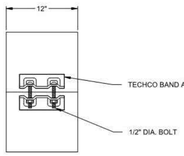
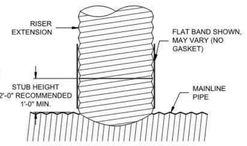


CONNECTION DETAIL
7 1/2" TECHCO SHOWN - MAY VARY



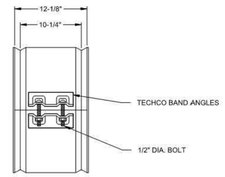
ELEVATION VIEW OF CMP & RISER

PLAIN END CMP RISER PIPE

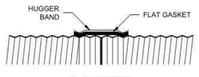
GENERAL NOTES:

1. **DELIVERED BAND STYLE AND FASTENER TYPE MAY VARY BY FABRICATION PLANT.**
2. JOINT IS TO BE ASSEMBLED PER AASHTO BRIDGE CONSTRUCTION SPECIFICATION SEC 26.4.2.4.
3. BAND MATERIAL AND GAGE TO BE SAME AS RISER MATERIAL.
4. IF RISER HAS A HEIGHT OF COVER OF 10' OR MORE, USE A SLIP JOINT.
5. BANDS ARE NORMALLY FURNISHED AS FOLLOWS:
   - 12" THRU 48" 1-PIECE
   - 54" 2-PIECES
6. ALL RISER JOINT COMPONENTS WILL BE FIELD ASSEMBLED.
7. MANHOLE RISERS IN APPLICATIONS WHERE TRAFFIC LOADS ARE IMPOSED REQUIRE SPECIAL DESIGN CONSIDERATIONS.
8. DIMENSIONS SUBJECT TO MANUFACTURING TOLERANCES.

12" RISER BAND DETAIL
NOT TO SCALE



CONNECTION DETAIL
7 1/2" TECHCO



2 2/3"x1/2" RE-ROLLED END HEL-COR PIPE

GENERAL NOTES:

1. JOINT IS TO BE ASSEMBLED PER AASHTO BRIDGE CONSTRUCTION SPECIFICATION SEC 26.4.2.4.
2. BAND MATERIALS AND/OR COATING CAN VARY BY LOCATION. CONTACT YOUR CONTECH REPRESENTATIVE FOR AVAILABILITY.
3. BANDS ARE SHAPED TO MATCH THE PIPE-ARCH WHEN APPLICABLE.
4. BANDS ARE NORMALLY FURNISHED AS FOLLOWS:
   - 12" THRU 48" 1-PIECE
   - 54" THRU 96" 2-PIECES
   - 102" THRU 144" 3-PIECES
5. BAND FASTENERS ARE ATTACHED WITH SPOT WELDS, RIVETS OR HAND WELDS.
6. ALL CMP IS REROLLED TO HAVE ANNULAR END CORRUGATIONS OF 2-2/3"x1/2"
7. DIMENSIONS ARE SUBJECT TO MANUFACTURING TOLERANCES.
8. ORDER SHALL DESIGNATE GASKET OPTION, IF REQUIRED (SEE DETAILS ABOVE).

H-12 HUGGER BAND DETAIL
NOT TO SCALE

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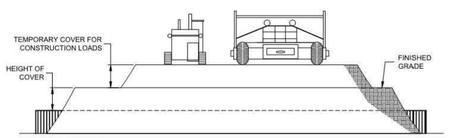
CONTECH® CMP DETENTION SYSTEMS
CONTECH PROPOSAL DRAWING

36"Ø UNDERGROUND DETENTION SYSTEM - 599906-010
HOOTERS - LA VISTA, NE
OMAHA, NE
SITE DESIGNATION:

PROJECT No.: 599906	SEQ. No.: 010	DATE: 8/31/2018
DESIGNED: LMO	DRAWN: NRA	
CHECKED:	APPROVED:	
SHEET NO.: C3 OF 5		



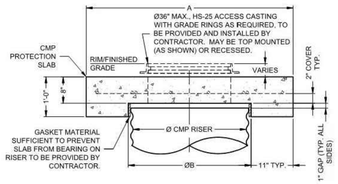
CONSTRUCTION LOADS

FOR TEMPORARY CONSTRUCTION VEHICLE LOADS, AN EXTRA AMOUNT OF COMPACTED COVER MAY BE REQUIRED OVER THE TOP OF THE PIPE. THE HEIGHT-OF-COVER SHALL MEET THE MINIMUM REQUIREMENTS SHOWN IN THE TABLE BELOW. THE USE OF HEAVY CONSTRUCTION EQUIPMENT NECESSITATES GREATER PROTECTION FOR THE PIPE THAN FINISHED GRADE COVER MINIMUMS FOR NORMAL HIGHWAY TRAFFIC.

PIPE SPAN, INCHES	AXLE LOADS (kips)			
	18-50	50-75	75-110	110-150
	MINIMUM COVER (FT)			
12-42	2.0	2.5	3.0	3.0
48-72	3.0	3.0	3.5	4.0
78-120	3.0	3.5	4.0	4.0
126-144	3.5	4.0	4.5	4.5

*MINIMUM COVER MAY VARY, DEPENDING ON LOCAL CONDITIONS. THE CONTRACTOR MUST PROVIDE THE ADDITIONAL COVER REQUIRED TO AVOID DAMAGE TO THE PIPE. MINIMUM COVER IS MEASURED FROM THE TOP OF THE PIPE TO THE TOP OF THE MAINTAINED CONSTRUCTION ROADWAY SURFACE.

CONSTRUCTION LOADING DIAGRAM
NOT TO SCALE

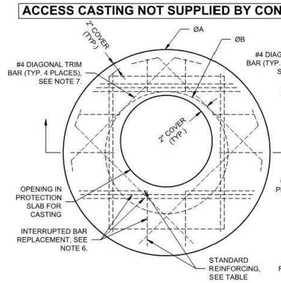


SECTION VIEW

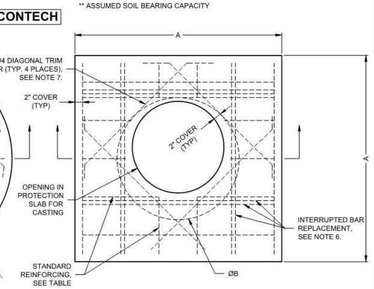
ACCESS CASTING NOT SUPPLIED BY CONTECH

REINFORCING TABLE				
Ø CMP RISER	A	Ø B	REINFORCING	**BEARING PRESSURE (PSF)
24"	Ø 4' 4'x4'	26"	#5 @ 10" OCEW #5 @ 10" OCEW	2,540 1,900
30"	Ø 4'-6" 4'-6" x 4'-6"	32"	#5 @ 10" OCEW #5 @ 9" OCEW	2,260 1,670
36"	Ø 5' 5' x 5'	38"	#5 @ 9" OCEW #5 @ 8" OCEW	2,060 1,500
42"	Ø 5'-6" 5'-6" x 5'-6"	44"	#5 @ 8" OCEW #5 @ 8" OCEW	1,490 1,370
48"	Ø 6' 6' x 6'	50"	#5 @ 7" OCEW #5 @ 7" OCEW	1,210 1,270

** ASSUMED SOIL BEARING CAPACITY



ROUND OPTION PLAN VIEW



SQUARE OPTION PLAN VIEW

NOTES:

1. DESIGN IN ACCORDANCE WITH AASHTO, 17th EDITION AND ACI 350.
2. DESIGN LOAD HS25.
3. EARTH COVER = 1' MAX.
4. CONCRETE STRENGTH = 4,000 psi
5. REINFORCING STEEL = ASTM A615, GRADE 60.
6. PROVIDE ADDITIONAL REINFORCING AROUND OPENINGS EQUAL TO THE BARS INTERRUPTED, HALF EACH SIDE. ADDITIONAL BARS TO BE IN THE SAME PLANE.
7. TRIM OPENING WITH DIAGONAL #4 BARS, EXTEND BARS A MINIMUM OF 12" BEYOND OPENING, BEND BARS AS REQUIRED TO MAINTAIN BAR COVER.
8. PROTECTION SLAB AND ALL MATERIALS TO BE PROVIDED AND INSTALLED BY CONTRACTOR.
9. DETAIL DESIGN BY DELTA ENGINEERS, ARCHITECTS AND LAND SURVEYORS, ENDWELL, NY.

MANHOLE CAP DETAIL
NOT TO SCALE

SPECIFICATION FOR CORRUGATED STEEL PIPE-ALUMINIZED TYPE 2 STEEL

SCOPE

THIS SPECIFICATION COVERS THE MANUFACTURE AND INSTALLATION OF THE CORRUGATED STEEL PIPE (CSP) DETAILED IN THE PROJECT PLANS.

MATERIAL

THE ALUMINIZED TYPE 2 STEEL COILS SHALL CONFORM TO THE APPLICABLE REQUIREMENTS OF AASHTO M274 OR ASTM A929.

PIPE

THE CSP SHALL BE MANUFACTURED IN ACCORDANCE WITH THE APPLICABLE REQUIREMENTS OF AASHTO M36 OR ASTM A760. THE PIPE SIZES, GAGES AND CORRUGATIONS SHALL BE AS SHOWN ON THE PROJECT PLANS.

ALL FABRICATION OF THE PRODUCT SHALL OCCUR WITHIN THE UNITED STATES.

HANDLING AND ASSEMBLY

SHALL BE IN ACCORDANCE WITH RECOMMENDATIONS OF THE NATIONAL CORRUGATED STEEL PIPE ASSOCIATION (NCSPA)

INSTALLATION

SHALL BE IN ACCORDANCE WITH AASHTO STANDARD SPECIFICATIONS FOR HIGHWAY BRIDGES, SECTION 26, DIVISION II OR ASTM A798 AND IN CONFORMANCE WITH THE PROJECT PLANS AND SPECIFICATIONS. IF THERE ARE ANY INCONSISTENCIES OR CONFLICTS THE CONTRACTOR SHOULD DISCUSS AND RESOLVE WITH THE SITE ENGINEER.

IT IS ALWAYS THE RESPONSIBILITY OF THE CONTRACTOR TO FOLLOW OSHA GUIDELINES FOR SAFE PRACTICES.

MATERIAL SPECIFICATION
NOT TO SCALE

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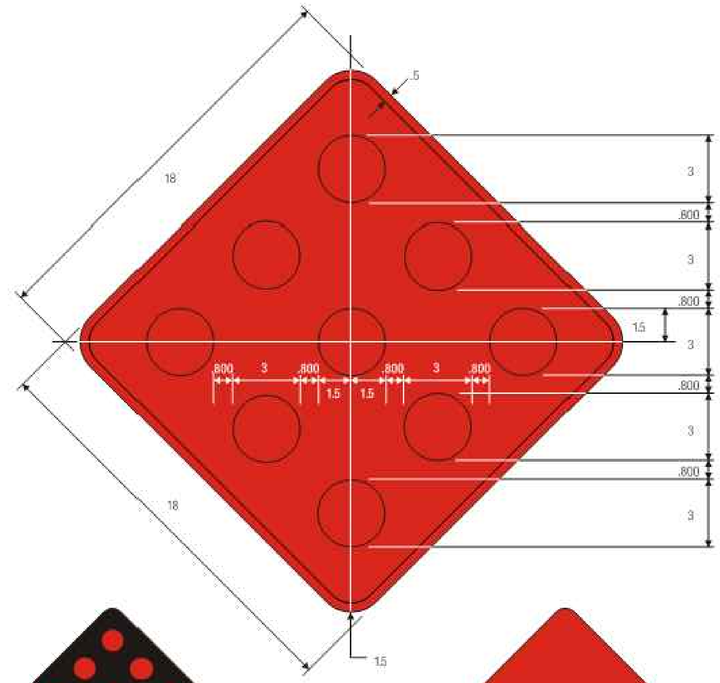
36"Ø UNDERGROUND DETENTION SYSTEM - 599906-010
HOOTERS - LA VISTA, NE
OMAHA, NE
SITE DESIGNATION:

PROJECT No.: 599906 | SEQ. No.: 010 | DATE: 8/31/2018
DESIGNED: LMO | DRAWN: NRA
CHECKED: | APPROVED:
SHEET NO.: C4 OF 5



OM4-2

OM4-1

OM4-3

OM4-1 COLORS:

REFLECTORS – RED (RETROREFLECTIVE)
BACKGROUND – RED
BORDER – RED (RETROREFLECTIVE)

NOTE: DETAIL 12F SHALL BE USED AS SIGN BASE.

OM4-2 COLORS:

REFLECTORS – RED (RETROREFLECTIVE)
BACKGROUND – BLACK

OM4-3 COLORS:

SIGN PANEL – RED (RETROREFLECTIVE)

TXDOT TRAFFIC CONTROL SIGN
N.T.S.

11-4

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DETAIL SHEET 4

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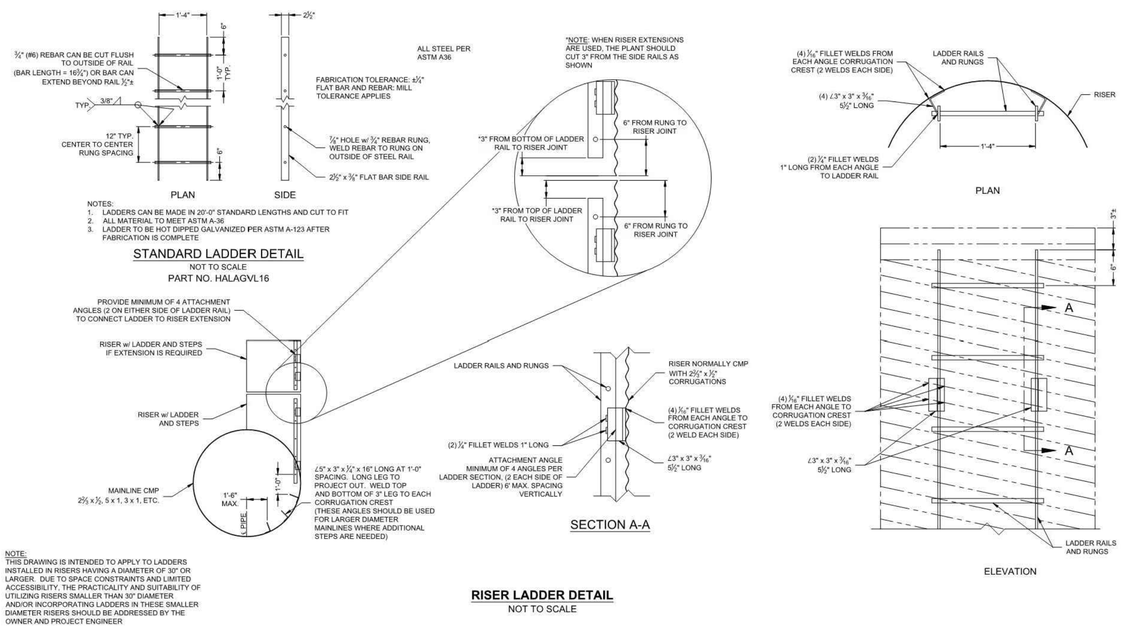

3/8/2018 Metal Backless Park Bench CAL-953B - Canaan

Metal Backless Park Bench CAL-953B

CAL-953B is an elegant bench with curved edges for a softened appearance.

MATERIALS

DIMENSIONS

Length: 71.7" / 182cm
Width: 21.7" / 55cm
Height: 16.9" / 43cm
Weight: 183lbs / 83kg

INSTALLATION

https://canaansitefurnishings.com/products/benches/metal-backless-park-bench-cal-953b/#2 2/4

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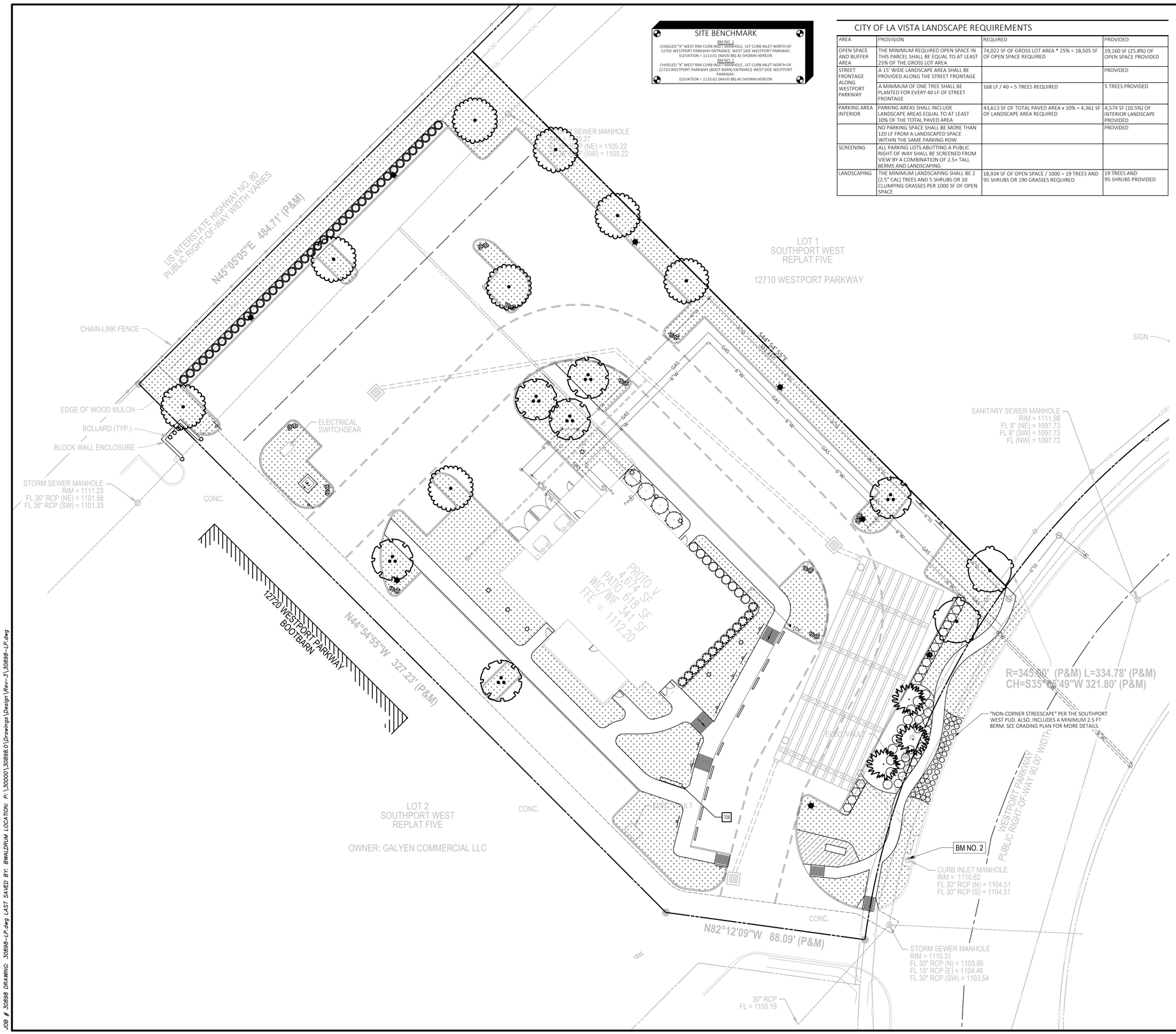

CITY OF LA VISTA LANDSCAPE REQUIREMENTS

AREA	PROVISION	REQUIRED	PROVIDED
OPEN SPACE AND BUFFER AREA	THE MINIMUM REQUIRED OPEN SPACE IN THIS PARCEL SHALL BE EQUAL TO AT LEAST 25% OF THE GROSS LOT AREA	74,022 SF OF GROSS LOT AREA * 25% = 18,505 SF OF OPEN SPACE REQUIRED	19,160 SF (25.8%) OF OPEN SPACE PROVIDED
STREET FRONTAGE ALONG WESTPORT PARKWAY	A 15' WIDE LANDSCAPE AREA SHALL BE PROVIDED ALONG THE STREET FRONTAGE		PROVIDED
	A MINIMUM OF ONE TREE SHALL BE PLANTED FOR EVERY 40 LF OF STREET FRONTAGE	168 LF / 40 = 5 TREES REQUIRED	5 TREES PROVIDED
PARKING AREA INTERIOR	PARKING AREAS SHALL INCLUDE LANDSCAPE AREAS EQUAL TO AT LEAST 10% OF THE TOTAL PAVED AREA	43,613 SF OF TOTAL PAVED AREA x 10% = 4,361 SF OF LANDSCAPE AREA REQUIRED	4,574 SF (10.5%) OF INTERIOR LANDSCAPE PROVIDED
	NO PARKING SPACE SHALL BE MORE THAN 120 LF FROM A LANDSCAPED SPACE WITHIN THE SAME PARKING ROW		PROVIDED
SCREENING	ALL PARKING LOTS ABUTTING A PUBLIC RIGHT OF WAY SHALL BE SCREENED FROM VIEW BY A COMBINATION OF 2.5+ TALL BERMS AND LANDSCAPING		
LANDSCAPING	THE MINIMUM LANDSCAPING SHALL BE 2 (2.5" CAL) TREES AND 5 SHRUBS OR 10 CLUMPING GRASSES PER 1000 SF OF OPEN SPACE	18,934 SF OF OPEN SPACE / 1000 = 19 TREES AND 95 SHRUBS OR 190 GRASSES REQUIRED	19 TREES AND 95 SHRUBS PROVIDED

Know what's **below.**
Call before you dig.

N

0 20' 30' 40'
SCALE IN FEET

LEGEND

EXISTING

e	EAST OR ELECTRIC	OHT	OVERHEAD TELEPHONE
n	NORTH	OHTV	OVERHEAD TV
oh	OVERHEAD	X"SS	SANITARY SEWER
s	SOUTH OR SEWER	UGE	UNDERGROUND ELECTRIC
t	TELEPHONE	UGE&T	UNDERGROUND ELECTRIC AND TELEPHONE
ug	UNDERGROUND	UGT	UNDERGROUND TELEPHONE
w	WEST OR WATER	UGTV	UNDERGROUND TV
	PROPERTY LINE	X"W	WATER
	RIGHT OF WAY LINE	.5-10-11 50.5	TREE INFO .5 = DIAMETER OF TRUNK IN FEET 10 = HEIGHT OF TREE IN FEET 11 = CANOPY DIAMETER IN FEET 50.5 = ELEVATION AT BASE OF TREE
	STORM DRAIN		
X"G	GAS		
OHE	OVERHEAD ELECTRIC		
OHE&T	OVERHEAD ELECTRIC AND TELEPHONE		

PROPOSED

- BOUNDARY LINE
- RIGHT OF WAY LINE
- STORM DRAIN
- BERMUDA GRASS SOD
- 24" LANDSCAPE BOULDER

DETAILS (REFER TO SHEET L2)

50A TREE PLANTING
50B SHRUB PLANTING
50Q STEEL EDGING
70B BENCH WITH ARBOR

PLANT SCHEDULE

TREES	QTY	BOTANICAL NAME / COMMON NAME	CONT	CAL	SIZE	DETAIL	
	8	Acer rubrum `Autumn Blaze` / Autumn Blaze Red Maple	B & B	2"Cal	40` DIA	50A	
	6	Betula nigra / River Birch Multi-Trunk	B & B	2"Cal	30` DIA	50A	
	2	Quercus rubra / Red Oak	B & B	2"Cal	40` DIA	50A	
	3	Malus Prairie Fire / Prairie Fire Crabapple	B & B	2 1/2"	20' DIA	50A	
SHRUBS	QTY	BOTANICAL NAME / COMMON NAME	SIZE	DETAIL	FIELD3		
	4	Ilex x attenuata `Fosteri` / Foster`s Holly	5 gal	50B			
	28	Myrica pusilla / Dwarf Southern Wax Myrtle	5 gal	50B			
	9	Rhaphiolepis indica `Indian Princess` TM / Indian Princess Indian Hawthorne	5 gal	50B			
	13	Rhus aromatica `Autumn Amber` / Autumn Amber Sumac	5 gal	50B			
	41	Taxus x media `Densiformis` / Dense Yew	5 gal	50B			
		Juniperus horizontalis 'Plumosa' / Andorra Juniper	5 gal	50B			
	17	Spirea japonica 'Magic Carpet' / Magic Carpet Spirea	3 gal	50B			
	38	Hemerocallis 'Eenie Weenie' / Eenie Weenie Daylily	1 gal	50B			
GROUND COVERS	QTY	BOTANICAL NAME / COMMON NAME					SPACING
	291	Liriope muscari / Lily Turf	4"pot	50B			12" o.c.

PRELIMINARY
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LANDSCAPE PLAN

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GENERAL NOTES

1. CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT ALL PROPOSED LANDSCAPING IS INSTALLED IN ACCORDANCE WITH PLANS, DETAILS, SPECIFICATIONS (IF APPLICABLE) AND ALL LOCAL CODES AND REQUIREMENTS.
2. CONTRACTOR TO INSPECT SITE AND VERIFY CONDITIONS AND DIMENSIONING PRIOR TO PROCEEDING WITH WORK DESCRIBED HERE IN. NOTIFY LANDSCAPE ARCHITECT OF ANY DISCREPANCIES PRIOR TO BEGINNING ANY CONSTRUCTION.
3. QUANTITIES PROVIDED IN THE PLANT LIST ARE FOR GENERAL USE ONLY. CONTRACTOR IS RESPONSIBLE FOR VERIFICATION OF ALL PLANT AND LANDSCAPE MATERIAL QUANTITIES. SYMBOL COUNT ON PLAN TAKES PRECEDENCE OVER TABLE QUANTITIES.
4. IMMEDIATELY AFTER AWARD OF CONTRACT, NOTIFY THE OWNER'S REPRESENTATIVE AND/OR THE LANDSCAPE ARCHITECT OF UNAVAILABILITY OF SPECIFIED PLANT MATERIAL FROM COMMERCIAL NURSERIES. THE OWNER'S REPRESENTATIVE AND/OR LANDSCAPE ARCHITECT WILL PROVIDE ALTERNATE PLANT MATERIAL SELECTIONS IF UNAVAILABILITY OCCURS. SUCH CHANGES SHALL NOT ALTER THE ORIGINAL BID PRICE UNLESS A CREDIT IS DUE TO THE OWNER.
5. ALL PLANT MATERIALS TO CONFORM TO THE AMERICAN STANDARD FOR NURSERY STOCK ANSI Z60.1.
6. CONTAINER GROWN STOCK SHOULD HAVE GROWN IN A CONTAINER LONG ENOUGH FOR THE ROOT SYSTEM TO HAVE DEVELOPED SUFFICIENTLY TO HOLD ITS SOIL TOGETHER.
7. ANY PLANT SUBSTITUTIONS, RELOCATION, OR REQUIRED CHANGE SHALL REQUIRE THE WRITTEN APPROVAL OF THE LANDSCAPE ARCHITECT OR OWNER.
8. THE OWNER'S REPRESENTATIVE AND/OR LANDSCAPE ARCHITECT RESERVE THE RIGHT TO REFUSE ANY MATERIAL THEY DEEM UNACCEPTABLE.
9. COORDINATE WITH PROJECT REPRESENTATIVE FOR DISTURBED SITE TREATMENTS OUTSIDE LANDSCAPE IMPROVEMENTS. SEE CIVIL PLANS FOR SOIL STABILIZATION FOR EROSION CONTROL.
10. IF REQUIRED, CONTRACTOR TO ENSURE THAT AN AUTOMATED IRRIGATION SYSTEM THAT PROVIDES COMPLETE COVERAGE OF THE SITE IS INSTALLED PRIOR TO INSTALLING TREES/PALMS (SEE IRRIGATION PLAN SHEET IF PROVIDED). IF NO PLAN IS PROVIDED THE CONTRACTOR SHALL SUBMIT A PROPOSED DESIGN TO THE LANDSCAPE ARCHITECT/ENGINEER FOR APPROVAL PRIOR TO INSTALLATION. THE PROPOSED DESIGN MUST HAVE AN APPROVED BACKFLOW DEVICE AND RAIN SENSOR INSTALLED TO STOP IRRIGATION DURING RAIN EVENTS. CONTRACTOR SHALL ENSURE THAT THERE IS POSITIVE DRAINAGE AND NO PONDING OF WATER AT ROOT AREA.
11. ALL SLOPES AND AREAS DISTURBED BY CONSTRUCTION SHALL BE GRADED SMOOTH AND FOUR INCHES OF TOPSOIL APPLIED. IF ADEQUATE TOPSOIL IS NOT AVAILABLE ON SITE, THE CONTRACTOR SHALL PROVIDE TOPSOIL, APPROVED BY THE OWNER, AS NEEDED. THE AREA SHALL THEN BE SEEDED/SODDED, FERTILIZED, MULCHED, WATERED AND MAINTAINED UNTIL HARDY GRASS GROWTH IS ESTABLISHED IN ALL AREAS. ANY RELOCATED TREES SHALL BE MAINTAINED UNTIL SUCH POINT AS TREE IS RE-ESTABLISHED. ANY AREAS DISTURBED FOR ANY REASON PRIOR TO FINAL ACCEPTANCE OF THE PROJECT SHALL BE CORRECTED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.
12. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL UNDERGROUND UTILITIES AND SHALL AVOID DAMAGE TO ALL UTILITIES DURING THE COURSE OF THE WORK. LOCATIONS OF EXISTING BURIED UTILITY LINES SHOWN ON THE PLANS ARE BASED UPON BEST AVAILABLE INFORMATION AND ARE TO BE CONSIDERED APPROXIMATE. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR 1) TO VERIFY THE LOCATIONS OF UTILITY LINES AND ADJACENT TO THE WORK AREA 2) TO PROTECT OF ALL UTILITY LINES DURING THE CONSTRUCTION PERIOD 3) TO REPAIR ANY AND ALL DAMAGE TO UTILITIES, STRUCTURES, SITE APPURTENANCES, ETC. WHICH OCCURS AS A RESULT OF THE CONSTRUCTION AT NO COST TO THE OWNER.
13. WEED MAT IS REQUIRED IN LANDSCAPED ISLANDS AS SPECIFIED.
14. ALL PLANT MATERIAL QUANTITIES SHOWN ARE APPROXIMATE. CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLETE COVERAGE OF ALL PLANTING BEDS AT SPACING SHOWN.
15. IF A SWPPP PLAN IS PROVIDED THIS PLAN IS TO BE IMPLEMENTED COOPERATIVELY WITH SWPPP PLAN, AS NEEDED, TO MAXIMIZE THE EFFECTIVENESS OF THE SWPPP PLAN FOR THIS SITE.
16. THE CONTRACTOR IS ENCOURAGED TO COMPLETE TEMPORARY OR PERMANENT SEEDING OR SODDING IN STAGES FOR SOIL STABILIZATION AS AREAS ARE COMPLETED AFTER GRADING.
17. ALL DISTURBED AREAS AS DESIGNATED ON THE GRADING PLAN SHALL BE SOWN WITH GRASS SEED MIX OF 45% YUKON BERMUDA, 45% MAJESTIC BERMUDA , 10% CENTIPEDE BY WEIGHT @ 3 LBS / 1000 SF.
18. SEEDING ON SLOPES: HYDROSEED WITH GRASS SEED AS INDICATED ON PLANS. SEE LEGEND FOR SPECIFIC GRASS SEED TYPE. SEEDING SHALL BE ACCOMPLISHED IMMEDIATELY AFTER BED PREPARATION. HYDROSEED MIXTURE SHALL CONTAIN CELLULOSE MULCH APPLIED AT A RATE OF 2,000 LBS./ACRE, WITH A MAXIMUM OF 50 LBS./100 GAL. OF WATER. IF SEEDING IS DELAYED AFTER MIXING 1/2 - 2 HOURS ADD AN ADDITIONAL 50% OF SEED MIX, IF DELAY IS LONGER THAN 2 HOURS, BEGIN WITH NEW MIXTURE. ALL SLOPES 2:1 OR GREATER SHALL BE COVERED WITH EROSION CONTROL BLANKET AS SHOWN IN THE EROSION CONTROL BLANKET DETAIL. SEE SPECIFICATIONS FOR SEED ESTABLISHMENT REQUIREMENTS.
19. ALL PLANT MATERIAL IN TREE HOLDING AREAS SHALL BE MANUALLY WATERED/IRRIGATED TO KEEP MOIST UNTIL PLANTED.

PLANTING NOTES

1. LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR PREPARING ALL PLANTED AREAS. ALL DELETERIOUS MATERIALS SUCH AS ROCK, TRASH, CONSTRUCTION DEBRIS, AGGREGATE BASE MATERIAL, ASPHALT, ETC. SHALL BE REMOVED PRIOR TO ANY FILL OPERATIONS. FILL ALL PLANTING AREAS WITH CLEAN EARTHEN FILL. SOIL SHALL BE FREE OF HEAVY, STIFF CLAY AND ANY DELETERIOUS MATERIAL OVER ONE INCH IN SIZE. THE TOP SIX INCHES OF FILL MATERIAL STRIPPED FROM SITE MAY BE UTILIZED FOR PLANTER OR TOPSOIL FILL IF PRIOR APPROVAL HAS BEEN OBTAINED FROM THE OWNER'S REPRESENTATIVE AND/OR LANDSCAPE ARCHITECT.
2. FINISH GRADE OF LANDSCAPE AREAS (TOP OF TURF AND MULCH) MUST BE GRADED TO 1 1/2" BELOW ADJACENT PAVEMENT SURFACES.
3. LOCATE SHRUBS A DISTANCE OF HALF OF THEIR AVERAGE MATURE SPREAD AWAY FROM WALKS, STRUCTURES, CONCRETE PADS, ETC. LOCATE GROUND COVER PLANTINGS A MINIMUM OF 2' FROM WALKS, STRUCTURES, CONCRETE PADS, ETC.
4. ALL LAWN AREAS NOT OTHERWISE BORDERED BY WALKS, OR OTHER STRUCTURES, SHALL HAVE MANUFACTURED EDGING AS REQUIRED.
5. TREES PLANTED ADJACENT TO PUBLIC ROADS AND PEDESTRIAN SIDEWALKS SHALL BE PRUNED SUFFICIENTLY TO AVOID VISUAL BLOCKS TO INTERSECTING VEHICULAR ACCESS OR INTERFERENCE WITH PEDESTRIAN WALKWAYS. TREES WITH A 4" OR LARGER CALIPER SHALL BE PRUNED UP TO 6'-0" ABOVE PAVEMENTS.
6. ALL TREES WITHIN 4' OF PAVED SURFACES (SUCH AS CURBS, WALLS, BUILDINGS AND SIDEWALKS) SHALL BE PROVIDED WITH A DEEP ROOT BARRIER CONTROL DEVICE OR EQUAL. INSTALL PER MFR'S SPECIFICATIONS.
7. TOPSOIL DEPTH SHALL BE AS FOLLOWS :
PLANTER BEDS - 12" MINIMUM
GRASS/SOD AREAS - 4" MINIMUM (AFTER COMPACTION)
8. BACKFILL ALL TREES, SHRUBS, GROUNDCOVER WITH A MIXTURE OF 2 PARTS NATIVE SOIL AND 1 PART SOIL CONDITIONING WITH WOOD MULCH.
9. THE LANDSCAPE CONTRACTOR SHALL WATER TEST ALL PLANTING HOLE PRIOR TO PLANTING. IF HOLES DO NOT DRAIN PROPERLY, EXCAVATE FURTHER UNTIL IMPERMEABLE LAYER IS BREACHED. EXCAVATED PLANT PITS SHALL HAVE POSITIVE DRAINAGE. PLANT PITS (WHEN FULLY FLOODED WITH WATER) SHALL DRAIN WITHIN 1 HOUR OF FILLING. ENSURE THAT ALL PLANT PITS HAVE POSITIVE DRAINAGE.
10. ALL PLANTING BEDS SHALL BE TREATED WITH A PRE-EMERGENT HERBICIDE. PRE-EMERGENT HERBICIDE SHALL BE APPLIED PER MANUFACTURE'S RECOMMENDATIONS AND SHALL OCCUR AFTER TOPSOIL PLACEMENT AND PRIOR TO INSTALLATION OF PLANT MATERIALS AND MULCH.
11. FERTILIZE ALL PLANTS AT THE TIME OF PLANTING WITH A TIME RELEASE FERTILIZER PER BRAND'S SPECIFIED APPLICATION RATES.
12. ALL PLANTING BED SOILS SHALL BE AMENDED WITH 2" OF ORGANIC COMPOST
13. ALL TREES AND SHRUBS SHALL BE PLANTED IN SUCH A MANNER AS TO ENSURE THEIR SURVIVAL.
14. ANY ROPE OR WIRE BINDING THE BALL SHALL BE CUT PRIOR TO PREVENT GIRDLING OF THE TREE. REMOVE WIRE, TWINE, AND BURLAP FROM THE TOP HALF OF ALL B&B PLANT MATERIAL.
15. IF A NON-BIODEGRADABLE MATERIAL IS USED AROUND THE BALL, IT SHALL BE COMPLETELY REMOVED PRIOR TO BACKFILLING.
16. PRIOR TO INSTALLATION, THE ROOTS OF CONTAINER GROWN STOCK SHALL BE SEPARATED OR SPLIT TO ENSURE PROPER ROOT DEVELOPMENT.
17. CONTRACTOR SHALL BE RESPONSIBLE FOR DELIVERY SCHEDULE AND PROTECTION BETWEEN DELIVERY AND PLANTING TO MAINTAIN HEALTHY PLANT CONDITIONS.
18. ANY PLANT MATERIAL WHICH IS DISEASED, DISTRESSED, DEAD, OR REJECTED (PRIOR TO SUBSTANTIAL COMPLETION) SHALL BE PROMPTLY REMOVED FROM THE SITE AND REPLACED WITH MATERIAL OF THE SAME SPECIES, QUANTITY, AND SIZE AND MEETING ALL PLANT LIST SPECIFICATIONS. TREES & SHRUBS SHALL BE PLANTED AS SOON AS POSSIBLE AFTER DELIVERY.
19. ALL TREES MUST BE STRAIGHT-TRUNKED, FULL-HEADED AND MEET ALL REQUIREMENTS SPECIFIED.
20. ALL TREES MUST BE STAKED AS SHOWN IN THE DETAILS.
21. NO SUBSTITUTIONS OR ALTERNATIVES WILL BE ALLOWED FOR GROUND SURFACE MATERIALS UNLESS APPROVED IN WRITING BY THE LANDSCAPE ARCHITECT OR OWNER.
22. MAINTAIN 5' MIN. HORIZONTAL SEPARATION BETWEEN TREE PLANTINGS AND ALL UTILITIES UNLESS OTHERWISE SPECIFIED.
23. A FOUR INCH (4") TOP DRESSING/MULCHING OF SHREDDED HARDWOOD MULCH SHALL BE PLACED IN ALL PLANT BEDS AND AROUND ALL TREES. SINGLE TREES OR SHRUBS SHALL HAVE TOP DRESSING TO THE OUTSIDE EDGE OF THE MANUFACTURED EDGING OR LANDSCAPE ISLAND. (SEE PLANTING DETAILS) TOP DRESSING CAN BE WOOD MULCH, ROCK, OR ANY OTHER DECORATIVE MATERIAL SPECIFIED ON PLANS. SEE LANDSCAPE PLAN FOR TYPE.
24. THE FOLLOWING PLANTING SEASONS ARE RECOMMENDED:
EVERGREEN SHRUBBERY NOV-MAR
DECIDUOUS SHRUBBERY & TREES NOV-MAR
EVERGREEN TREES NOV-MAR
25. CONTRACTOR TO SUBMIT PHOTOS OF PLANT MATERIAL TO CONSOLIDATE DEVELOPMENT SERVICES VIA PROCORE FOR LANDSCAPE ARCHITECT'S VERIFICATION THAT SIZE AND CONDITION ARE CONSISTENT WITH PLANS AND SPECIFICATIONS.

SOLID SOD NOTES

1. ADJUST FINE GRADE TO ACHIEVE POSITIVE DRAINAGE AWAY FROM BUILDINGS. PROVIDE UNIFORM ROUNDING AT TOP AND BOTTOM OF SLOPES AND OTHER BREAKS IN GRADE. CORRECT IRREGULARITIES AND AREAS WHERE WATER MAY STAND.
2. ALL LAWN AREAS TO RECEIVE SOLID SOD SHALL BE LEFT IN A MAXIMUM OF 1 1/2" BELOW FINAL FINISH GRADE. CONTRACTOR TO COORDINATE OPERATIONS WITH ON-SITE CONSTRUCTION MANAGER.
3. CONTRACTOR TO COORDINATE WITH ON-SITE CONSTRUCTION MANAGER FOR AVAILABILITY OF EXISTING TOPSOIL.
4. IMPORTED TOPSOIL SHALL BE NATURAL, FRIABLE SOIL FROM THE REGION KNOWN AS BOTTOM LAND SOIL; FREE FROM LUMPS, CLAY TOXIC SUBSTANCES, ROOTS, DEBRIS, VEGETATION, STONES; CONTAINING NO SALT AND BE BLACK TO BROWN IN COLOR.
5. ALL LAWN AREAS TO BE FINE GRADED, SETTLED, AND FINISH GRADE APPROVED BY THE OWNER'S REPRESENTATIVE OR LANDSCAPE ARCHITECT PRIOR TO SOD INSTALLATION.
6. ALL ROCKS 3/4" DIAMETER AND LARGER, DIRT CLODS, STICKS, CONCRETE SPOILS, CONSTRUCTION WASTE, ETC. SHALL BE REMOVED PRIOR TO PLACING TOPSOIL AND ANY LAWN INSTALLATION.
7. PLANT SOD BY HAND TO COVER INDICATED AREA COMPLETELY. INSURE EDGES OF SOD ARE TOUCHING. TOP DRESS JOINTS BY HAND WITH TOPSOIL TO FILL VOIDS.
8. ROLL GRASS AREAS TO ACHIEVE A SMOOTH, EVEN SURFACE, FREE FROM UNNATURAL UNDULATIONS.
9. FERTILIZE ALL SOD AT THE TIME OF PLANTING WITH A TIME RELEASE FERTILIZER PER BRAND'S SPECIFIED APPLICATION RATES.
10. WATER SOD THOROUGHLY AS SOD OPERATION PROGRESSES.
11. IF SOD IS INSTALLED ON SLOPES OF 3:1 OR GREATER. SOD SHALL BE STAKED TO AVOID SLIPPING OR SLIDING APART. STAKING OR STAPLES SHALL BE INSTALLED FLUSH AS TO NOT CREATE A MAINTENANCE ISSUE WITH CARE EQUIPMENT.
12. CONTRACTOR SHALL MAINTAIN ALL LAWN AREAS UNTIL FINAL ACCEPTANCE. THIS SHALL INCLUDE, BUT NOT LIMITED TO: MOWING, WATERING, WEEDING, CULTIVATING, CLEANING AND REPLACING DEAD OR BARE AREAS TO KEEP PLANTS IN VIGOROUS, HEALTHY CONDITIONS.
13. CONTRACTOR SHALL GUARANTEE ESTABLISHMENT OF AN ACCEPTABLE TURF AREA AND SHALL PROVIDE REPLACEMENT FROM LOCAL SUPPLY IF NECESSARY.
14. IF INSTALLATION OCCURS BETWEEN NOVEMBER AND MARCH ALL SOD AREAS TO BE OVER-SEEDED WITH GULF ANNUAL RYEGRASS.

PLANT GUARANTEE, REPLACEMENT AND MAINTENANCE

A. GUARANTEE:
ACCEPTANCE OF GRADING AND SEEDING SHALL BE BY LANDSCAPE ARCHITECT AND/OR OWNER. THE CONTRACTOR SHALL ASSUME MAINTENANCE RESPONSIBILITIES UNTIL FINAL ACCEPTANCE. MAINTENANCE SHALL INCLUDE WATERING, WEEDING, RESEEDING AND OTHER OPERATIONS NECESSARY TO KEEP ALL LAWN AREAS IN A THRIVING CONDITION. UPON FINAL ACCEPTANCE, OWNER SHALL ASSUME ALL MAINTENANCE RESPONSIBILITIES. AFTER LAWN AREAS HAVE GERIMINATED, AREAS WHICH FAIL TO SHOW A UNIFORM STAND OF GRASS FOR ANY REASON WHATSOEVER SHALL BE RE-SEEDED REPEATEDLY UNTIL ALL AREAS ARE COVERED WITH A SATISFACTORY STAND OF GRASS. MINIMUM ACCEPTANCE OF SEEDED LAWN AREAS MAY INCLUDE SCATTERED BARE SPOTS, NONE OF WHICH ARE LARGER THAN 1 SQUARE FOOT, AND WHEN COMBINED DO NOT EXCEED 2% OF TOTAL SEEDED LAWN AREA.

B. REPLACEMENT:
ANY PLANT UNDER THIS SPEC WHICH IS DEAD, MISSING, UNHEALTHY, OR OTHERWISE NOT ACCEPTABLE AND NOT IN SATISFACTORY GROWING CONDITION DURING CONSTRUCTION MAINTENANCE PERIOD, OR AT THE END OF THE GUARANTEE PERIOD, SHALL BE REMOVED FROM SITE AND REPLACED WITH SUITABLE, ACCEPTABLE PLANT AS SPECIFIED, WITHIN FIVE (5) DAYS.

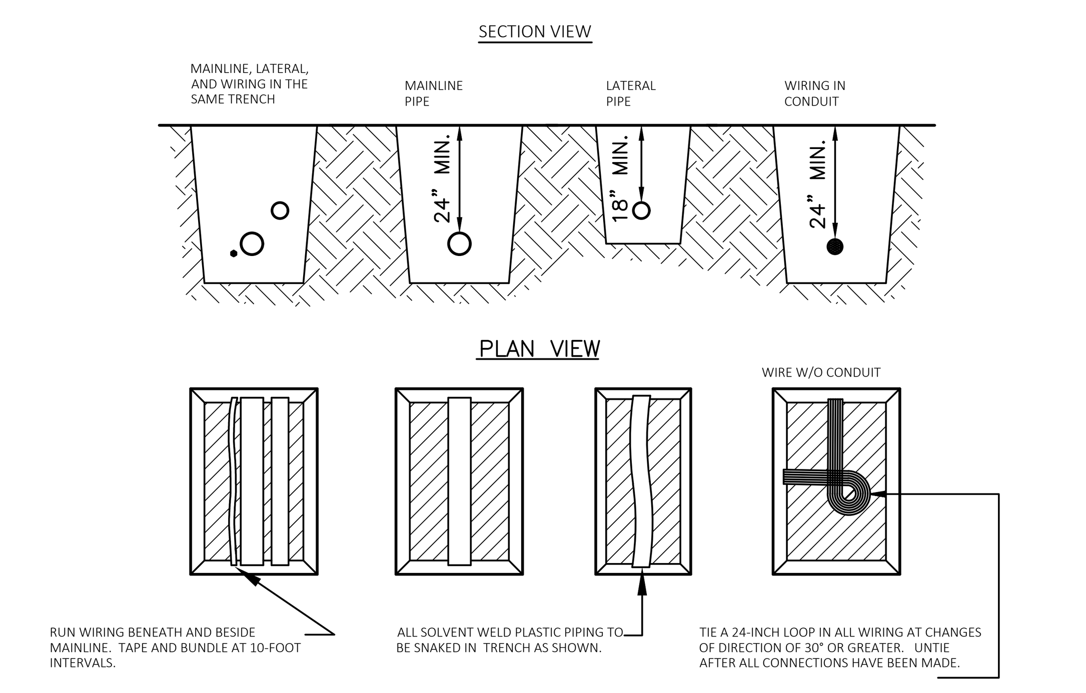
C. MAINTENANCE:
GENERAL CONTRACTOR SHALL PROVIDE ONE YEAR OF LANDSCAPE MAINTENANCE, FROM THE TIME THE PROJECT RECEIVES THE CERTIFICATE OF OCCUPANCY AND THERE AFTER, FOR ALL NEW LANDSCAPE. IF EXISTING LANDSCAPE EXISTS ON-SITE, GENERAL CONTRACTOR IS TO PROVIDE THE OPTION OF MAINTENANCE FOR THE OWNER'S REVIEW.

HERBICIDES NOTES

1. APPLICATION OF HERBICIDES SHALL BE IN COMPLIANCE WITH STATE PESTICIDES REGULATIONS. IT IS THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR TO CONSULT WITH THE REGULATORY AGENCIES FOR LOCAL HERBICIDES APPLICATION REQUIREMENTS.
2. IF THERE IS A DISCREPANCY BETWEEN STATE REGULATIONS AND ADDITIONAL REQUIREMENTS BELOW, MOST STRINGENT SHALL RULE
3. NO AERIAL APPLICATION OF HERBICIDES IS PERMITTED ON SITE.
4. CARCINOGENS AND EPA TOXIC CATEGORY I AND II ARE PROHIBITED TO USE ON SITE.

GENERAL IRRIGATION NOTES

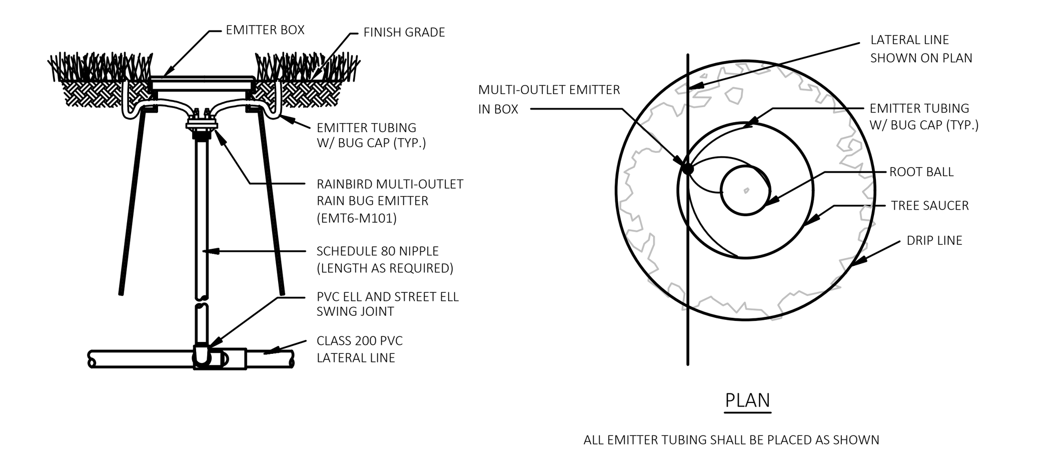
1. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING A COPY OF THE PROJECT SPECIFICATIONS PRIOR TO BIDDING. THE PROJECT SPECIFICATIONS ARE A PART OF THESE PLANS AND SHALL BE CONSULTED BY THE IRRIGATION CONTRACTOR. THE CONTRACTOR IS RESPONSIBLE FOR IMPLEMENTING WORK AS SPECIFIED IN THE PROJECT SPECIFICATIONS AND ON THE PLANS.
2. CONTRACTOR SHALL VERIFY ALL DIMENSIONS, ELEVATIONS, EQUIPMENT QUANTITIES, AND UTILITY LOCATIONS PRIOR TO BEGINNING WORK.
3. CONTRACTOR SHALL NOTIFY LANDSCAPE ARCHITECT OR LICENSED IRRIGATOR OF ANY DISCREPANCIES IN PLANS OR SPECIFICATIONS PRIOR TO BEGINNING OR CONTINUING WORK.
4. THE CONTRACTOR SHALL MAKE NO SUBSTITUTIONS, DELETIONS, OR ADDITIONS TO THIS PLAN WITHOUT APPROVAL OF THE LANDSCAPE ARCHITECT OR LICENSED IRRIGATOR.
5. ALL CONSTRUCTION SHALL CONFORM TO CITY, COUNTY, STATE, AND FEDERAL REQUIREMENTS. IT SHALL BE THE RESPONSIBILITY OF THE IRRIGATION CONTRACTOR TO ENSURE THAT ALL IRRIGATION EQUIPMENT MEETS GOVERNMENT REGULATIONS. CONTRACTOR SHALL ALSO BE RESPONSIBLE FOR OBTAINING ANY NECESSARY PERMITS OR APPROVALS.
6. CONTRACTOR IS TO VERIFY ACTUAL AVAILABLE WATER PRESSURE BEFORE BEGINNING INSTALLATION. CONTRACTOR SHALL NOTIFY LANDSCAPE ARCHITECT OR LICENSED IRRIGATOR IF AVAILABLE WATER PRESSURE EXCEEDS 5 PSI HIGHER OR LOWER THAN THE DESIGN WATER PRESSURE OF 65 PSI.
7.
8. IRRIGATION SYSTEMS CONNECTED TO POTABLE WATER SUPPLY, SHALL HAVE A BACKFLOW PREVENTER INSTALLED PER LOCAL REQUIREMENTS.
9. ANY EXISTING TREES TO REMAIN ARE TO BE PROTECTED FROM DAMAGE. DO NOT TRENCH OR EXCAVATE WITHIN THE CRITICAL ROOT ZONE OF ANY TREE.
10. SUPPLY LINE AND METER TO BE PROVIDED BY GENERAL CONTRACTOR. BACKFLOW PREVENTER TO BE PROVIDED BY IRRIGATION CONTRACTOR. IRRIGATION CONTRACTOR'S POINT OF CONNECTION TO BEGIN AFTER THE IRRIGATION WATER METER.
11. IRRIGATION CONTRACTOR SHALL REVIEW WINTERIZATION PROCEDURES FOR IRRIGATION SYSTEM WITH OWNERS REPRESENTATIVE.
12. IRRIGATION CONTRACTOR IS RESPONSIBLE FOR INSTALLING MANUAL DRAIN VALVES AT LOWEST POSSIBLE ELEVATION ON IRRIGATION MAIN SO AS TO PROVIDE POSITIVE DRAINAGE OF IRRIGATION MAIN DURING WINTER MONTHS, OR PROVIDE BLOWOUT ASSEMBLY.
13. ALL LATERAL LINES SHALL BE EQUIPPED WITH AUTOMATIC DRAIN VALVES AT LOW POINTS.
14. IRRIGATION CONTRACTOR SHALL COORDINATE CONTROLLER LOCATION WITH GENERAL CONTRACTOR. GENERAL CONTRACTOR SHALL PROVIDE (2) 1" ELECTRICAL CONDUITS FOR IRRIGATION CONTRACTOR'S POWER/DATA CONNECTION TO CONTROLLER. SEE ARCHITECTURAL ELECTRICAL PLAN FOR ELECTRICAL CONNECTION TO THE IRRIGATION CONTROLLER. IRRIGATION CONTRACTOR SHALL COORDINATE CONSTRUCTION OF IRRIGATION SYSTEM WITH GENERAL CONTRACTOR AND LANDSCAPE CONTRACTOR PRIOR TO COMMENCEMENT OF CONSTRUCTION.
15. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES, AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANIES AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
16. ALL BELOW GRADE LOW VOLTAGE WIRING CONNECTIONS SHALL BE INSTALLED PER WIRE CONNECTION DETAIL.
17. DO NOT INSTALL IRRIGATION AT PYLON / MONUMENT SIGN LOCATION UNTIL SIGN HAS BEEN INSTALLED.
18. LOCATION FOR IRRIGATION SYSTEM AS SHOWN IS FOR DRAWING PURPOSES ONLY. UNSLEEVED PIPES MAY BE SHOWN IN PAVEMENT AREAS FOR CLARITY ONLY. INSTALL THESE PIPES IN ADJACENT LANDSCAPE AREAS WHERE NECESSARY. CONTRACTOR SHALL VERIFY THE EXACT LOCATION IN FIELD PRIOR TO THE COMMENCEMENT OF CONSTRUCTION OF PROPOSED IRRIGATION SYSTEM. ALL PROPOSED IRRIGATION LINES AND EQUIPMENT SHALL BE INSTALLED WITHIN THE BOUNDARIES OF THE PROJECT SITE. CONTRACTOR SHALL NOTIFY LANDSCAPE ARCHITECT OR LICENSED IRRIGATOR IF THE DESIGN AS SHOWN IS NOT ACHIEVABLE.
19. MINIMUM COVER FROM TOP OF PIPING TO FINISHED GRADE SHALL BE AS PER DETAIL 64A.
20. IRRIGATION CONTRACTOR SHALL COORDINATE IRRIGATION INSTALLATION WITH PLANTING PLAN AND SITE CONDITIONS TO PROVIDE COMPLETE COVERAGE WITH MINIMUM OVERSPRAY. THE IRRIGATION CONTRACTOR SHALL MAKE MINOR ADJUSTMENTS TO ENSURE PROPER COVERAGE AT NO ADDITIONAL COST TO THE OWNER.
21. VALVE BOXES SHALL BE INSTALLED FLUSH WITH GRADE, SUPPORTED BY BRICKS IF NEEDED, WITH 3" OF CLEAN PEA GRAVEL LOCATED BELOW THE VALVE.
22. ALL MAIN LINE PIPING, NON-PRESSURE PIPING AND CONTROL WIRE SLEEVING SHALL BE INSTALLED IN SEPARATE SLEEVES. ALL LATERAL LINE PIPING UNDER PAVING SHALL BE PVC SHEDULE 40 AND SHALL BE INSTALLED PRIOR TO ANY HARDSCAPE MATERIAL. IRRIGATION CONTRACTOR TO PROVIDE SLEEVES BETWEEN 12" AND 15" BELOW GRADE AT ALL DRIVE ENTRANCES AND SIDEWALKS. MAINLINE SLEEVE SIZE SHALL BE A MINIMUM OF TWICE (2X) THE DIAMETER OF THE PIPE TO BE SLEEVED. CONTROL WIRE SLEEVES SHALL BE OF SUFFICIENT SIZE FOR THE REQUIRED NUMBER OF WIRES.
23. IT IS THE RESPONSIBILITY OF THE IRRIGATION CONTRACTOR TO FAMILIARIZE HIMSELF WITH ALL GRADE DIFFERENCES, LOCATION OF FENCES, RETAINING WALLS, AND UTILITIES. THE IRRIGATION CONTRACTOR SHALL REPAIR OR REPLACE ALL ITEMS DAMAGED BY HIS WORK. HE SHALL COORDINATE HIS WORK WITH OTHER CONTRACTORS FOR THE LOCATION AND INSTALLATION OF PIPE SLEEVES AND LATERALS THROUGH WALLS, UNDER ROADWAYS AND PAVING AND TIMING, ETC. REFER TO CIVIL ENGINEERING PLANS FOR GRADING, METHODS OF DRAINAGE, IRRIGATION METERS, AND BACKFLOW PREVENTION DEVICE LOCATION.
24. ALL IRRIGATION EQUIPMENT NOT OTHERWISE DETAILED OR SPECIFIED, SHALL BE INSTALLED AS PER MANUFACTURER'S RECOMMENDATIONS, DETAILS AND SPECIFICATIONS. ACCEPTABLE MANUFACTURERS INCLUDE RAINBIRD, HUNTER, TORO, OR NETAFIM
25. ANY DRIP SYSTEM PIPING IN PLANTING BEDS IS DIAGRAMMATIC. CONTRACTOR CAN ROUTE PIPING IN A FREEFORM MANNER (AVOIDING OBJECTS SUCH AS LIGHT POLES, TRANSFORMERS PADS, EQUIPMENT VAULTS, SUBSURFACE ROCK TOO LARGE TO REMOVE, ETC...) AS LONG AS ALL PLANT MATERIAL RECEIVES THE PROPER NUMBER OF EMITTERS PER SCHEDULE AND THE VINYL DISTRIBUTION TUBING DOES NOT EXCEED THE MAXIMUM DESIGN LENGTHS PER MANUFACTURER'S RECOMMENDATIONS.
26. UNLESS OTHERWISE REQUIRED, BACKFLOW PREVENTION DEVICES LESS THAN 2" SHALL BE PLACED IN A WIRE MESH BASKET ENCLOSURE AND PAINTED TO MATCH THE PRIMARY BUILDING COLORS. SEE CIVIL PLANS FOR LOCATION.
27. ALL JOINTS AND BENDS 2" OR LARGER SHALL HAVE CONCRETE THRUST BLOCKING. THRUST BLOCKING SHALL BE A MINIMUM OF 1 CUBIC FOOT OF CONCRETE. PIPE SHALL NOT BE ENCASED IN CONCRETE. SEE DETAIL 31C FOR THRUST BLOCKING.
28. CONTRACTOR WILL PROVIDE OWNER WITH A COMPLETE AND REPRODUCIBLE DRAWING OR IRRIGATION SYSTEM LAYOUT AS IT WAS INSTALLED. DRAWING SHOULD INCLUDE, BUT NOT BE LIMITED TO, LOCATIONS OF ZONES VALVES, MAIN, LATERAL AND DISTRIBUTION LINES, SLEEVES, WATER METER, BACKFLOW PREVENTION DEVICE, SENSORS AND CONTROLLER.
29. ALL LATERAL LINE SIZING SHALL REFER TO PIPE SCHEDULE ON THIS PLAN.



NOTES:
1. ALL LATERAL LINES SHALL BE SDR-13.5 PVC PIPE. ALL MAIN LINES SHALL BE SDR-21 PVC PIPE.
2. SLEEVES BELOW ALL HARDSCAPE ELEMENTS SHALL BE SCH. 40 PVC AND SHALL BE TWICE THE DIAMETER OF THE PIPE OR WIRE BUNDLE WITHIN.
3. ALL LATERAL LINES SHALL BE BURIED NO LESS THAN 18" DEEP. ALL MAIN LINES AND ELECTRICAL LINES SHALL BE NO LESS THAN 24" DEEP.

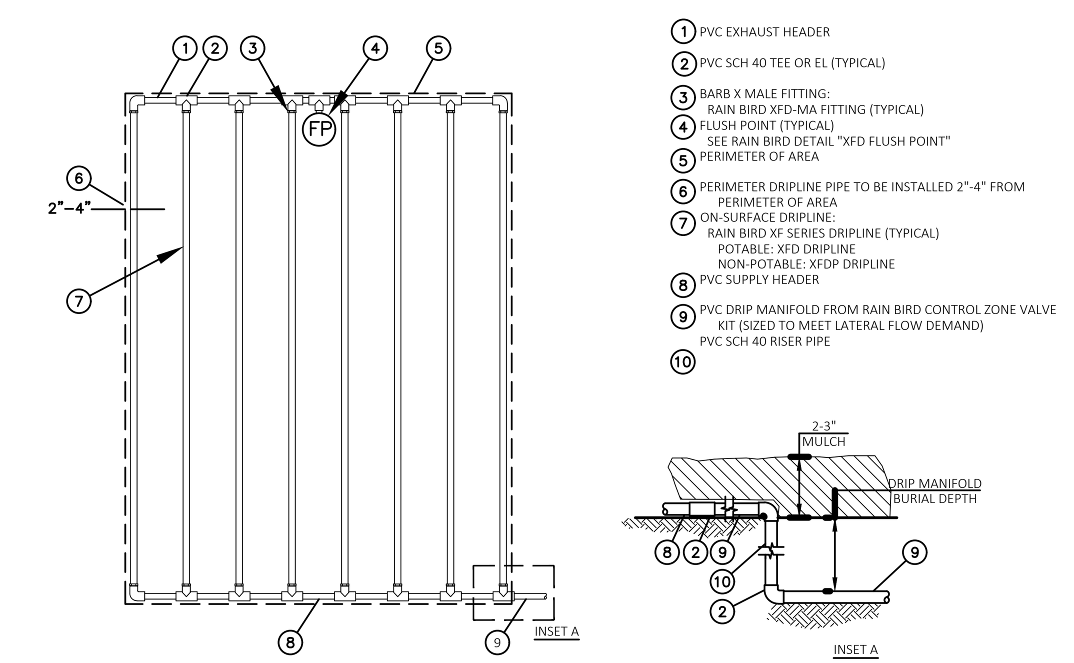
IRRIGATION PIPE AND WIRE TRENCHING 64A
N.T.S.

11-28-07	SLK	64A



ALL EMITTER TUBING SHALL BE PLACED AS SHOWN ON PLAN WITH 2 OUTLETS LOCATED ON OPPOSITE EDGES OF THE ROOT BALL, AND 2 OUTLETS LOCATED ON OPPOSITE EDGES OF THE TREE SAUCER.

MULTI-OUTLET EMITTER 79F
N.T.S.



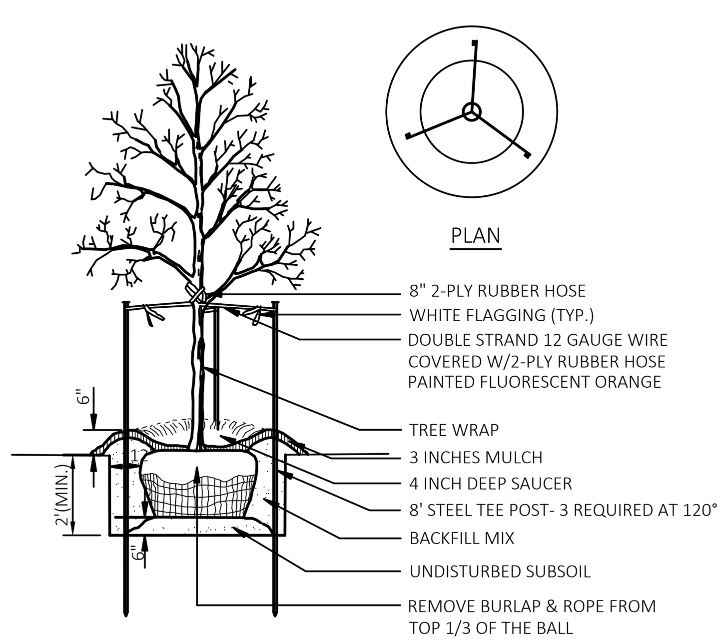
1. PVC EXHAUST HEADER
2. PVC SCH 40 TEE OR EL (TYPICAL)
3. BARB X MALE FITTING: RAIN BIRD XFD-MA FITTING (TYPICAL)
4. FLUSH POINT (TYPICAL) SEE RAIN BIRD DETAIL "XFD FLUSH POINT"
5. PERIMETER OF AREA
6. PERIMETER DRIPLINE PIPE TO BE INSTALLED 2"-4" FROM PERIMETER OF AREA
7. ON-SURFACE DRIPLINE: RAIN BIRD XF SERIES DRIPLINE (TYPICAL) POTABLE: XFD DRIPLINE NON-POTABLE: XFDP DRIPLINE
8. PVC SUPPLY HEADER
9. PVC DRIP MANIFOLD FROM RAIN BIRD CONTROL ZONE VALVE KIT (SIZED TO MEET LATERAL FLOW DEMAND) PVC SCH 40 RISER PIPE
10.

NOTES:
1. DISTANCE BETWEEN LATERAL ROWS AND EMITTER SPACING TO BE BASED ON SOIL TYPE, PLANT MATERIALS AND CHANGES IN ELEVATION. **SEE IRRIGATION PLAN FOR SPACING REQUIREMENTS.**
2. LENGTH OF LONGEST DRIPLINE LATERAL SHOULD NOT EXCEED THE MAXIMUM SPACING SHOWN IN THE TABLE BELOW.

XFD Dripline Maximum Lateral Lengths (Feet)

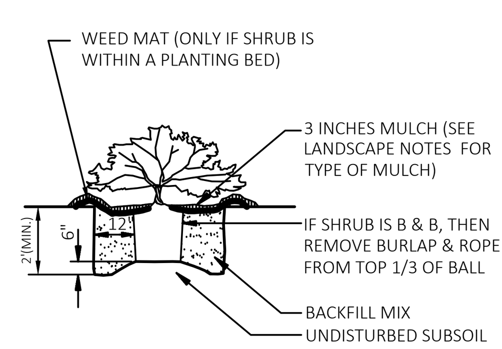
Inlet Pressure	12" Spacing		18" Spacing		24" Spacing	
	Nominal Flow (GPH)		Nominal Flow (GPH)		Nominal Flow (GPH)	
psi	0.6	0.9	0.6	0.9	0.6	0.9
15	255	194	357	273	448	343
20	291	220	408	313	514	394
30	350	266	494	378	622	478
40	396	302	560	428	705	541
50	434	333	614	470	775	594

ON-SURFACE DRIP IRRIGATION 79D
N.T.S.

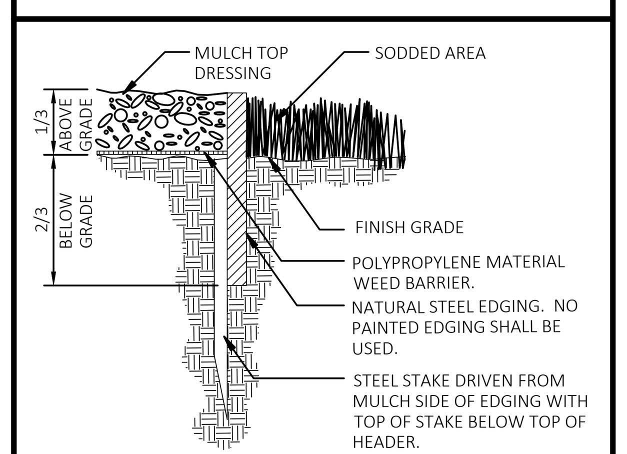


NOTE: SEE LANDSCAPE NOTES FOR THE TYPE OF MULCH MATERIAL TO USE.

TREE PLANTING 50A
N.T.S.



SHRUB PLANTING 50B
N.T.S.



STEEL EDGING 50Q
N.T.S.

3/8/2018 Metal Backless Park Bench CAL-953B - Canaan

Metal Backless Park Bench CAL-953B

CAL-953B is an elegant bench with curved edges for a softened appearance.

MATERIALS

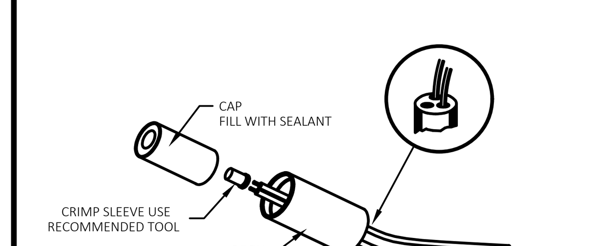
DIMENSIONS

Length: 71.7" / 182cm
Width: 21.7" / 55cm
Height: 16.9" / 43cm
Weight: 183lbs / 83kg

INSTALLATION

BENCH SEATING 70B
N.T.S.

https://canaansitefurnishings.com/products/benches/metal-backless-park-bench-cal-953b/#2 2/4



WIRE CONNECTION 61A
N.T.S.

6-16-95	SLK	61A

PRELIMINARY NOT FOR CONSTRUCTION

30898	10/19/18	JDG	DMT	BMW	BMW
CEI PROJECT NO.	INITIAL DATE	DPOR	PM	DES	DRW

CEI Engineering Associates, Inc.
ENGINEERS • PLANNERS • SURVEYORS
LANDSCAPE ARCHITECTS • ENVIRONMENTAL SCIENTISTS
3030 LBJ Freeway, Suite 100
Dallas, TX 75234
(972)488-3737
FAX (972)488-6732

HOOTERS
12710 WESTPORT PARKWAY
LA VISTA NEBRASKA

LANDSCAPE DETAILS

REV DATE 10/19/18 REV-3

SHEET NO. 17 OF 19

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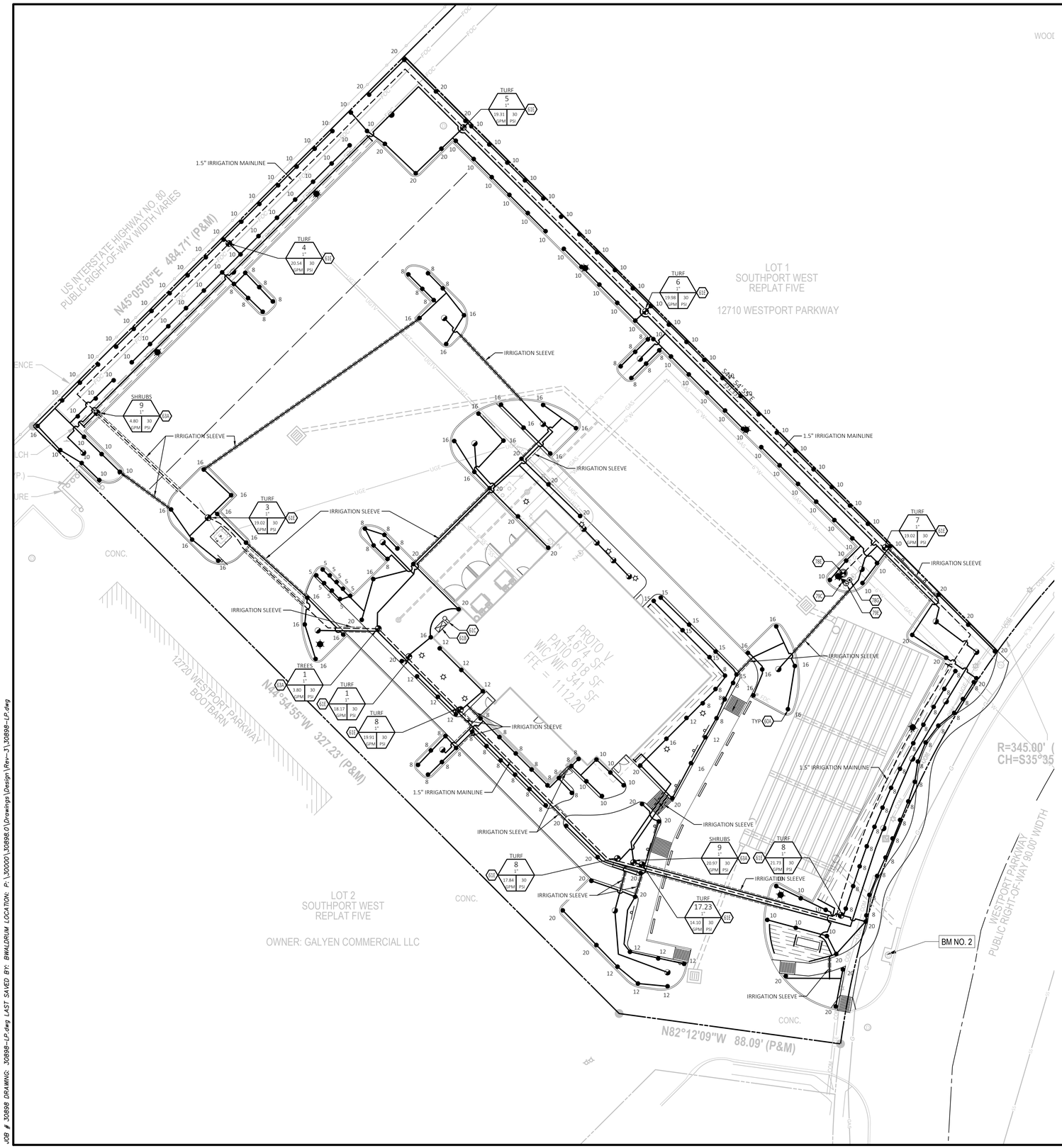
JOB # 30898 DRAWING: 30898-LP.dwg LAST SAVED BY: BWALDRUM LOCATION: P:\30000\30898.0\Drawings\Design\Rev-3\30898-LP.dwg



Know what's **below.**
Call before you dig.

N

0 20' 30' 40'
SCALE IN FEET

LEGEND

EXISTING

e	EAST OR ELECTRIC	OHT	OVERHEAD TELEPHONE
n	NORTH	OHTV	OVERHEAD TV
oh	OVERHEAD	X"SS	SANITARY SEWER
s	SOUTH OR SEWER	UGE	UNDERGROUND ELECTRIC
t	TELEPHONE	UGE&T	UNDERGROUND ELECTRIC AND TELEPHONE
ug	UNDERGROUND	UGT	UNDERGROUND TELEPHONE
w	WEST OR WATER	UGTV	UNDERGROUND TV
	PROPERTY LINE	X"W	WATER
	RIGHT OF WAY LINE	.5-10-11 50.5	TREE INFO .5 = DIAMETER OF TRUNK IN FEET 10 = HEIGHT OF TREE IN FEET 11 = CANOPY DIAMETER IN FEET 50.5 = ELEVATION AT BASE OF TREE
	STORM DRAIN		
X"G	GAS		
OHE	OVERHEAD ELECTRIC		
OHE&T	OVERHEAD ELECTRIC AND TELEPHONE		

PROPOSED

- BOUNDARY LINE/RIGHT OF WAY LINE
- STORM DRAIN
- X" — LATERAL LINE WITH SIZE DESIGNATION
- X" — MAIN LINE WITH SIZE DESIGNATION
- SLEEVING
- ZONE DESIGNATION
- VALVE SIZE
- DESIGN PRESSURE - POUNDS PER SQUARE INCH
- DESIGN DEMAND - GALLONS PER MINUTE

SPRINKLER NOZZLE LIST

KEY	QTY.	DESCRIPTION
20	39	1804-SAM-PRS-R17-24
16	41	1804-SAM-PRS-R13-18
12	14	1804-SAM-PRS-R12
10	102	1804-SAM-PRS-R10
8	76	1804-SAM-PRS-R8
5	9	1804-SAM-PRS-R5
15	6	1804-SAM-PRS-15SST

IRRIGATION PIPE SCHEDULE

PIPE SIZE	MAX. SAFE FLOW G.P.M.	
¾"	10	NOTE: IN SOME CASES, IRRIGATION PIPE SIZES SHOWN ON IRRIGATION PLANS ARE LARGER THAN THE SIZE SHOWN ON PIPE SCHEDULE DUE TO HYDRAULIC LOSSES. USE PIPE SIZES AS SHOWN ON IRRIGATION PLANS IF APPLICABLE.
1"	16	
1-¼"	26	
1-½"	35	
2"	55	
2-½"	80	
3"	120	

IRRIGATION NOTES

31C	THRUST BLOCKING (NOT SHOWN ON PLAN)
60A	SPRAY HEAD. SEE NOZZLE LIST FOR HEAD AND NOZZLE DESCRIPTION.
61B	CONTROLLER AND VALVES. RAINBIRD ESP-LX-12 STATIONS.
61C	RAIN SENSOR & FREEZE SENSOR.
61E	ELECTRIC VALVE AND BOX - PEB 100 (ZONE VALVE).
62C	MANUAL DRAIN VALVE (NOT SHOWN ON PLAN; INSTALL AT LOWEST POINT ON MAIN LINE).
62D	AUTOMATIC DRAIN VALVE (NOT SHOWN ON PLAN; INSTALL ON LOW AREAS AS NEEDED).
63A	1" DRIP VALVE ASSEMBLY. RAINBIRD XCZ-100-B-COM.
64B	MAIN LINE SHOWN HERE FOR DRAWING PURPOSES ONLY; CONTRACTOR SHALL INSTALL MAIN LINE ETC. WITHIN PROPERTY.
78A	1" IRRIGATION METER WITH 1.5" TYPE K COPPER SERVICE BY GENERAL CONTRACTOR. SEE CIVIL PLANS FOR LOCATION.
78C	CONDUIT FOR R.C.V. WIRES BY GENERAL CONTRACTOR, ROUTING TO CONTROL VALVES BY IRRIGATION CONTRACTOR. (NOT SHOWN ON PLAN; SEE NOTE D).
78E	MASTER CONTROL VALVE. RAINBIRD PEB-100 (1"). REFER TO ARCH. PLANS FOR EXACT LOCATION IN BUILDING
78G	1.5" ISOLATION VALVE. KING BROS INDUSTRIES (OR EQUAL). SIZE COMMERCIAL GRADE, SCHD 80 FULL-PORT SEE ARCH. PLANS FOR EXACT LOCATION IN BUILDING.
79C	BACK FLOW AND ENCLOSURE - 1" REDUCED BACKFLOW PREVENTER, PER STATE AND LOCAL CODES, SEE ARCH. PLANS FOR EXACT LOCATION IN BUILDING.
79E	Y-STRAINER - WILKINS - ZURN MODEL NO. 500, SEE ARCH. PLANS FOR EXACT LOCATION IN BUILDING.

IRRIGATION DETAILS

61A	WIRE CONNECTION (NOT SHOWN ON PLAN. USE ON BELOW GRADE LOW VOLTAGE WIRING).
64A	IRRIGATION PIPE AND WIRE TRENCHING (NOT SHOWN ON PLAN).
79D	ON-SURFACE DRIP IRRIGATION. RAINBIRD XFD-09-18. - INSTALL PER MANUFACTURER'S SPECIFICATIONS. - FLUSH VALVES IN VALVE BOX SHALL BE INSTALLED AT THE LOW POINT IN THE FLUSH HEADER OR AT THE MID POINT OF THE LOOP LAYOUT. - HEADERS SHALL BE SPACED 4" FROM HARDSCAPE. - SUPPLY LINE AND HEADER TO BE SIZED TO PROVIDE THE FLOW TO THE ZONE WITHOUT EXCEEDING 5' PER SECOND.
79F	MULTI OUTLET EMITTER. - XBT-20-6 (2.0 GPH). 12 GPH PER TREE

PRELIMINARY
NOT FOR
CONSTRUCTION

30898	10/19/18	JDG	DMT	BMW	BMW
CEI PROJECT NO.	INITIAL DATE	DPOR	PM	DES	DRW

Engineering Associates, Inc.
ENGINEERS • PLANNERS • SURVEYORS
LANDSCAPE ARCHITECTS • ENVIRONMENTAL SCIENTISTS
3030 LBJ Freeway, Suite 100
Dallas, TX 75234
(972)488-3737
FAX (972)488-6732

HOOTERS
12710 WESTPORT PARKWAY
LA VISTA NEBRASKA

IRRIGATION PLAN

REV DATE	SHEET NO.
10/19/18 REV-3	18 OF 19

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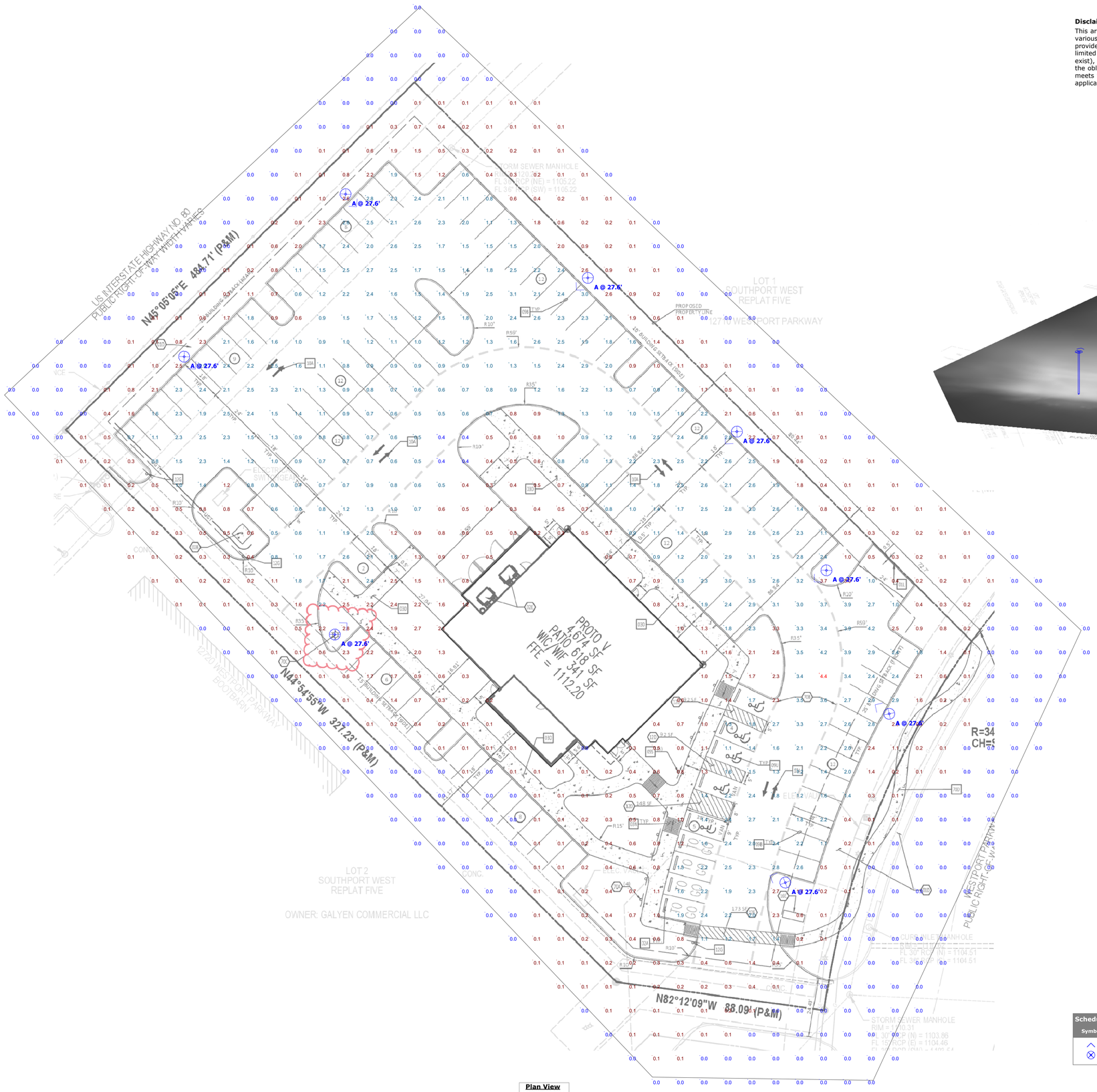
JOB # 30898 DRAWING: 30898-LP.dwg LAST SAVED BY: BWALDRUM LOCATION: P:\30000\30898.01\Drawings\Design\Rev-3\30898-LP.dwg

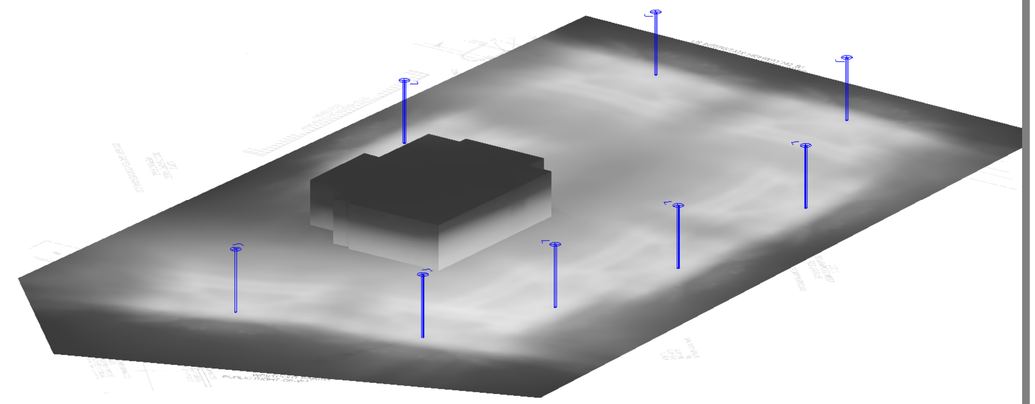


Plan View
Scale - 1" = 20ft

Disclaimer

This architectural lighting submittal is provided only for informational purposes and to the help the customer or end-user (as applicable) understand how various sections of linear fixtures connect to each other and how they mount to the ceiling. This lighting submittal is strictly based on the information provided to Acuity Brands, and is provided without warranty as to accuracy, completeness, reliability or otherwise. If the information (including but not limited to floor-plans, reflected ceiling plans, electrical plans and specifications) provided to Acuity Brands is incomplete or not current (i.e., newer versions exist), the accuracy of proposed design may be adversely affected. Once this lighting submittal is received by the customer or end-user (as applicable), it is the obligation of the customer or end-user (as applicable) to consult with a professional engineering advisor to determine whether the proposed design meets the applicable project requirements for lighting system performance, code compliance, safety, suitability and effectiveness for use in a particular application. In no event will Acuity Brands be responsible for any loss resulting from any use of any information contained in this lighting submittal.

LIGHTING DESIGN SERVICES
LightingDesignHelp@Lithonia.com
ONE LITHONIA WAY
CONYERS, GA 30012
1-800-279-8043
AcuityBrands. Lighting



View #2

Note

1. Readings shown are based on a total LLF of as shown at grade. Data references the extrapolated performance projections in a 25c ambient based on 10,000 hrs of LED testing (per IESNA LM-80-08 and projected per IESNA TM-21-11).
2. Please refer to the "Plan View" for mounting heights.
3. Product information can be obtained at www.Lithonia.com or through your local agency.

Statistics

Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Parking Summary	◇	1.8 fc	4.4 fc	0.4 fc	11.0:1	4.5:1
Spill Light Summary	+	0.9 fc	4.4 fc	0.0 fc	N/A	N/A

Schedule

Symbol	Label	Quantity	Manufacturer	Catalog Number	Description	Lamp	Number Lamps	Filename	Lumens Per Lamp	Light Loss Factor	Wattage
⊗	A	8	Antique Street Lamps	EM25 400M MOG GCF SR4SC	EUROTIQUE ARCHITECTURAL LUMINAIRE WITH SR4SC REFLECTOR, CLEAR FLAT GLASS LENS.	ONE 400-WATT CLEAR ED28 METAL HALIDE, HORIZONTAL POS.	1	EM25_400M_MOG_GCF_SR4SC.ies	32000	0.72	446.2

Hooters - La Vista, NE - SSL

Designer
R.Cunningham
Date
9/24/2018
Scale
As Shown
Drawing No.
81965-1
Summary