



**CITY OF LA VISTA  
8116 PARK VIEW BOULEVARD  
LA VISTA, NE 68128  
P: (402) 331-4343**

**PLANNING COMMISSION AGENDA  
FEBRUARY 18, 2021 – 6:30 P.M.**

1. *Call to Order*
2. *Approval of Meeting Minutes – February 4, 2021*
3. *Old Business*
4. *New Business*
  - A. **Zoning Map Amendment – Lots 2 & 3 Gary & Debbie Pink No. 3 – TNT Holdings, LLC**
    - i. Staff Report – Christopher Solberg, AICP
    - ii. Public Hearing
    - iii. Recommendation
  - B. **Planned Unit Development Site Plan – Lots 2 & 3 Gary & Debbie Pink No. 3 – TNT Holdings, LLC**
    - i. Staff Report – Christopher Solberg, AICP
    - ii. Public Hearing
    - iii. Recommendation
  - C. **Replat – Lots 1 & 16 Harrison Hills – Streck, Inc.**
    - i. Staff Report – Christopher Solberg, AICP
    - ii. Recommendation
  - D. **Planned Unit Development Site Plan – Lots 1 & 16 Harrison Hills – Streck, Inc.**
    - i. Staff Report – Christopher Solberg, AICP
    - ii. Public Hearing
    - iii. Recommendation
  - E. **Conditional Use Permit – Portion of Lot 1 Harrison Hills – Streck, Inc.**
    - i. Staff Report – Christopher Solberg, AICP
    - ii. Public Hearing
    - iii. Recommendation
  - F. **Final Plat – La Vista City Centre Replat 4 - La Vista City Centre, LLC**
    - i. Staff Report – Christopher Solberg, AICP
    - ii. Recommendation
5. *Comments from the Floor*
6. *Comments from the Planning Commission*
7. *Comments from Staff*

**8.      *Adjournment***

*The public is welcome and encouraged to attend all meetings. If special accommodations are required, please contact City Hall prior to the meeting at (402) 331-4343. A copy of the Open Meeting Act is posted in the Council Chamber. Citizens may address the Planning Commission about items not on the agenda under "comments from the floor". Comments should be limited to three minutes. We ask for your cooperation in order to provide for an organized meeting.*



**CITY OF LA VISTA**  
**8116 PARK VIEW BOULEVARD**  
**LA VISTA, NE 68128**  
**P: (402) 331-4343**

**PLANNING COMMISSION MINUTES**  
**FEBRUARY 4, 2021 6:30 P.M.**

The City of La Vista Planning Commission held a meeting on Thursday, February 4, 2021 in the Harold "Andy" Anderson Council Chamber at La Vista City Hall, 8116 Park View Boulevard. Chairman Wetuski called the meeting to order at 6:30 p.m. with the following members present: Mike Krzywicki, Gayle Malmquist, Harold Sargus, Patrick Coghlan, John Gahan, Jason Dale, Mike Circo, and Josh Frey. Kathleen Alexander was absent. Also, in attendance were Chris Solberg, Deputy Community Development Director; Bruce Fountain, Community Development Director; Cale Brodersen, Assistant City Planner; and Pat Dowse, City Engineer.

Legal notice of the public meeting and hearing were posted, distributed and published according to Nebraska law. Notice was simultaneously given to all members of the Planning Commission. All proceedings shown were taken while the convened meeting was open to the attendance of the public.

**1. Call to Order**

The meeting was called to order by Chairman Wetuski at 6:30 p.m. Copies of the agenda and staff reports were made available to the public.

**2. Approval of Meeting Minutes – January 21, 2021**

*Malmquist* moved, seconded by *Krzywicki*, to approve the January 21, 2021 minutes with one change of a reference to "Co-Chairman Sargus" to "Vice-Chairman Sargus". **Ayes: Krzywicki, Gahan, Coghlan, Frey, Sargus, and Malmquist. Nays: None. Abstain: Wetuski, Dale, and Circo. Absent: Alexander. Motion Carried, (6-0-3)**

**3. Old Business**

None.

**4. New Business**

**A. Zoning Ordinance Amendment – Section 5.17 Gateway Corridor District (Overlay District) and the Gateway Corridor District Design Guideline Booklet**

- i. Staff Report – Christopher Solberg, AICP:** Chris noted that revised copies of the amendment to the zoning ordinance and the Gateway Corridor Design Guideline Booklets are placed in front of each Planning Commission member, and that they should reference those for purposes of discussion.

Solberg stated that through the regular review process enacted by some of La Vista's regulations, staff have decided that several changes are necessary for the Gateway

Corridor District. The first amendment would change the standard lighting fixture for the 144<sup>th</sup> Street corridor. He mentioned that most of the land on the 144<sup>th</sup> street corridor is already developed, except for a few properties, and that our current standard light fixture for the entire Gateway Corridor Overlay District doesn't fit the aesthetic or design intent of the 144<sup>th</sup> street corridor which was introduced into La Vista's planning jurisdiction approximately 7 years ago. Solberg stated that the most logical light fixture for the corridor, to ensure continuity, would be the one approved for the Woodhouse Place development through the Woodhouse PUD.

Solberg stated that the other amendments relate to the criteria for application in the actual ordinance. The proposed changes simplify the process for design review by adding in a review category for "small projects," where at the discretion of the Community Development Director, it would be determined whether or not exterior improvements will need to go through the full design review process, or if they qualify for an internal administrative review by Community Development staff. Solberg clarified that this would allow for the in-house review of small improvements like minor additions or accessory buildings to keep an unnecessary monetary and time burden off small projects and business owners where the full external review is not necessary. Small projects would have a \$100 review fee, as compared to the \$1500 fee common for larger projects.

Solberg stated that a section was also added relating to waivers, where deviations from the guidelines for improvements that still meet the intent of the guidelines can be approved without needing to go through a lengthy review process. Solberg gave an example of a request for a small utility shed to house a lawn mower used for a senior living facility. If the small shed is not visible from any street or public right-of-way, and if the materials and colors used match the materials used for the primary building, is it necessary that this small utility shed be constructed of at least 51% masonry materials? Solberg reiterated that the amendments provide some flexibility in the handling of the review for small projects and the process for review and approval of waiver requests.

ii. **Public Hearing; Wetuski opened the public hearing.**

**Seeing no one come forward, Wetuski closed the Public Hearing.**

Krzywicki commented that since the definition of small projects in the proposed amendment does not mention dollar amounts or percentage requirements, it leaves it pretty wide open and gives a lot of discretion to staff in determining what is and what is not a small project.

Solberg confirmed that the definition does leave some room for interpretation, but that the intention is for requests for minor improvements or changes to existing facilities. He mentioned that most of the design review applications are for new buildings or major renovations where it is clear that they would not be considered small projects.

Krzywicki asked if the roof of a building in the Gateway Corridor were to be damaged by a hailstorm, would its replacement be reviewed as a small project?

Solberg answered that if the roof is just a replacement of what was there before, using the same material that was approved through the process when the building was constructed, they would not be required to go through any review. Solberg gave an additional example that if a property owner wanted to add a new awning to a building within the Gateway Corridor, this is something that could be considered a small project for review.

Krzywicki asked if there are buildings in the Gateway Corridor that do not conform as they were constructed prior to the implementation of the design criteria.

Solberg answered that we do have some, primarily along 84<sup>th</sup> Street.

Krzywicki asked if they would be required to go through design review if those buildings were damaged and needed repairs or replacements.

Bruce Fountain came to the podium and mentioned that one motivation for bringing this amendment forward is to allow for some staff review of projects that are currently exempt, but that do have visual impacts on the Gateway Corridor. He gave a few examples of recent buildings that avoided the design review process by manipulating the projects just enough to be exempt. Fountain explained how this shouldn't affect the way that most projects are handled and reviewed, but it provides a greater ability for review of some smaller projects without an expensive or lengthy review process.

Krzywicki voiced his concern that if a non-conforming structure experienced damage from a natural disaster, that the City would enforce expensive requirements and standards for them to repair the building.

Solberg clarified that there is a section within the Zoning Ordinance that addresses non-conforming structures and their ability to repair, but that it would depend on the extent of the damage and what is allowed within the Zoning Ordinance. He said that at a certain point or percentage, the design review requirement would kick in. Fountain mentioned that this would happen today even without the proposed amendments.

- iii. **Recommendation:** Malmquist moved, seconded by Circo, to recommend approval of the text amendments to Section 5.17 of the Zoning Ordinance and the Gateway Corridor Design Guideline Booklet as presented. **Ayes: Wetuski, Krzywicki, Gahan, Dale, Circo, Coglan, Frey, Sargus, and Malmquist. Nays: None. Abstain: None.** **Absent: Alexander. Motion Carried, (9-0-0).**

## 5. Report of the Nominating Committee

Malmquist delivered the report of the nominating committee. The committee approached the existing officers about serving another term in their respective roles and they have expressed interest in doing so. The nominating committee recommends the re-election of Kevin Wetuski as Chair, Harold Sargus as Vice-Chair, and Kathleen Alexander as Secretary.

## **6. 2021 Election of Officers**

- i. **Recommendation:** Malmquist moved, seconded by Gahan, to accept the nominating committee's recommendations for the election of officers for Wetuski as Chair, Sargus as Vice-Chair, and Alexander for Secretary. **Ayes:** *Wetuski, Krzywicki, Gahan, Dale, Circo, Coghlann, Frey, Sargus, and Malmquist.* **Nays:** *None.* **Abstain:** *None.* **Absent:** *Alexander.* **Motion Carried, (9-0-0).**

## **7. Comments from the Planning Commission**

A discrepancy was noted in what is listed as the appropriate comment time limit during public hearings. In the announcements at the beginning of the meeting it is said to be three minutes, but the agenda mentions a five-minute limitation on comments.

Solberg confirmed that we will reference the Open Meetings Act and correct the discrepancy.

## **8. Comments from the Staff**

Solberg notified the Planning Commission that they will have a meeting in two weeks, and that there are currently between three and four items slated for that agenda.

## **9. Adjournment**

Wetuski adjourned the meeting at 6:53 p.m.

Reviewed by Planning Commission:

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Planning Commission Secretary

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Planning Commission Chair

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Date

## **AGENDA ITEMS 4A & 4B**

### **4A**

**Zoning Map Amendment—Lots 2 & 3 Gary &  
Debbie Pink No. 3—TNT Holdings, LLC**

### **4B**

**Planned Unit Development Site Plan—Lots 2 & 3  
Gary & Debbie Pink No. 3—TNT Holdings, LLC**



**CITY OF LA VISTA  
PLANNING DIVISION  
RECOMMENDATION REPORT**

CASE NUMBERS: PPUD20-0002;

FOR HEARING OF: FEBRUARY 18, 2021  
REPORT PREPARED ON: FEBRUARY 9, 2021

**I. GENERAL INFORMATION**

**A. APPLICANT:**

Takanari Miyomoto  
9924 Weschester Drive  
Omaha, NE 68114

**B. PROPERTY OWNER:**

TNT Holdings LLC/VNT LLC  
9924 Weschester Drive  
Omaha, NE 68114

**C. LOCATION:** Southwest of the intersection of Giles Road and West Giles Road.

**D. LEGAL DESCRIPTION:** Lots 2 and 3 Gary & Debbie Pink No. 3

**E. REQUESTED ACTION(S):**

1. Rezone to extend a Planned Unit Development (PUD) zoning overlay over Lots 2 and 3 Gary & Debbie Pink No. 3.
2. PUD Site Plan amendment to allow for commercial development with shared parking.

**F. EXISTING ZONING AND LAND USE:** C-2 – General Commercial District and Gateway Corridor District (Overlay District; Lot 3 is developed with a dental office use, Lot 2 is currently vacant.

**G. PURPOSE OF REQUEST:** Create a PUD Site Plan with allowances for setbacks and shared parking to allow for commercial development.

**H. SIZE OF SITE:** Approximately 3.02 acres.

**II. BACKGROUND INFORMATION**

**A. EXISTING CONDITION OF SITE:** The property slopes gradually downward to the south and to the west;

**B. GENERAL NEIGHBORHOOD/AREA LAND USES AND ZONING:**

<u>Direction From Subject Property</u>	<u>Future Land Use Designation</u>	<u>Current Zoning Designation</u>	<u>Surrounding Development</u>
North	Commercial	C-3 PUD Highway Commercial / Office Park District with a Planned Unit Development Overlay (Overlay District) and a Gateway Corridor Overlay (Overlay District);	Southport West
East	Commercial	C-3 Highway Commercial / Office Park District with a Gateway Corridor Overlay (Overlay District).	Gary & Debbie Pink No. 3, vacant
South	Industrial	I-1 Light Industrial with a Gateway Corridor Overlay (Overlay District); Various Light Industrial uses.	Papio Valley Business Park
West	Commercial	C-2 General Commercial / District with a Gateway Corridor Overlay (Overlay District).	Gary & Debbie Pink No. 3, vacant

**C. RELEVANT CASE HISTORY:**

1. The lots involved in this application were rezoned to C-2 General Commercial District with a Gateway Corridor District Overlay on March 15, 2016.
2. The Final Plat for Gary and Debbie Pink No. 3 was approved on March 15, 2016.
3. The Board of Adjustment approved of a reduced setback for Lot 2 Gary and Debbie Pink No. 3 on July 10, 2017.

**D. APPLICABLE REGULATIONS:**

1. Section 5.11 of the Zoning Regulations – C-2 General Commercial District.
2. Section 5.15 of the Zoning Regulations – PUD Planned Unit Development District (Overlay District).
3. Section 5.17 of the Zoning Regulations – Gateway Corridor District (Overlay District).

### **III. ANALYSIS**

#### **A. COMPREHENSIVE PLAN:**

1. The Future Land Use Map of the Comprehensive Plan designates the area for commercial uses.

#### **B. OTHER PLANS: N/A.**

#### **C. TRAFFIC AND ACCESS:**

1. One access point exists along West Giles Road at the intersection of West Giles Road and South 125<sup>th</sup> Street. An access easement, dedicated via the plat, allows internal circulation between the lots.
2. The proposed uses do not vary from those analyzed as part of the process to approve of the original Gary and Debbie Pink No. 3 plat. Approval of this PUD application is not expected to have any additional impact beyond what was already expected for the development area.
3. Staff has recommended the evaluation of the placement of stop signs along the west and east legs of the East/West access road.

#### **D. UTILITIES:**

1. The property has access to sanitary sewer, water, gas, power, and communication utilities.

#### **E. PARKING REQUIREMENTS:**

1. All developments will need to meet the minimum parking requirements of the underlying zoning district. However, the PUD Site Plan, as proposed, utilizes shared parking between Lots 2 and 3 to meet the minimum requirements.

#### **F. LANDSCAPING:**

1. The landscaping for any developments on this site will need to comply with the requirements of the Zoning Ordinance and of the Gateway Corridor Design Guidelines. Review letters from the City's Design Review Architect regarding the proposed landscaping plan are included for review.

### **IV. REVIEW COMMENTS:**

#### **A.** The design of the building on Lot 2 will be reviewed through the City's Architectural Design Review process, and must be substantially complete prior issuance of any building permits.

#### **B.** The applicant has requested setback allowances through the PUD Site Plan application process of 20 feet from the back of curb on the west side and 15 feet from the back of curb on the south side due to exceptional narrowness of the property. A July 10, 2017 decision of the Board of Adjustment allowed for reduced setbacks for the development of Lot 2 due to the same circumstances.

#### **C.** Sidewalks have been moved to the back of curb within the PUD Site Plan area, which is non-compliant with Section 4.20 of the

Subdivision Regulations. However, staff has considered this acceptable due to issues with topography, utilities, and narrowness of the lots limiting the ability to meet that section of the regulations.

- D. Applicant has been made aware that developments on this property will require FAA approval prior to the issuance of a building permit due to proximity of the Millard Airport.
- E. The development will be required to meet the requirements for a Post Construction Storm Water Management Plan as per City regulations.

**V. STAFF RECOMMENDATION – ZONING MAP AMENDMENT - PUD DISTRICT OVERLAY**

Staff recommends approval of the Zoning Map Amendment to add a Planned Unit Development (PUD) – Overlay District to Lots 2 and 3 of Gary & Debbie Pink No. 3 with the allowances stated within the staff report, as the request is consistent with the Comprehensive Plan and the Zoning Ordinance.

**VI. STAFF RECOMMENDATION – PLANNED UNIT DEVELOPMENT SITE PLAN AMENDMENT:**

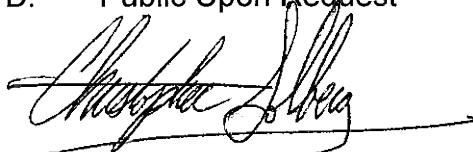
Staff recommends approval of the Planned Unit Development Site Plan for Lots 2 and 3 Gary & Debbie Pink No. 3, with the allowances stated within the staff report, contingent on the resolution of any issues mentioned in this staff report, as the request is consistent with the Comprehensive Plan and the Zoning Ordinance.

**VII. ATTACHMENTS TO REPORT:**

- A. Vicinity Map
- B. Review Letters
- C. Draft PUD Site Plan set

**VIII. COPIES OF REPORT SENT TO:**

- A. Takanari Miyamoto, TNT Holdings/VNT LLC
- B. Gregory Perry, P.E., Olmstead and Perry
- C. Ken Hahn, Kenneth Hahn Architects
- D. Public Upon Request



Prepared by: Deputy Community Development Director



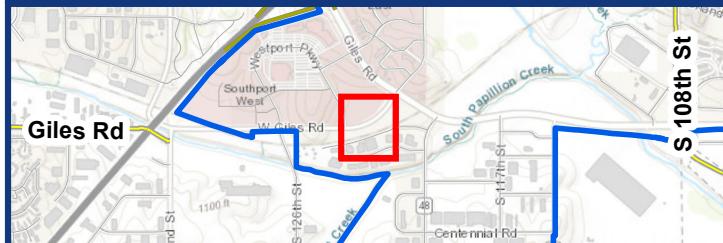
Community Development Director

2-11-21

Date



## Planned Unit Development Vicinity Map



**TNT Holdings, LLC**  
**Lots 2 & 3 Gary & Debbie Pink No. 3**  
2/12/2021 CB





August 12, 2020

Ken Hahn, AIA  
Kenneth Hahn Architects  
1343 South 75<sup>th</sup> Street  
Omaha, NE 68124

RE: Planned Unit Development – Initial Review  
TNT Holdings

Mr. Hahn,

We have reviewed the documents submitted for the above-referenced application. Based on the elements for consideration set forth in the applicable sections of the Zoning Ordinance, the City has the following comments:

1. General Comment - The PUD Site Plan lists the zoning as C-3 with a Gateway Corridor District overlay. However, the zoning is C-2 with a Gateway Corridor District overlay.
2. Section 5.15.04.01 - Applicant needs to revise schedule of construction ensure it meets the milestones as described within this section of the Zoning Ordinance. If it cannot, the schedule needs to state reasoning and provide assurances to the City that whatever is left is buildable to the next developer.
3. Article 5.15.04.05: The site plan depicts different ownership for the two parcels involved, it is necessary to confirm that the applicant, TNT Holdings, LLC has adequate legal authority for both parcels.
4. Section 5.15.04.06 – A proposed trash enclosure has been identified on Lot 2 of the PUD site plan. Note that enclosures must abide by Section 7.17.04.03 of the Zoning Ordinance and the Gateway Corridor District Design Guideline in regards to design and construction.
5. Section 5.15.04.06 – Dimension the angles and widths of the angled parking in Lot 2 to confirm the stall dimensions are consistent with Section 7.09 of the Zoning Ordinance.

**City Hall**  
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La Vista, NE 68128-2198  
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**Community Development**  
8116 Park View Blvd.  
p: 402-331-4343  
f: 402-331-4375

**Fire**  
8110 Park View Blvd.  
p: 402-331-4748  
f: 402-331-0410

**Golf Course**  
8305 Park View Blvd.  
p: 402-339-9147

**Library**  
9110 Giles Rd.  
p: 402-537-3900  
f: 402-537-3902

**Police**  
7701 South 96th St.  
p: 402-331-1582  
f: 402-331-7210

**Public Buildings & Grounds**  
8112 Park View Blvd.  
p: 402-331-4343  
f: 402-331-4375

**Public Works**  
9900 Portal Rd.  
p: 402-331-8927  
f: 402-331-1051

**Recreation**  
8116 Park View Blvd.  
p: 402-331-3455  
f: 402-331-0299

6. Section 5.15.04.06, Section 5.15.04.08, Section 5.15.05.02.9 – Application does not have a landscaping plan, applicant will need to provide more information to confirm provisions of these sections are met.

7. Section 5.15.04.07 - Adequate parking shall be provided for each building and use per the regulations of the underlying zoning district. It would appear from the stall counts that it is anticipated that buildings on Lots 2 and 3 will share parking as allowed through Section 5.15.04.07.

Lot 2 Required Parking Stalls would be 37 rather than 36 as noted on the Site Plan. As Lot 2 has 57 proposed stalls, one additional ADA stall would be required to meet section 7.08 of the Zoning Ordinance. Confirm Lot 2 and Lot 3 each have one (1) Van Accessible stall per Section 7.08 of the Zoning Ordinance.

8. Section 5.15.04.09 - Based on the Lot Configurations and Yard Requirements diagram in Section 2 of the Zoning Ordinance, the North, West, and South faces of Lot 2 are considered “front yards” and need to meet the front yard setbacks of the underlying C-3 Zoning District of 25 feet (without parking). The West and South setbacks depicted within the plan do not meet this requirement. Is it the intention of the applicant to request an allowance for reduced setbacks on these sides?

9. Section 5.15.04.12 - If maintenance and/or snow clearing of sidewalks and/or parking lots are to be completed by the adjacent lot owner or are a shared expense, then provisions for maintenance will need to be included as part of the PUD.

10. Section 5.15.04.15 – Sidewalks as shown are directly behind back of curb, which differs from Section 4.20 of the Subdivision Regulation. ADA considerations will also need to be made. If the intent is to vary from the standard sidewalk location, provisions will need to be included in the PUD for consideration.

11. Section 5.15.04.17-20 - This development will abide by Section 5.17 of the Zoning Ordinance (Gateway Corridor District) and the design guidelines adopted therein. As mentioned in #6 above, PUD Landscape Plan was provided in the PUD application submittal. A PUD Landscape Plan is necessary for review of the interaction of the landscaping with the overall site design.

12. Section 5.15.04.21- Parking lot lighting needs to be addressed and shown on the PUD plan. Site lighting needs to abide by the Gateway Corridor District Design Guideline. See the Guideline for the parking lot light fixture and pole required for developments within the Gateway Corridor District.

13. Section 5.15.05.02, Subsection 2 - Height of each proposed structure needs to be addressed within the PUD plan.

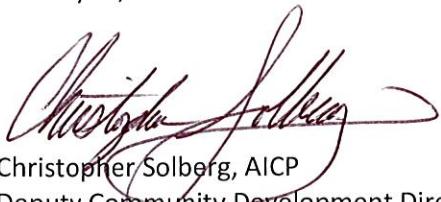
Applicant should be made aware that developments on this property will require FAA approval prior to issuance of a building permit due to proximity to the Millard Airport.

14. Section 5.15.05.02.2 - Please see comment #8 regarding setbacks.
15. Section 5.15.05.02.7 & Section 5.15.05.03.5 – There is a phasing line within Lot 2 for the parking lot, however, it appears to show Lot 3 as proposed, and does not specify that lot 3 is already constructed. Applicant should revise to show what is currently exiting, and what is proposed and in what phases.
16. Section 5.15.05.02.10 Site Plan should show any natural features within the development.
17. Section 5.15.05.02.11 – Site Plan should depict any existing development on adjacent properties within 200 feet.
18. Article 5.15.05.04: Post Construction Storm Water Management Plan will be needed for the proposed development, and any connection to the existing storm water network will need to be evaluated to ensure the plan meets City requirements, and that there are no adverse impacts to the existing storm system.
19. Section 5.15.05.06 – Vicinity map as described in this section of the Zoning Ordinance should be included with the PUD submittal.

Please submit 4 full size revised copies of the plat and related documents (along with electronic copies) to the City for further review. A timeline for review by the Planning Commission and City Council will be determined based on the timing of the resubmittal and the extent to which the issues noted this review have been sufficiently addressed.

If you have any questions regarding these comments, please feel free to contact me at any time.

Thank you,



Christopher Solberg, AICP  
Deputy Community Development Director

cc:

Bruce Fountain, AICP, Community Development Director  
Pat Dowse, P.E., City Engineer  
Cale Brodersen, AICP Candidate, Assistant Planner  
Gregory Perry, P.E., Olmsted & Perry  
Takanari Miyamoto, TNT Holdings/VNT LLC



1343 South 75th Street  
Omaha, NE 68124-1610  
402-391-2111  
FAX 391-2605

Chris Solberg, AICP  
Deputy Community Development Director  
City of La Vista, Nebraska  
8116 Park View Blvd.  
La Vista, NE 68128-2198

31 December 2020

RE: Lot 2 and Lot 3, Gary and Debbie Pink No. 3 – La Vista, Nebraska  
Planned Unit Development – Initial Review Response  
TNT Holdings

Mr. Solberg,

In regard to your letter of August 12, 2020, here are our responses to the comments contained in the letter:

1. We have corrected the zoning label on the PUD Site Plan in this re-submittal of the application.
2. The initial phase is completed at this point, and includes a 7,250 SF professional building and 29 parking stalls. We intend to construct the remainder of the improvements on this project in two phases over a five-year period. The first phase of additional construction, as shown on the site plan provided, is to build the driveway entrance and 19-stall parking lot on the north end of the current Lot 2. We intend to complete this work within the immediate timeframe after approval of this PUD application and receipt of a building permit. The second phase of additional construction includes a 9,500 SF professional building and a 43-stall parking lot with an additional driveway entrance on the south portion of the current Lot 2. We intend to construct this phase within the 5-year period called for in Section 5.15.04.01.
3. The owner representatives of both Lot 2 and Lot 3 have signed the application to clarify that they all give their legal consent to these proceedings.
4. We understand that the trash enclosure must comply with the Gateway Corridor District design standards, and will do so when the design of that phase of construction occurs.
5. The angles and widths of the parking stalls that are shown on the attached drawing do comply with Section 7.09 of the Zoning Ordinance. The drawing depicts these dimensions and angles.
6. A Landscaping Plan for the property is included with this re-submittal.
7. The purpose of this PUD is to use the long, slender site of Lot 2 to construct a building on the west end, and to use the remainder of the land to construct a parking facility to be shared between both the current building and the future building. The total size of both buildings =

16,750 SF. That would require a total of 67 stalls per the ordinance. The full buildout as shown would provide a total of 89 stalls. With 89 stalls, this would require a total of 4 handicapped-accessible stalls, one of which must be a van-accessible space. Since this parking is intended to serve two buildings, we will provide two van-accessible spaces, one at each building. In light of the fact that the preponderance of the parking is located near the 9,500 SF building, we will provide a third handicapped-accessible stall at that location. This will make a total of 5 handicapped stalls out of the total 89 stalls.

8. Since there are three sides of the proposed building at the west end of the current Lot 2 that are considered "front yards" by Section 2 of the Zoning ordinance, we are requesting to allow this project to follow this strategy:
  - a. At the north side of the building, facing W. Giles Road, we will comply with the 25-foot setback requirement.
  - b. At the west side of the building, facing the access drive where it connects with W. Giles Road, we will provide a setback of 40 feet, due to the presence of an access drive in this portion of the site. This will provide a setback of 20 feet from the access drive easement line to the proposed west face of the building.
  - c. At the south side of the building, facing the access drive, we will provide a setback of 15 feet from the curb of the access drive. This is consistent with the agreement between the owners of Lot 3 and the City, which allowed this 15-foot setback of the curb of the access drive for the existing building on Lot 3.
9. Please see the attached letter that provides assurance from the owners of both lots that the maintenance and/or snow removal will be a shared expense that will be paid for by both parties in a cost sharing agreement.
10. RE: the sidewalk location along W. Giles Road, there are severe physical constraints to placement of a sidewalk along the property line adjacent to W. Giles Road, as required by the subdivision agreement. In 2019, there was a discussion with the City of La Vista about an alternative location for a sidewalk to be placed at the back of the curb of the access drive. There was general agreement from the City of La Vista staff with this proposal, and resulted in the need for an amendment to the subdivision agreement. This amendment has not yet been executed, and the intent is to do so during this PUD approval process.
11. A Landscaping Plan for the property has been included in this re-submittal.
12. Parking lot lighting will be fed from the existing building on the current Lot 3. The locations of light fixtures are shown on the Landscaping Plan. The fixtures will match those which were used on the project that was recently constructed on Lot 3, which are in compliance with the design guidelines for the Gateway Corridor District. These were submitted and approved by the design reviewer on that project.
13. The height of the building is proposed to be no more than 24 feet, including mechanical equipment screens on the roof.
14. Please refer to our response to comment number 8 RE: setbacks.
15. The PUD site plans have been revised to denote the portion of the construction on the PUD that is already completed.
16. The PUD application includes a topographic survey of the current Lot 2 area. The application also now includes a copy of the landscaping plan, site electrical plan, and site layout plan for the improvements on Lot 3 which have been completed and will become part of this PUD.

17. The existing railroad to the south has been added to the PUD site drawing to include existing development on adjacent properties.
18. The PUD plan includes only a schematic grading and storm water plan. The detailed design will be completed at the time of building permit application. We understand the City will review any connection to the existing storm water network to assure no adverse impacts to the existing system.
19. A vicinity map has been added to the PUD Site Plan for this re-submittal.

Please contact me if you have any questions about this PUD Application re-submittal.

Regards,

A handwritten signature in blue ink that reads "Kenneth J. Hahn".

Kenneth J. Hahn, AIA  
President



January 26, 2021

Ken Hahn, AIA  
Kenneth Hahn Architects  
1343 South 75<sup>th</sup> Street  
Omaha, NE 68124

RE: Planned Unit Development – 2<sup>nd</sup> Review Letter  
TNT Holdings

Mr. Hahn,

We have reviewed the documents resubmitted for the above-referenced application. Based on the elements for consideration set forth in the applicable sections of the Zoning Ordinance, the City has the following comments:

1. Section 5.15.04.06, Section 5.15.04.08, Section 5.15.05.02.9 – The overall site and landscape plans are currently under review by the City's Design Review Architect. A separate design review letter will be forwarded once the initial review has been completed. The design review process for these plans needs to be substantially complete prior to proceeding through City Council approval process.
2. Section 5.15.04.09 – Due to the constrained buildable area within the PUD site plan area and the limited impact that the proposed reduction in building setbacks that the site can have upon adjoining properties, staff has concluded that the proposed setbacks should be allowable. This favorable recommendation will be reflected in the staff review and related approval documents.
3. Section 5.15.04.15 – If ADA requirements can be met with the current sidewalk layout, staff has no additional comments regarding the overall sidewalk layout. However, as there is a proposed sidewalk crossing along the East/West access road closer to the existing building that could be construed as a mid-block crossing. Staff recommends evaluating if any sort of mid-block pedestrian crossing warning signage should be installed.

**City Hall**  
8116 Park View Blvd.  
La Vista, NE 68128-2198  
402.331.4343 P  
402.331.4375 F

**Community Development**  
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402.593.6400 P  
402.593.6445 F

**Library**  
9110 Giles Rd.  
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9900 Portal Rd.  
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402.331.1051 F

**Recreation**  
8116 Park View Blvd.  
402.331.3455 P  
402.331.0299 F



1343 South 75th Street  
Omaha, NE 68124-1610  
402-391-2111  
FAX 391-2605

Chris Solberg, AICP  
Deputy Community Development Director  
City of La Vista, Nebraska  
8116 Park View Blvd.  
La Vista, NE 68128-2198

27 January 2021

RE: Let 2 and Lot 3, Gary and Debbie Pink No. 3 – La Vista, Nebraska  
Planned Unit Development – Initial Review Response  
TNT Holdings

Mr. Solberg,

Thank you for your letter of 26 January 2021. Here are our responses to the comments contained in the letter:

1. We understand that the overall site plan and landscape plan are under design review at this time. We will respond to any comments once we receive this review.
2. We appreciate that the building setbacks for this site which we presented are being supported by your staff's recommendation.
3. We are pleased that the sidewalk plan is acceptable. In our review of the crosswalk issue, we will add pedestrian crossing signage at the crosswalk. The site plan and landscape plan have been revised accordingly, and are being re-submitted.
4. In our review of this issue, we are adding stop signs as suggested in your letter. The site plan and landscape plan have been revised accordingly, and are being re-submitted. These stop signs will be installed at the time of the construction of the 9,575 SF building.

We are ready to have this PUD request added to the agenda for the Planning Commission meeting to be held on 18 February.

Please contact me if you have any questions about this PUD Application re-submittal.

Regards,

A handwritten signature in blue ink that reads 'Kenneth J. Hahn'.

Kenneth J. Hahn, AIA  
President

4. Based on the location of the proposed 9,575 SF VNT building being in close proximity to the intersection of the North/South and East/West access roads, staff recommends evaluating the placement of stop signs along the west and east legs of the East/West access road.

Please submit 4 full size revised copies of the plat and related documents (along with electronic copies) to the City for further review. A timeline for review by the Planning Commission and City Council will be determined based on the timing of the resubmittal and the extent to which the issues noted this review have been sufficiently addressed.

If you have any questions regarding these comments, please feel free to contact me at any time.

Thank you,



Christopher Solberg, AICP  
Deputy Community Development Director

cc:

Bruce Fountain, AICP, Community Development Director  
Pat Dowse, P.E., City Engineer  
Cale Brodersen, AICP Candidate, Assistant Planner  
Gregory Perry, P.E., Olmsted & Perry  
Takanari Miyamoto, TNT Holdings/VNT LLC

February 2, 2021

Mr. Chris Solberg  
City of La Vista  
8116 Park View Blvd  
La Vista, NE 68128

RE: Gary & Debbie Pink No. 3, PUD Landscaping - Design Review #1

Dear Chris:

This letter shall provide recommendations and/or corrections pertaining to the landscape design for the applicant's PUD submittal package dated September 2020. For tracking purposes, I have noted deficiencies in the submittal package, and where appropriate, the corresponding requirements outlined in the Gateway Corridor District.

**General:**

1. The following items were submitted for review:
  - a. LS-100 Landscaping Plan
2. It is understood that building shapes and designs are schematic and often preliminary for PUD applications. As such, a separate landscape plan shall be submitted as part of the Building Design Review Process to ensure full compliance and review of landscaping requirements associated with building elements. These would include but are not limited to required plantings adjacent to the base of buildings, plantings for screening, etc.

**Drawings:**

1. LS-100 Landscaping Plan:
  - a. See section 7.17.03.07 of La Vista Zoning Ordinance. All commercial office and industrial developments...shall provide perimeter landscaping to include a min. (1) tree for each forty (40) lineal feet of street frontage. Please verify and indicate on the drawing that the plan complies with this ordinance.
  - b. See section 7.17.04.01 Screening Requirement of La Vista Zoning Ordinance. Parking areas abutting a public right-of-way are required to be screened from grade to a height of three feet. The trees and bushes indicated as a buffer between the public right-of-way and the parking are deciduous and will likely not have canopy to provide screening below 3 foot. Solid fences, walls, berms, hedges, shrubs, or evergreen trees are allowed by the ordinance. Please revise to show compliance with the ordinance.
  - c. See Section 4, III, F, of the La Vista Gateway Corridor District Design Guideline. This guideline also requires natural undulating landscape forms. Avoid consistent straight-line plantings.
  - d. See section 4, III, K. Storm water management is to be integrated into the site and landscaping. Please show how this will be integrated in your plan.

Please notify the Applicant of the review comments above and request clarification and/or resubmittal as the case may be. Please remind the Applicant to properly date all resubmittals. Gateway Corridor District Guideline Landscaping Requirements not specifically discussed above are in compliance but subject to further review pending resubmittal.

Please feel free to contact me regarding additional clarifications or questions.

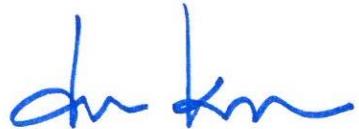
PHONE 402.493.4800  
FAX 402.493.7951

1044 North 115th Street, Suite 300  
Omaha, Nebraska 68154-4436

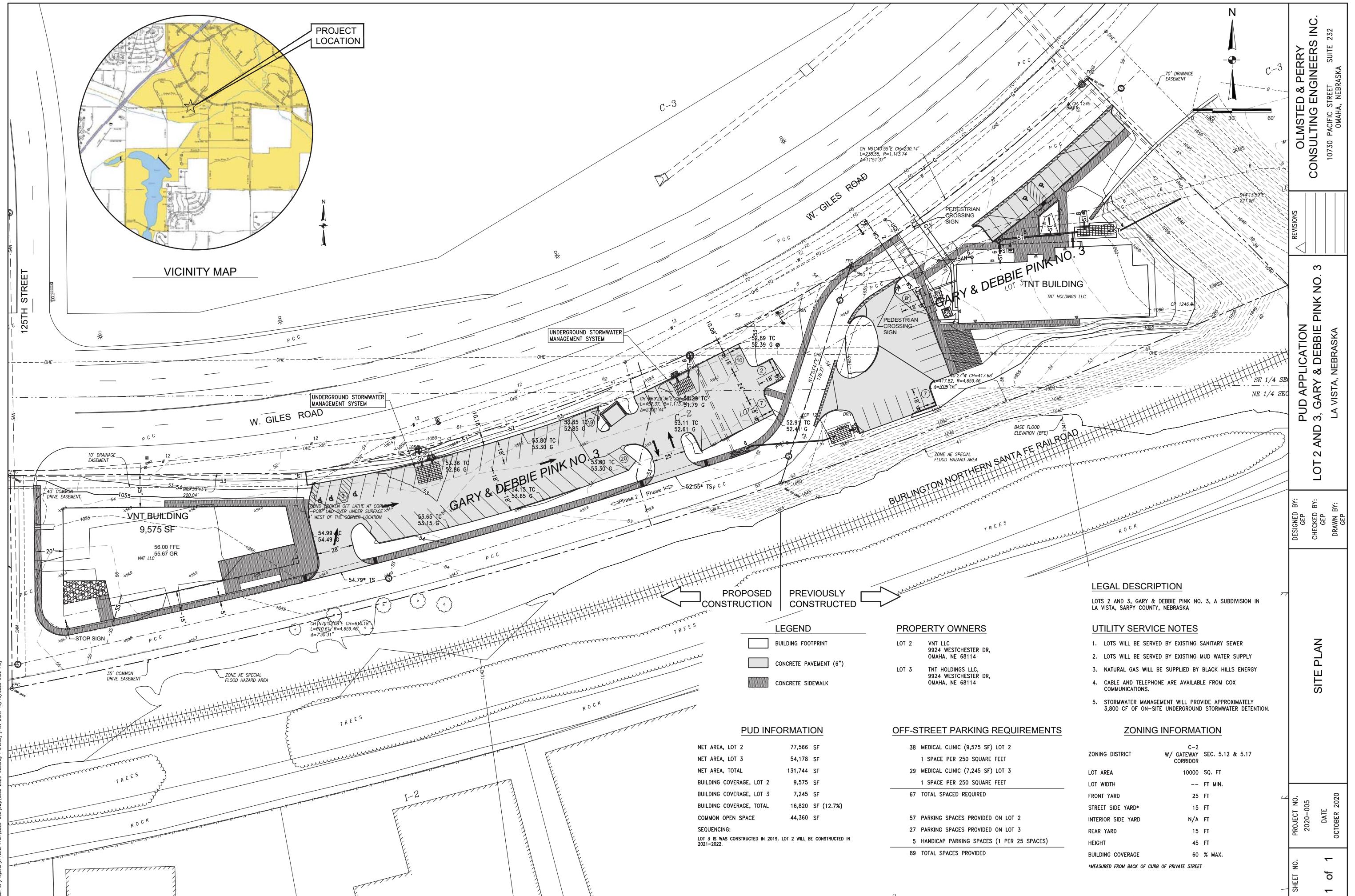
(402) 431-6377 direct  
dkerns@schemmer.com

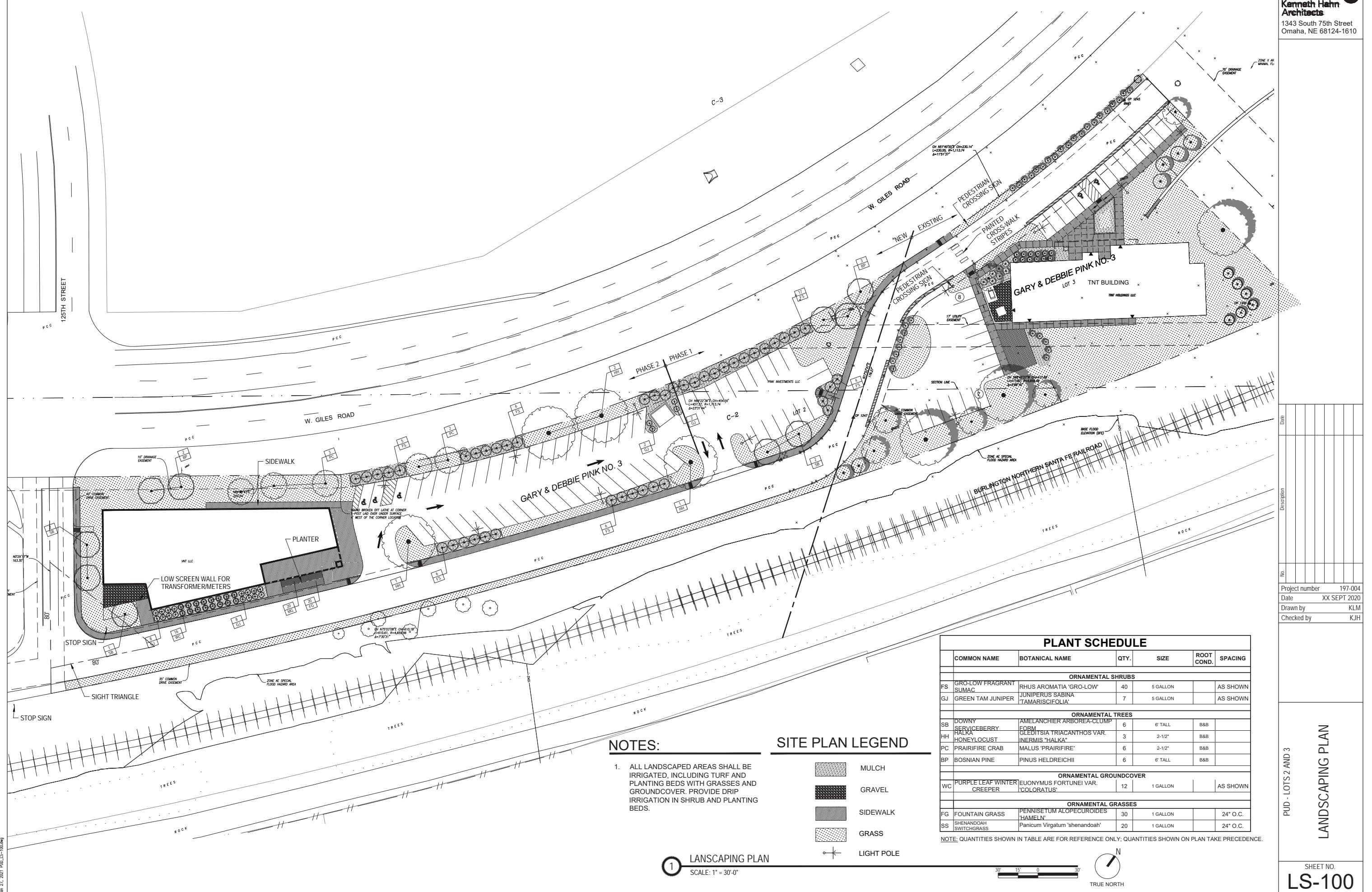
Sincerely,

THE SCHEMMER ASSOCIATES, INC.



Dan Kerns, AIA, NCARB  
Manager, Architecture  
Shareholder  
Commercial Market Leader





LEGAL DESCRIPTION

LOT 2, GARY & DEBBIE PINK NO. 3, AN ADDITION TO THE CITY OF LA VISTA,  
AS SURVEYED, PLATTED, AND RECORDED IN SARPY COUNTY, NEBRASKA

## **FLOOD ZONE CLASSIFICATION**

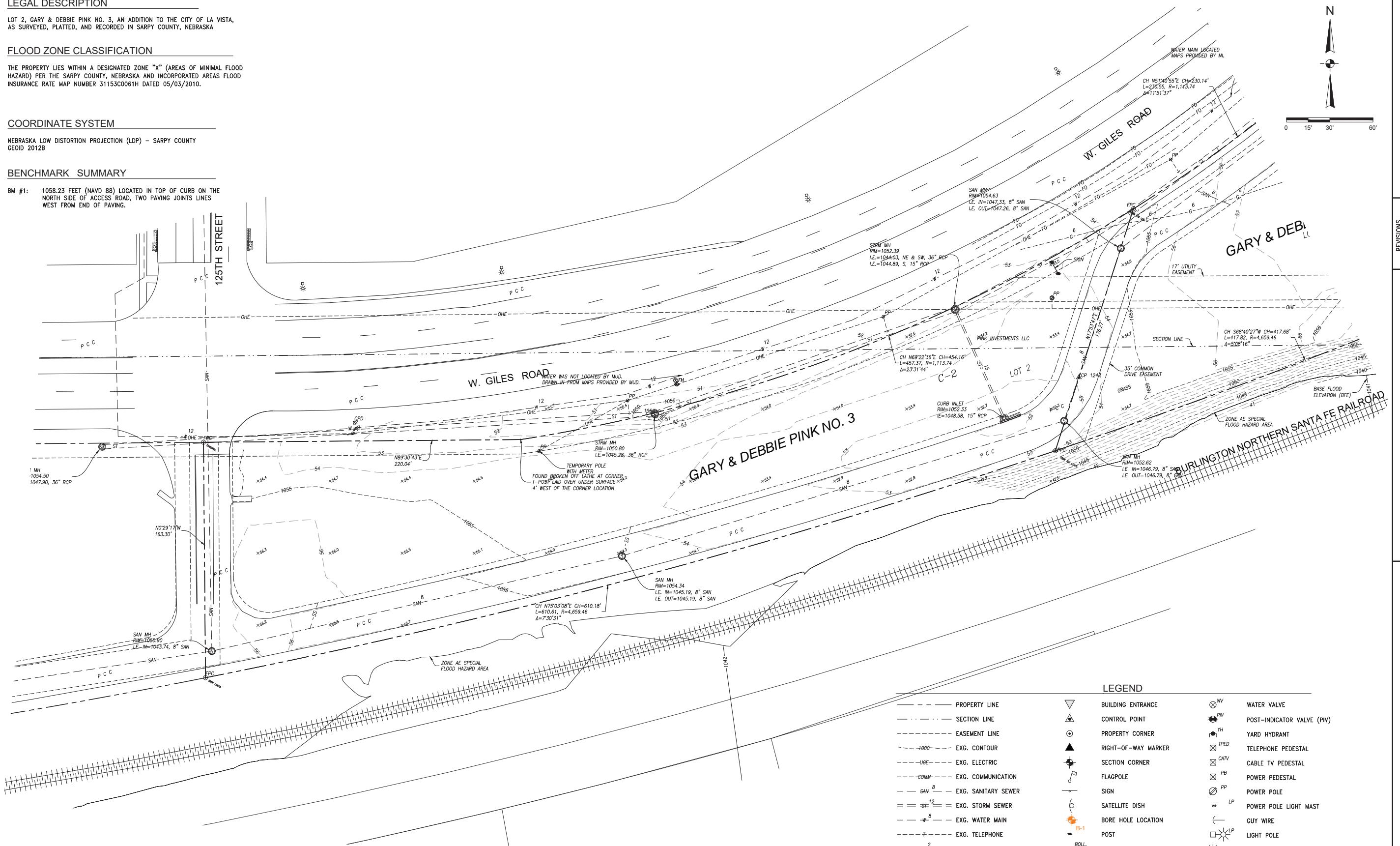
THE PROPERTY LIES WITHIN A DESIGNATED ZONE "X" (AREAS OF MINIMAL FLOOD HAZARD) PER THE SARPY COUNTY, NEBRASKA AND INCORPORATED AREAS FLOOD INSURANCE RATE MAP NUMBER 31153C0061H DATED 05/03/2010.

## COORDINATE SYSTEM

NEBRASKA LOW DISTORTION PROJECTION (LDP) – SARPY COUNTY  
GEOID 2012B

## BENCHMARK SUMMARY

BM #1: 1058.23 FEET (NAVD 88) LOCATED IN TOP OF CURB ON THE  
NORTH SIDE OF ACCESS ROAD, TWO PAVING JOINTS LINES  
WEST FROM END OF PAVING.



## UTILITY INFORMATION

EXISTING UTILITIES, UNDERGROUND STRUCTURES AND SERVICES WERE LOCATED FROM EXISTING OWNER RECORDS, MAPS AND ONE-CALL DIGGERS HOTLINE PAINT DESIGNATION LINES IN THE FIELD. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRIZE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED, ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM THE INFORMATION AVAILABLE. VERIFICATION OF ALL UTILITIES AND SERVICES SHOULD BE OBTAINED FROM THE OWNER OF EACH RESPECTIVE UTILITY COMPANY PRIOR TO DESIGN, CONSTRUCTION AND EXCAVATION.

## LEGEND

— — — — — PROPERTY LINE	▼	BUILDING ENTRANCE	○ <sup>WV</sup>	WATER VALVE
— · · · · · SECTION LINE	▲	CONTROL POINT	○ <sup>PIV</sup>	POST-INDICATOR VALVE (PIV)
— · · · · · EASEMENT LINE	○	PROPERTY CORNER	○ <sup>YH</sup>	YARD HYDRANT
— · · · · · EXG. CONTOUR	▲	RIGHT-OF-WAY MARKER	□ <sup>TPED</sup>	TELEPHONE PEDESTAL
— · · · · · EXG. ELECTRIC	○	SECTION CORNER	□ <sup>CATV</sup>	CABLE TV PEDESTAL
— · · · · · EXG. COMMUNICATION	○	FLAGPOLE	□ <sup>PB</sup>	POWER PEDESTAL
— · · · · · SAN <sup>8</sup> EXG. SANITARY SEWER	○	SIGN	○ <sup>PP</sup>	POWER POLE
— · · · · · EXG. STORM SEWER <sup>12</sup>	○	SATELLITE DISH	○ <sup>LP</sup>	POWER POLE LIGHT MAST
— · · · · · EXG. WATER MAIN <sup>8</sup>	○	BORE HOLE LOCATION	←	GUY WIRE
— · · · · · EXG. TELEPHONE	○	POST	□ <sup>LP</sup>	LIGHT POLE
— · · · · · EXG. GAS MAIN <sup>2</sup>	●	BOLLARD	○	LIGHT
— · · · · · EXG. PAVEMENT	○	12"	○ <sup>SSCO</sup>	SANITARY SEWER CLEANOUT
— · · · · · EXG. CENTERLINE	○	STUMP	○ <sup>SSMH</sup>	SANITARY SEWER MANHOLE
— · · · · · EXG. WATERWAY	○	CONIFEROUS TREE	○ <sup>WMH</sup>	WATER MANHOLE
— // — // — EXG. CHAIN LINK FENCE	○	DECIDUOUS TREE	○ <sup>STMH</sup>	STORM SEWER MANHOLE
— · · · · · EXG. WOOD FENCE	○	BUSH	○ <sup>TMH</sup>	TELEPHONE MANHOLE
— · · · · · EXG. BARBED WIRE FENCE	○	MAILBOX	○ <sup>GMH</sup>	GAS MANHOLE
// // // // EXG. BUILDING	○	FIRE HYDRANT	○ <sup>CMH</sup>	COMMUNICATIONS MANHOLE
RAILROAD TRACKS	○	CURB STOP	○	
	○	WATER METER	○	

卷之三

OLMSTED & PERRY  
CONSULTING ENGINEERS INC.  
10730 PACIFIC STREET  
OMAHA, NEBRASKA  
SUITE 232

## REVISIONS

PUD SUBMITTAL  
LOT 2, GARY & DEBBIE PINK NO. 3  
LA VISTA, NEBRASKA

TOPOGRAPHIC SURVEY

SHEET NO.	PROJECT NO.
1 of 1	18041
	DATE
	FEBRUARY 24, 2020

## **AGENDA ITEM 4C**

**Replat—Lots 1 & 16 Harrison Hills—Streck, Inc.**



**CITY OF LA VISTA**  
**PLANNING DIVISION**  
**RECOMMENDATION REPORT**

CASE NUMBERS: PRP20-0002;

FOR HEARING OF: FEBRUARY 18, 2021  
REPORT PREPARED ON: FEBRUARY 9, 2021

**I. GENERAL INFORMATION**

**A. APPLICANT:**

Streck, Inc.  
7002 S 109<sup>th</sup> Street  
La Vista, NE 68128

**B. PROPERTY OWNER:**

Streck, Inc.  
7002 S 109<sup>th</sup> Street  
La Vista, NE 68128

**C. LOCATION:** 11725 S 118<sup>th</sup> Street; Generally located south of the intersection of S. 117<sup>th</sup> Street and Emiline Street.

**D. LEGAL DESCRIPTION:** Lots 1 and 16 Harrison Hills (to be replatted as Lots 1 and 2 Harrison Hills Replat 7).

**E. REQUESTED ACTION(S):** Approval of a Replat to allow for the construction and operation of a multi-family housing development on the proposed Lot 1 Harrison Hills Replat 7.

**F. EXISTING ZONING AND LAND USE:** R-3 – High-Density Residential, Gateway Corridor District (Overlay District), and Planned Unit Development; The site is currently vacant.

**G. PURPOSE OF REQUEST:** Consolidation of Lot 16 Harrison Hills into Lot 1 Harrison Hills and the division of Lot 1 Harrison Hills into two lots to allow for the development of multi-family housing units (apartments).

**H. SIZE OF SITE:** Approximately 3.03 acres.

**II. BACKGROUND INFORMATION**

**A. EXISTING CONDITION OF SITE:** The property slopes gradually downward to the south and to the west;

**B. GENERAL NEIGHBORHOOD/AREA LAND USES AND ZONING:**

<u>Direction From Subject Property</u>	<u>Future Land Use Designation</u>	<u>Current Zoning Designation</u>	<u>Surrounding Development</u>
North	Commercial	C-3 Highway Commercial/Office Park District, Gateway Corridor District (Overlay District)	Vacant properties, Casey's under development, Restaurant Depot
East	High-Density Residential	R-3 High-Density Residential	Harrison Hills Apartments
South	Industrial	I-1 Light-Industrial	Stepper-ettes Dance, SalonCentric
West	Parks and Recreation	TA – Transitional Agriculture, Gateway Corridor District (Overlay District)	Vacant property, old sod farm property

**C. RELEVANT CASE HISTORY:**

1. A Planned Unit Development Site Plan was approved by Council on November 5, 2019 for Lots 1 and 16 Harrison Hills to prepare for the development of Streck, Inc.'s new facility.
2. Phase 1 of construction for Streck, Inc.'s new facility is nearing completion.
3. The subject property was rezoned to R-3 High Density Residential with PUD District and Gateway Corridor District overlays on December 15, 2020.

**D. APPLICABLE REGULATIONS:**

1. Section 3.07 of the Subdivision Regulations - Replats
2. Section 5.08 of the Zoning Regulations – R-3 High Density Residential.
3. Section 5.15 of the Zoning Regulations – PUD Planned Unit Development District (Overlay District).

**III. ANALYSIS**

**A. COMPREHENSIVE PLAN:**

1. The Future Land Use Map of the Comprehensive Plan currently designates the proposed Lot 1 as High-Density Residential and Lot 2 as Industrial.

**B. OTHER PLANS: N/A.**

**C. TRAFFIC AND ACCESS:**

1. Access to this property would be through Emilie Street, which connects to the arterial Harrison Street through

intersections at 115<sup>th</sup>, 117<sup>th</sup>, and 118<sup>th</sup> Street. These streets have sufficient capacity to handle the traffic demands of multifamily residential development.

2. A draft traffic memo has been submitted to the City that analyzes impacts to the traffic signals on Harrison Street. The memo has been forwarded to the City of Omaha for their review as the impacted traffic signal on Harrison Street is under the jurisdiction of Omaha.

**D. UTILITIES:**

1. The property has access to sanitary sewer, water, gas, power, and communication utilities.

**E. PARKING REQUIREMENTS:**

1. All developments will need to meet the minimum parking requirements of the underlying zoning district, unless as modified by the PUD site plan and ordinance for this area as amended.

**F. LANDSCAPING:**

1. The landscaping for any developments on this site will need to comply with the requirements of the Zoning Ordinance and of the Gateway Corridor Design Guidelines. Review letters from the City's Design Review Architect regarding the proposed landscaping plan are included for review.

**IV. REVIEW COMMENTS:**

- A. Any traffic signal improvements required by the City of Omaha must be completed prior to the issuance of a Certificate of Occupancy and is addressed through the Subdivision.
- B. In addition to the approval of Harrison Hills Replat 7 and prior to development, the applicant will be required to receive approval of the revised PUD Site Plan and Conditional Use Permit (CUP). The applicant will also be required to complete the design review process prior to commencement of development of the property.
- C. The applicant will need to prepare a subdivision agreement with city staff prior to the review of the Replat by City Council.

**V. STAFF RECOMMENDATION – REPLAT:**

Staff recommends approval of the replat of Lots 1 and 16 Harrison Hills, being replatted as Lots 1 and 2 Harrison Hills Replat 7, contingent on the resolution of the issues mentioned in this staff report, as the request is consistent with the Comprehensive Plan and the Subdivision Regulations.

**VI. ATTACHMENTS TO REPORT:**

- A. Vicinity Map
- B. Staff Review Letters
- C. Draft Replat map set

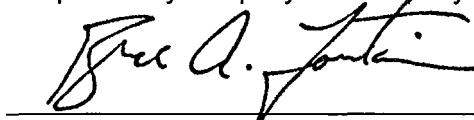
**VII. COPIES OF REPORT SENT TO:**

- A. Constance Ryan, Streck, Inc.
- B. Caleb Snyder, Lamp Rynearson
- C. Zach Reinhart, Burlington Capital
- D. Public Upon Request



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Prepared by: Deputy Community Development Director



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Community Development Director

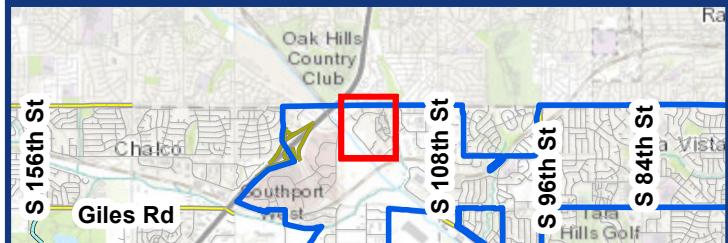
2-11-21

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Date



## Replat Vicinity Map



**Streck, Inc.**  
**Harrison Hills Replat 7**  
2/12/2021 cb





December 23, 2020

Zach Reinhardt  
Burlington Capital  
1004 Farnam St. Ste 400  
Omaha, NE 68102

RE: Harrison Hills Replat 7 – Initial Review Letter

Mr. Reinhardt,

We have reviewed the documents submitted for the above-referenced application. Based on the elements for consideration set forth in the applicable sections of the Subdivision Regulations, the City has the following comments:

1. Section 3.07.03, Section 3.03.02 – Topography needs to be updated as to show current existing grades vs. proposed grading for the next phase.
2. Section 3.07.03, Section 3.03.03 – Phasing needs to be updated to show the existing phase, the proposed phase included in the housing project, and future phases of the project.
3. Section 3.07.03, Section 3.03.07 – Preliminary Plat exhibit needs to show existing structures within 200 feet of the property.
4. Section 3.07.03, Section 3.03.07 – Storm sewer linework needs to differentiate between the existing storm sewer system and the proposed storm sewer improvements as to show if existing storm sewer network will need to be modified to accommodate the contemplated site revisions.
5. Section 3.07.07, Section 3.03.13 – The limits of the flood way and floodplain in the vicinity of the property should be shown.

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La Vista, NE 68128-2198  
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402.331.4375 F

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9900 Portal Rd.  
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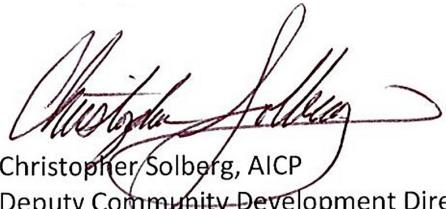
**Recreation**  
8116 Park View Blvd.  
402.331.3455 P  
402.331.0299 F

6. Section 3.07.03, Section 3.03.14 – Building setback lines are not shown on the submittal, however leaders with setback distances are shown in the PUD submittal.
7. Section 3.07.03, Section 3.03.15 – The Post Construction Storm Water Management Plan shows dry detention basin that will be conveying drainage from Lot 1 through a permanent storm sewer easement in Lot 2. The intent of the maintenance is unclear as to if Lot 1 will be required to contribute to the maintenance of the dry detention basin, or if Lot 2 will be solely responsible for the operation and maintenance of the BMP. If the intent is to have both lots share in the maintenance as a common area, this will need to be depicted, and a subdivision agreement is likely necessary.
8. Section 3.07.03, Section 3.03.15 – The legal description needs to include total acreage involved in the plat.
9. Section 3.07.03, Section 3.03.16 – Site currently has a Stormwater Pollution Prevention Plan (SWPPP) due to current phase of work, however, SW PPP will likely need to be revised as the grading and/or storm sewer design is revised.
10. Section 3.07.03, Section 3.03.19 – A revised traffic study was submitted for this project. As the signal at 118th and Harrison is owned and operated by the City of Omaha, and any signal, if installed, at the intersection of 115th/116th and Harrison Street would likely be owned and operated by the City of Omaha. The City of Omaha will need to review and approve the traffic study as revised.
11. Section 3.07.03, Section 3.05.18 – Please clarify if there is a lien holder for the property involved in the plat. If so, the Lien Holder Consent block shall be added to the Final Plat.
12. Section 3.07.03, Section 3.05.19 – As the Surveyor's Certification states that permanent makers will be set at all property corners, we will require a Staking Bond of \$500.00 as to ensure that all property corners are set.
13. Section 3.07.03, Section 3.05.24 – Should the City of Omaha require public improvements related to the traffic study, we will require that you show the cost of any public improvements.
14. Section 3.07.03, Section 3.05.25 – Staff are currently reviewing the subdivision agreement that you submitted. Said agreement will need to be in acceptable form prior to action by City Council.

Please submit 4 full size revised copies of the plat and related documents (along with electronic copies) to the City for further review. A timeline for review by the Planning Commission and City Council will be determined based on the timing of the resubmittal and the extent to which the issues noted this review have been sufficiently addressed.

If you have any questions regarding these comments, please feel free to contact me at any time.

Thank you,



Christopher Solberg, AICP  
Deputy Community Development Director

cc:

Caleb Snyder, Lamp Rynearson  
Constance Ryan, Streck Inc.  
Bruce Fountain, Community Development Director – City of La Vista  
Pat Dowse, City Engineer – City of La Vista

January 25, 2021

Mr. Christopher Solberg, AICP  
City of La Vista  
Senior Planner  
8116 Park View Blvd  
La Vista, NE 68128

14710 W. Dodge Rd., Ste. 100  
Omaha, NE 68154  
[P] 402.496.2498  
[F] 402.496.2730  
LampRynearson.com

Reference: Streck, Inc. – Harrison Hills  
Replat 7 Initial Review Submittal Comments  
Project No.: 0118087.06-003

Dear Mr. Solberg:

Submitted herewith are our responses to the comments included in the City of La Vista's Harrison Hills Replat 7 initial review letter dated December 23, 2020 regarding the Streck, Inc. – Harrison Hills, Planned Unit Development submittal.

**Review Comments:**

1. Section 3.07.03, Section 3.03.02 – Topography needs to be updated as to show current existing grades vs. proposed grading for the next phase.

**Response:** The topography shown on the preliminary plat has been updated to show the site's existing grades. Exhibit G has been added to show the proposed grading for the housing phase.

2. Section 3.07.03, Section 3.03.03 – Phasing needs to be updated to show the existing phase, the proposed phase included in the housing project, and future phases of the project.

**Response:** The phasing on Exhibits C-G has been updated to reflect the proposed phasing.

3. Section 3.07.03, Section 3.03.07 – Preliminary Plat exhibit needs to show existing structures within 200 feet of the property.

**Response:** This has been added to the preliminary plat exhibit.

4. Section 3.07.03, Section 3.03.07 – Storm sewer linework needs to differentiate between the existing storm sewer system and the proposed storm sewer improvements as to show if existing storm sewer network will need to be modified to accommodate the contemplated site revisions.

**Response:** This has been completed as requested.

5. Section 3.07.07, Section 3.03.13 – The limits of the flood way and floodplain in the vicinity of the property should be shown.

**Response:** This has been completed as requested.

6. Section 3.07.03, Section 3.03.14 – Building setback lines are not shown on the submittal, however leaders with setback distances are shown in the PUD submittal.

**Response:** The preliminary plat exhibit includes the city's minimum setback requirements for the proposed R-3 zoning and I-1 zoning. The proposed building setbacks are shown on the Exhibit C.

7. Section 3.07.03, Section 3.03.15 – The Post Construction Storm Water Management Plan shows dry detention basin that will be conveying drainage from Lot 1 through a permanent storm sewer easement in Lot 2. The intent of the maintenance is unclear as to if Lot 1 will be required to contribute to the maintenance of the dry detention basin, or if Lot 2 will be solely responsible for the operation and maintenance as a common area, this will need to be depicted, and a subdivision agreement is likely necessary.

**Response:** The maintenance of the dry detention basin will be outlined in the subdivision agreement.

8. Section 3.07.03, Section 3.03.15 – The legal description needs to include total acreage involved in the plat.

**Response:** The total acreage is included in the legal description on both the preliminary and final plat exhibits.

9. Section 3.07.03, Section 3.03.16 – Site currently has a Stormwater Pollution Prevention Plan (SWPPP) due to current phase of work, however, SWPPP will likely need to be revised as the grading and/or storm sewer design is revised.

**Response:** Agreed, the SWPPP will be updated once the housing phase design has been finalized.

10. Section 3.07.03, Section 3.03.19 – A revised traffic study was submitted for this project. As the signal at 118<sup>th</sup> and Harrison is owned and operated by the City of Omaha, and any signal, if installed, at the intersection of 115<sup>th</sup>/116<sup>th</sup> and Harrison Street would likely be owned and operated by the City of Omaha. The City of Omaha will need to review and approve the traffic study as revised.

**Response:** The revised traffic memo has been submitted to the City of Omaha for their review and comment.

11. Section 3.07.03, Section 3.03.18 – Please clarify if there is a lien holder for the property involved in the plat. If so, the Lien Holder Consent block shall be added to the Final Plat.

**Response:** There is no lien holder on the property.

12. Section 3.07.03, Section 3.05.19 – As the Surveyor's Certification states that permanent marker will be set at all property corners, we will require a Staking Bond of \$500.00 as to ensure that all property corners are set.

**Response:** A staking bond will be provided prior to action by City Council.

13. Section 3.07.03, Section 3.05.24 – Should the City of Omaha require public improvements related to the traffic study, we will require that you show the cost of any public improvements.

**Response:** Agreed.

14. Section 3.07.03, Section 3.05.25 – Staff are currently reviewing the subdivision agreement that you submitted. Said agreement will need to be in acceptable form prior to action by City Council.

**Response:** Agreed.

Four (4) copies of each of the following documents are included with this submittal:

1. Harrison Hills Replat 7 Preliminary Plat;
2. Harrison Hills Replat 7 Final Plat;
3. Subdivision Agreement Exhibit A – Final Plat;
4. Subdivision Agreement Exhibit B – Conditional Use Permit Operating Statement;
5. Subdivision Agreement Exhibit C – “PUD” Site Plan;
6. Subdivision Agreement Exhibit D – Landscape Plan;
7. Subdivision Agreement Exhibit E – Post Construction Storm Water Management Plan;
8. Subdivision Agreement Exhibit F – Utility Plan; and
9. Subdivision Agreement Exhibit G – Grading Plan.

Please call if you have any questions or concerns regarding this submittal.

Sincerely;

LAMP RYNEARSON, INC.



Caleb M. Snyder, P.E.  
Project Manager

Enclosures

c: John Noble, Streck, Inc.  
Zach Reinhardt, Burlington Capital  
Tom Zuk, Holland Basham Architects  
David Warner, Holland Basham Architects



February 8, 2021

Zach Reinhardt  
Burlington Capital  
1004 Farnam St. Ste 400  
Omaha, NE 68102

RE: Harrison Hills Replat 7 – 2nd Review Letter

Mr. Reinhardt,

We have reviewed the documents submitted for the above-referenced application. Based on the elements for consideration set forth in the applicable sections of the Subdivision Regulations, the City has the following comments:

1. Section 3.07.03, Section 3.03.07 – Preliminary Plat exhibit needs to show existing structures within 200 feet of the property. Most structures have been added, however the structures on Lot 3 Harrison Hills and Lot 1 Harrison Hills Replat 6 are still not represented.
2. Section 3.07.03, Section 3.03.19 – A revised traffic study was submitted for this project. Staff will be in contact with the City of Omaha prior to approval of the subdivision agreement to discuss any potential changes, if necessary, that need to be addressed within the agreement.
3. Section 3.07.03, Section 3.05.19 – If a staking bond is provided, as stated in the response letter, this will only have to be provided at the time of the provision of mylars after the plat's approval.

Other than the issues stated within this letter, staff is in approval of the Replat Plan Set and have added the application to the February 18<sup>th</sup> Planning Commission meeting agenda.

Please forward to the City 15 copies of the Replat Plan Set, along with an electronic copy, close of business on Wednesday, February 10, 2021 for compilation of Planning Commission packets.

The Planning Commission meeting will be held on Thursday, February 18<sup>th</sup>, 2021 at 6:30pm in the Council Chambers at La Vista City Hall located at 8116 Park View Blvd. Please have someone in attendance to present the application and to answer any questions the Planning Commission may have.

**City Hall**  
8116 Park View Blvd.  
La Vista, NE 68128-2198  
402.331.4343 **P**  
402.331.4375 **F**

**Community Development**  
8116 Park View Blvd.  
402.593.6400 **P**  
402.593.6445 **F**

**Library**  
9110 Giles Rd.  
402.537.3900 **P**  
402.537.3902 **F**

**Police**  
7701 S. 96th St.  
402.331.1582 **P**  
402.331.7210 **F**

**Public Works**  
9900 Portal Rd.  
402.331.8927 **P**  
402.331.1051 **F**

**Recreation**  
8116 Park View Blvd.  
402.331.3455 **P**  
402.331.0299 **F**

For those in attendance, we ask that they adhere to the City of La Vista mask mandate and other general social distancing norms in relation to the current pandemic.

If you have any questions regarding these comments, please feel free to contact me at any time.

Thank you,

A handwritten signature in blue ink, appearing to read "Christopher Solberg".

Christopher Solberg, AICP  
Deputy Community Development Director

cc:

Caleb Snyder, Lamp Rynearson  
Constance Ryan, Streck Inc.  
Bruce Fountain, Community Development Director – City of La Vista  
Pat Dowse, City Engineer – City of La Vista

January 25, 2021

Mr. Christopher Solberg, AICP  
City of La Vista  
Senior Planner  
8116 Park View Blvd  
La Vista, NE 68128

14710 W. Dodge Rd., Ste. 100  
Omaha, NE 68154  
[P] 402.496.2498  
[F] 402.496.2730  
LampRynearson.com

Reference: Streck, Inc. – Harrison Hills  
Replat 7 Initial Review Submittal Comments  
Project No.: 0118087.06-003

Dear Mr. Solberg:

Submitted herewith are our responses to the comments included in the City of La Vista's Harrison Hills Replat 7 initial review letter dated December 23, 2020 regarding the Streck, Inc. – Harrison Hills, Planned Unit Development submittal.

**Review Comments:**

1. Section 3.07.03, Section 3.03.02 – Topography needs to be updated as to show current existing grades vs. proposed grading for the next phase.

**Response:** The topography shown on the preliminary plat has been updated to show the site's existing grades. Exhibit G has been added to show the proposed grading for the housing phase.

2. Section 3.07.03, Section 3.03.03 – Phasing needs to be updated to show the existing phase, the proposed phase included in the housing project, and future phases of the project.

**Response:** The phasing on Exhibits C-G has been updated to reflect the proposed phasing.

3. Section 3.07.03, Section 3.03.07 – Preliminary Plat exhibit needs to show existing structures within 200 feet of the property.

**Response:** This has been added to the preliminary plat exhibit.

4. Section 3.07.03, Section 3.03.07 – Storm sewer linework needs to differentiate between the existing storm sewer system and the proposed storm sewer improvements as to show if existing storm sewer network will need to be modified to accommodate the contemplated site revisions.

**Response:** This has been completed as requested.

5. Section 3.07.07, Section 3.03.13 – The limits of the flood way and floodplain in the vicinity of the property should be shown.

**Response:** This has been completed as requested.

6. Section 3.07.03, Section 3.03.14 – Building setback lines are not shown on the submittal, however leaders with setback distances are shown in the PUD submittal.

**Response:** The preliminary plat exhibit includes the city's minimum setback requirements for the proposed R-3 zoning and I-1 zoning. The proposed building setbacks are shown on the Exhibit C.

7. Section 3.07.03, Section 3.03.15 – The Post Construction Storm Water Management Plan shows dry detention basin that will be conveying drainage from Lot 1 through a permanent storm sewer easement in Lot 2. The intent of the maintenance is unclear as to if Lot 1 will be required to contribute to the maintenance of the dry detention basin, or if Lot 2 will be solely responsible for the operation and maintenance as a common area, this will need to be depicted, and a subdivision agreement is likely necessary.

**Response:** The maintenance of the dry detention basin will be outlined in the subdivision agreement.

8. Section 3.07.03, Section 3.03.15 – The legal description needs to include total acreage involved in the plat.

**Response:** The total acreage is included in the legal description on both the preliminary and final plat exhibits.

9. Section 3.07.03, Section 3.03.16 – Site currently has a Stormwater Pollution Prevention Plan (SWPPP) due to current phase of work, however, SWPPP will likely need to be revised as the grading and/or storm sewer design is revised.

**Response:** Agreed, the SWPPP will be updated once the housing phase design has been finalized.

10. Section 3.07.03, Section 3.03.19 – A revised traffic study was submitted for this project. As the signal at 118<sup>th</sup> and Harrison is owned and operated by the City of Omaha, and any signal, if installed, at the intersection of 115<sup>th</sup>/116<sup>th</sup> and Harrison Street would likely be owned and operated by the City of Omaha. The City of Omaha will need to review and approve the traffic study as revised.

**Response:** The revised traffic memo has been submitted to the City of Omaha for their review and comment.

11. Section 3.07.03, Section 3.03.18 – Please clarify if there is a lien holder for the property involved in the plat. If so, the Lien Holder Consent block shall be added to the Final Plat.

**Response:** There is no lien holder on the property.

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Sincerely;

LAMP RYNEARSON, INC.



Caleb M. Snyder, P.E.  
Project Manager

Enclosures

c: John Noble, Streck, Inc.  
Zach Reinhardt, Burlington Capital  
Tom Zuk, Holland Basham Architects  
David Warner, Holland Basham Architects

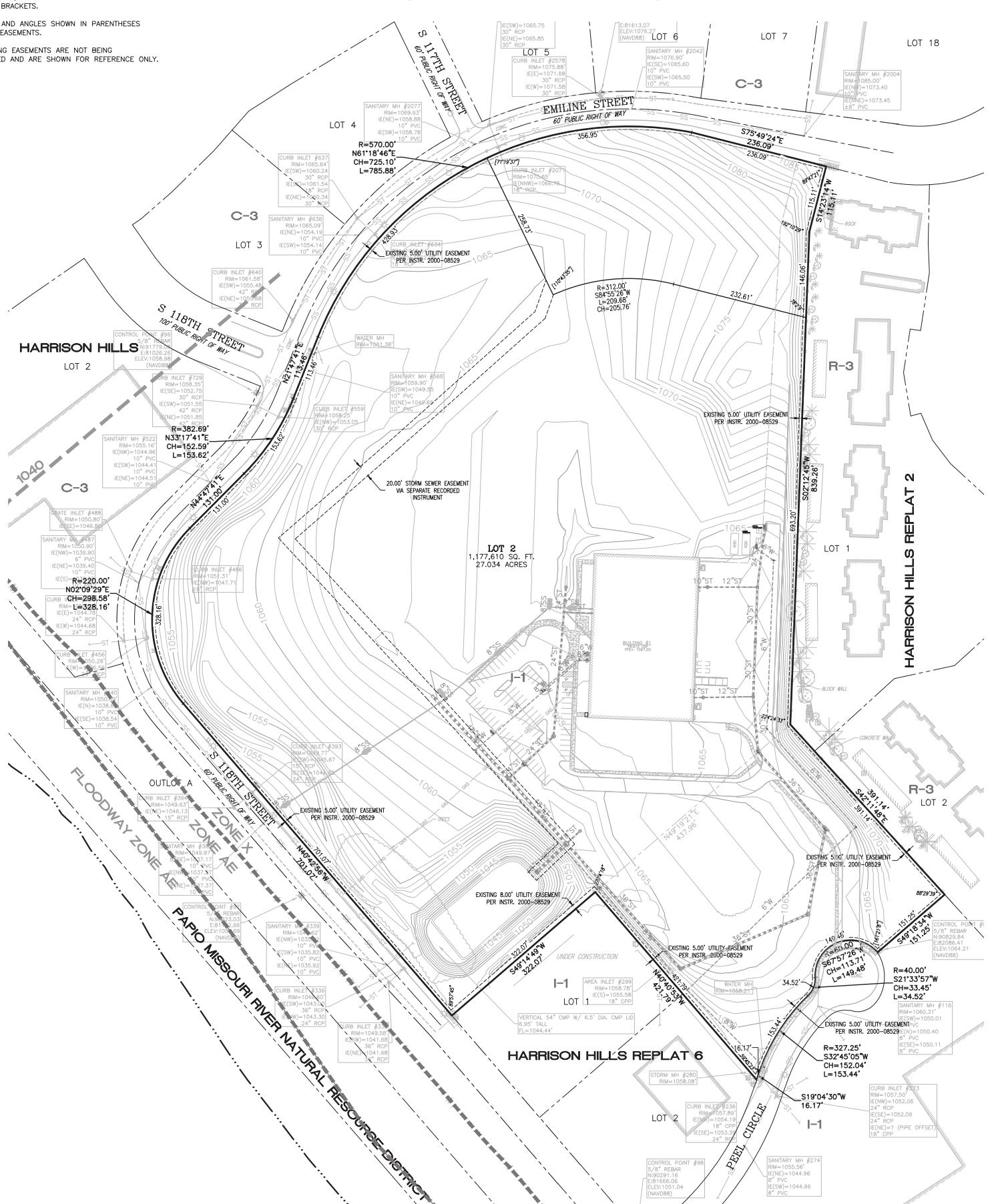
## NOTES

- ALL DISTANCES ARE SHOWN IN DECIMAL FEET.
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- ALL ANGLES ARE 90° UNLESS NOTED.
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## HARRISON HILLS REPLAT 7

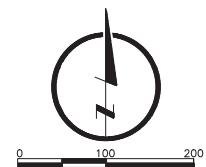
## LOTS 1 AND 2

BEING A REPLATTING OF LOTS 1 AND 16, HARRISON HILLS, A SUBDIVISION, AS SURVEYED, PLATTED AND RECORDED IN SARPY COUNTY, NEBRASKA



LOCATED IN:  
NW 1/4 NW 1/4 SEC. 17, T14N, R12E  
NE 1/4 NW 1/4 SEC. 17, T14N, R12E  
SW 1/4 NW 1/4 SEC. 17, T14N, R12E  
SE 1/4 NW 1/4 SEC. 17, T14N, R12E

14710 W. DODGE RD, STE. 100  
OMAHA, NE 68154  
402.496.2498  
LampRynearson.com



VICINITY MAP

## LEGEND

- BOUNDARY LINE
- - - EXISTING LOT LINE
- - - EASEMENT LINE
- - - ASSUMED CURB
- - SANITARY SEWER
- - STORM SEWER
- - GAS
- [AC UNIT]
- [AREA INLET ROUND]
- [CABLE TV PULL BOX]
- [CABLE TV RISER]
- [CONIFEROUS TREE]
- [CONTINUE SYMBOL]
- [CONTROL POINT]
- [CURB INLET]
- [DECIDUOUS TREE]
- [FIRE HYDRANT]
- [GRATE INLET]
- [INFORMATION SIGN]
- [LIGHT POLE]
- [MANHOLE]
- [POWER METER]
- [POWER PULL BOX]
- [POWER RISER]
- [POWER TRANSFORMER]
- [CORNERS FOUND]
- [SPRINKLER VALVE BOX]
- [STREET LIGHT]
- [TELEPHONE RISER]
- [UNIDENTIFIED PULL BOX]
- [UNIDENTIFIED RISER]
- [WATER MANHOLE]
- [WATER VALVE]
- [BUILDING]
- [FENCE]
- [INVERT ELEVATION]
- [FLOW LINE]
- [MEASURED DIMENSIONS]
- [FLOOD ZONE]
- [BASE FLOOD]
- [FEMA STREAM LINE]

## LEGAL DESCRIPTION

LOT 1 AND LOT 16, HARRISON HILLS, A SUBDIVISION AS SURVEYED, PLATTED AND RECORDED IN SARPY COUNTY, NEBRASKA.  
CONTAINS 30.065 ACRES.

## OWNER/ APPLICANT

STRECK, INC., A NEBRASKA CORPORATION  
7002 S 109TH STREET  
LA VISTA, NEBRASKA 68128

## ENGINEER

LAMP RYNEARSON  
14710 WEST DODGE ROAD, SUITE 100  
OMAHA, NEBRASKA 68154-2027

## ZONING

EXISTING: I-1  
PROPOSED: R-3, HIGH DENSITY RESIDENTIAL, PUD AND GWC OVERLAY  
LOT 1 3.031 ACRES  
I-1 LIGHT INDUSTRIAL PUD AND GWC OVERLAY  
LOT 2 27.034 ACRES  
TOTAL AREA - 30.065 ACRES  
POWER: OMAHA PUBLIC POWER DISTRICT  
444 SOUTH 16TH STREET MALL  
OMAHA, NE 68102-2247  
WATER: METROPOLITAN UTILITIES DISTRICT  
3100 SOUTH 61ST AVENUE  
OMAHA, NE 68106-3621  
GAS: BLACK HILLS ENERGY  
501 WEST 6TH STREET  
PAPILLION, NEBRASKA 68046

## FLOOD ZONE

ZONE X  
AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOOD PLAIN AS ILLUSTRATED BY FLOOD INSURANCE RATE MAP (FIRM), DOUGLAS COUNTY, NEBRASKA.

MAP NUMBER: 31153C0055H  
MAP EFFECTIVE DATE: MAY 3, 2010  
COMMUNITY NUMBER: 310192 0055 H

MAP NUMBER: 31153C0081H  
MAP EFFECTIVE DATE: MAY 3, 2010  
COMMUNITY NUMBER: 310192 0061 H

MAP NUMBER: 31153C0062H  
MAP EFFECTIVE DATE: MAY 3, 2010  
COMMUNITY NUMBER: 310192 0062 H

FLOOD ZONE REQUIREMENTS MAY BE SUBJECT TO CHANGE OR MODIFICATION BY THE LOCAL GOVERNING AUTHORITY. CONTACT THE LOCAL FLOOD PLAIN MANAGER OR OTHER APPROPRIATE OFFICIAL TO DISCOVER LOCAL ORDINANCES OR CHANGES IN REGULATIONS, FUTURE OR PROPOSED.

## CONTROL NOTE

- HORIZONTAL DATUM IS BASED ON THE SARPY COUNTY LOW DISTORTION COORDINATE SYSTEM.
- VERTICAL DATUM IS BASED ON NAVD88 (GEOD-12A).

## UTILITY NOTES

1. THIS DRAWING INCLUDES OBSERVED EVIDENCE OF SERVICES AND UTILITIES EVIDENT AT THE TIME OF SURVEY ONLY. NO RESPONSIBILITY OR LIABILITY IS ASSUMED BY THE SURVEYOR FOR THE FAILURE TO SHOW ANY BURIED SERVICE AND/OR UTILITY LINES EVEN THOUGH THEY MAY EXIST. CONTACT "ONE CALL" (1-800-331-5666) PRIOR TO ANY EXCAVATION ON THIS SITE.

CITY OF LA VISTA ZONING ORDINANCE  
SECTION 5.08 R-3 HIGH DENSITY RESIDENTIAL

## 5.08.05 Height and Lot Requirements:

5.08.05.01 The height and minimum lot requirements shall be follows:

Use	Lot Area (SF)	Lot Width	Front Yard	Side Yard	Rear Yard	Max. Height	Max. Building Coverage
Townhouses/Condominiums <sup>4</sup>	2,500 per unit	25' per unit	30'	10'	30'	35'	40%
Multi-family Dwelling <sup>1</sup>	2,250 per unit	100'	30'	(1)	30'	45'	40%
Other Permitted Uses	8,500	75'	30'	10'	30'	35'	30%
Other Conditional Uses	8,500	75'	30'	10'	30'	45'	30%
Publicly owned and operated facilities <sup>5</sup>	-	-	-	-	-	-	-
Accessory Buildings	-	-	50'	5'	5'	17'	10%

CITY OF LA VISTA ZONING ORDINANCE  
SECTION 5.13 I-1 LIGHT INDUSTRIAL

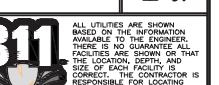
## 5.13.05 Height and Lot Requirements:

5.13.05.01 The height and minimum lot requirements shall be as follows:

Use	Lot Area (SF)	Lot Width <sup>2</sup>	Front Yard	Side Yard	Rear Yard	Max. Height	Max. Lot Coverage
Permitted Uses	10,000	100'	35'	30'	25'	45'	65%
Permitted Conditional Uses	10,000	100'	35'	30'	25'	45'	65%
Accessory Buildings	-	-	70'	10'	10'	25'	20%

<sup>1</sup> 35' front yard setback required only when no parking is present in the front yard. If parking is located in the front yard then front yard setback

<sup>2</sup> Lots created before January 1, 2008 may have a minimum Lot Area of 10,000 square feet and may have less than the minimum 100' front yard width. (Ordinance No. 1053, 1-15-08)



Know what's below.  
Call before you dig.

REVISIONS

DESIGNER / DRAFTER  
ELISE, MOLAK  
DATE  
12-7-2020

PROJECT NUMBER  
0118087-03-004

BOOK AND PAGE  
18087, 1-9

SHEET

1 OF 1

HARRISON HILLS REPLAT 7 (LOTS 1 AND 2)  
SARPY COUNTY, NEBRASKA

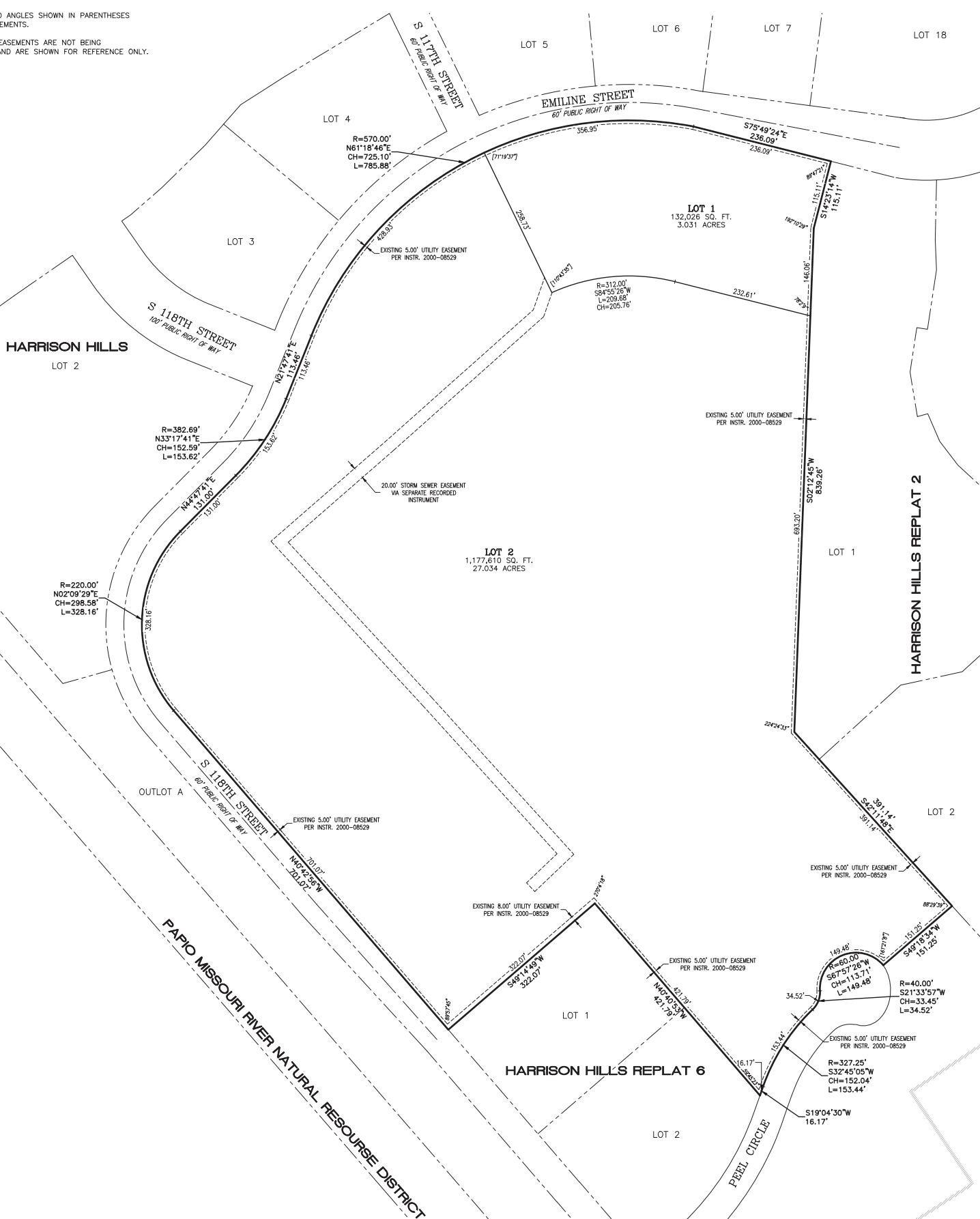
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## HARRISON HILLS REPLAT 7

## LOTS 1 AND 2

BEING A REPLATTING OF LOTS 1 AND 16, HARRISON HILLS, A SUBDIVISION, AS SURVEYED, PLATTED AND RECORDED IN SARPY COUNTY, NEBRASKA



LOCATED IN:  
 NW 1/4 NW 1/4 SEC. 17, T14N, R12E  
 NE 1/4 NW 1/4 SEC. 17, T14N, R12E  
 SW 1/4 NW 1/4 SEC. 17, T14N, R12E  
 SE 1/4 NW 1/4 SEC. 17, T14N, R12E

LEGEND  
 — BOUNDARY LINE  
 - - - EXISTING LOT LINE  
 - - - EASEMENT LINE

## LAND SURVEYOR'S CERTIFICATE

I HEREBY CERTIFY THAT I AM A PROFESSIONAL LAND SURVEYOR, REGISTERED IN COMPLIANCE WITH THE LAWS OF THE STATE OF NEBRASKA, AND THAT THIS PLAT MEETS OR EXCEEDS THE "MINIMUM STANDARDS FOR SURVEYS" ADOPTED BY THE NEBRASKA STATE BOARD OF EXAMINERS FOR LAND SURVEYORS. FURTHER, I HEREBY CERTIFY THAT I HAVE MADE A BOUNDARY SURVEY OF THE SUBDIVISION DESCRIBED HEREON AND THAT PERMANENT MARKERS WILL BE SET AT ALL LOT CORNERS, ANGLE POINTS AND AT THE ENDS OF ALL CURVES WITHIN THE SUBDIVISION TO BE KNOWN AS HARRISON HILLS REPLAT 7, LOTS 1 AND 2, BEING A REPLATTING OF LOTS 1 AND 16, HARRISON HILLS, A SUBDIVISION, AS SURVEYED, PLATTED AND RECORDED IN SARPY COUNTY, NEBRASKA.

CONTAINING 30.065 ACRES MORE OR LESS.

WILLIAM E. KNIGHT, R.L.S. 566

DATE



## DEDICATION

KNOW ALL PERSONS BY THESE PRESENTS: THAT WE, STRECK INC., A NEBRASKA CORPORATION, OWNERS OF THE LAND DESCRIBED IN THE LAND SURVEYOR'S CERTIFICATE AND EMBRACED WITHIN THIS PLAT, HAVE CAUSED SAID LAND TO BE SUBDIVIDED INTO LOTS TO BE NUMBERED AS SHOWN HEREON, SAID SUBDIVISION TO BE HERAFTER KNOWN AS HARRISON HILLS REPLAT 7, LOTS 1 AND 2; DO HEREBY RATIFY AND APPROVE THE DISPOSITION OF OUR PROPERTY AS SHOWN ON THIS PLAT; AND DO HEREBY GRANT THE EASEMENTS AS SHOWN HEREON, WE DO HEREBY GRANT TO THE GRANTEE, THEIR SUCCESSION AND ASSIGNS, AND THEIR REPRESENTATIVE OFFICERS, AGENTS, EMPLOYEES, AND CONTRACTORS, THE PERMANENT RIGHT TO ENTER UPON, FROM TIME TO TIME, THE EASEMENT AREAS, SHOWN HEREON FOR THE TRANSMISSION OF POWER, GAS, WATER, SIGNALS, AND TELECOMMUNICATIONS, INSPECTION, OPERATION, MAINTENANCE, REPLACEMENT, AND REPAIR OF FACILITIES; PROVIDED, HOWEVER, THERE IS RESERVED TO THE GRANTOR, AND TO THE GRANTOR'S HEIRS, SUCCESSIONS AND ASSIGNS, THE RIGHT TO USE THE EASEMENT AREA. THIS GRANT OF ANY EASEMENT SHOWN HEREON SHALL NOT PASS, NOR BE CONSTRUED TO PASS, TO THE GRANTEE IN FEE SIMPLE INTEREST OR TITLE OF THE EASEMENT AREAS. ANY VARIANCE OR RELEASE TO THE RIGHTS GRANTED HEREIN MUST BE APPROVED BY THE GRANTEE IN WRITTEN FORM.

## GRANTS OF EASEMENTS

## FOR POWER AND COMMUNICATIONS

PERPETUAL EASEMENTS SHALL BE GRANTED TO THE OMAHA PUBLIC POWER DISTRICT AND ANY TELECOMMUNICATIONS ENTITY OR OTHER CORPORATION TRANSMITTING COMMUNICATION SIGNALS AUTHORIZED TO USE THE CITY STREETS, TO ERECT, OPERATE, MAINTAIN, REPAIR AND RENEW POLES, WIRES, CABLES, CONDUITS, AND OTHER RELATED FACILITIES, AND TO EXTEND THEREON WIRES OR CABLES FOR THE CARRYING OR TRANSMISSION OF ELECTRIC CURRENT FOR LIGHT, HEAT AND POWER AND FOR THE TRANSMISSION OF SIGNALS AND SOONER OR LATER, HEDGES, FENCE, OR OTHER OBSTRUCTIONS ON THE FIVE-FOOT-WIDE STRIP OF LAND ABUTTING THE FRONT AND SIDE BOUNDARIES OF LOTS 1 AND 2, AND AN EIGHT-FOOT-WIDE STRIP OF LAND ABUTTING THE REAR BOUNDARY LINES OF ALL INTERIOR LOTS. NO PERMANENT BUILDINGS OR RETAINING WALLS SHALL BE PLACED IN THE SAID EASEMENT WAYS, BUT THE SAME MAY BE USED FOR GARDENS, SHRUBS, LANDSCAPING AND OTHER PURPOSES THAT DO NOT THEN OR LATER INTERFERE WITH THE AFORESAID USES OR RIGHTS HEREIN GRANTED.

## FOR WATER AND GAS

PERPETUAL EASEMENTS SHALL BE GRANTED TO METROPOLITAN UTILITIES DISTRICT OF OMAHA, AND ANY NATURAL GAS PROVIDER, AND THEIR SUCCESSORS AND ASSIGNS, TO ERECT, INSTALL, OPERATE, MAINTAIN, REPAIR AND RENEW PIPELINES, HYDRANTS, AND OTHER RELATED FACILITIES, AND TO EXTEND THEREON PIPES FOR THE TRANSMISSION OF GAS AND WATER ON, THROUGH, UNDER AND ACROSS A FIVE-FOOT-WIDE STRIP OF LAND ABUTTING ALL STREET FRONTAGES OF ALL LOTS. NO PERMANENT BUILDINGS OR RETAINING WALLS SHALL BE PLACED IN THE SAID EASEMENT WAYS, BUT THE SAME MAY BE USED FOR GARDENS, SHRUBS, LANDSCAPING AND OTHER PURPOSES THAT DO NOT THEN OR LATER INTERFERE WITH THE AFORESAID USES OR RIGHTS HEREIN GRANTED.

STRECK INC., A NEBRASKA CORPORATION, OWNER

CONSTANCE RYAN

(PRINTED TITLE)  
ACKNOWLEDGEMENT OF NOTARY

STATE OF NEBRASKA )  
) SS

COUNTY OF \_\_\_\_\_)

THE FOREGOING INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS

\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_

BY CONSTANCE RYAN, (PRINTED TITLE) OF

STRECK INC., A NEBRASKA CORPORATION, ON BEHALF OF THE CORPORATION.

SIGNATURE OF NOTARY PUBLIC

## SARPY COUNTY TREASURER'S CERTIFICATE

THIS IS TO CERTIFY THAT I FIND NO REGULAR NOR SPECIAL TAXES DUE OR DELINQUENT AGAINST THE PROPERTY DESCRIBED IN THE LAND SURVEYOR'S CERTIFICATE AND EMBRACED IN THIS PLAT, AS SHOWN BY THE RECORDS OF THIS OFFICE, THIS

\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_

SARPY COUNTY TREASURER

## APPROVAL OF THE CITY OF LA VISTA PLANNING COMMISSION

THIS PLAT OF HARRISON HILLS REPLAT 7, LOTS 1 AND 2 WAS APPROVED BY THE LA VISTA PLANNING COMMISSION THIS

\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_

CHAIRPERSON, LA VISTA PLANNING COMMISSION

## ACCEPTANCE BY LA VISTA CITY COUNCIL

THIS PLAT OF WOODHOUSE PLACE, LOTS 1 AND 2 WAS APPROVED BY THE CITY COUNCIL OF THE CITY OF LA VISTA, NEBRASKA ON THIS

\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_

IN ACCORDANCE WITH THE STATE STATUTES OF NEBRASKA.

DOUGLAS KINDIG, MAYOR  
ATTEST:

PAM BUETHE, CITY CLERK

**LAMP  
RYNEARSON**

14710 W. DODGE RD, STE. 100  
OMAHA, NE 68154  
402.496.2498  
LampRynearson.com

FINAL  
PLAT

HARRISON HILLS REPLAT 7 (LOTS 1 AND 2)  
SARPY COUNTY, NEBRASKA



Know what's below.  
Call before you dig.

REVISIONS

DESIGNER / DRAFTER

ELISE MOLLAK

DATE

12-7-2020

PROJECT NUMBER

0118087.03-004

BOOK AND PAGE

18087, 1-9

SHEET

1 OF 1

## **AGENDA ITEM 4D**

**Planned Unit Development Site Plan—Lots 1 & 16**  
**Harrison Hills—Streck, Inc.**



**CITY OF LA VISTA  
PLANNING DIVISION  
RECOMMENDATION REPORT**

CASE NUMBERS: PPUD20-0004;

FOR HEARING OF: FEBRUARY 18, 2021  
REPORT PREPARED ON: FEBRUARY 9, 2021

**I. GENERAL INFORMATION**

**A. APPLICANT:**

Streck, Inc.  
7002 S 109<sup>th</sup> Street  
La Vista, NE 68128

**B. PROPERTY OWNER:**

Streck, Inc.  
7002 S 109<sup>th</sup> Street  
La Vista, NE 68128

**C. LOCATION:** 11725 S 118<sup>th</sup> Street; Generally located south of the intersection of S. 117<sup>th</sup> Street and Emiline Street.

**D. LEGAL DESCRIPTION:** Lot 1 Harrison Hills (to be replatted as Lot 1 Harrison Hills Replat 7).

**E. REQUESTED ACTION(S):** Approval of a revised PUD Site Plan to allow for the construction and operation of a multi-family housing development on the proposed Lot 1 Harrison Hills Replat 7.

**F. EXISTING ZONING AND LAND USE:** R-3 – High-Density Residential, Gateway Corridor District (Overlay District), and Planned Unit Development; The site is currently vacant.

**G. PURPOSE OF REQUEST:** Amend the existing PUD Site Plan to allow for the development of an 84-unit multi-family housing (apartments) development.

**H. SIZE OF SITE:** Approximately 3.03 acres.

**II. BACKGROUND INFORMATION**

**A. EXISTING CONDITION OF SITE:** The property slopes gradually downward to the south and to the west;

## B. GENERAL NEIGHBORHOOD/AREA LAND USES AND ZONING:

<u>Direction From Subject Property</u>	<u>Future Land Use Designation</u>	<u>Current Zoning Designation</u>	<u>Surrounding Development</u>
North	Commercial	C-3 Highway Commercial/Office Park District, Gateway Corridor District (Overlay District)	Vacant properties, Casey's under development, Restaurant Depot
East	High-Density Residential	R-3 High-Density Residential	Harrison Hills Apartments
South	Industrial	I-1 Light-Industrial	Stepper-ettes Dance, SalonCentric
West	Parks and Recreation	TA – Transitional Agriculture, Gateway Corridor District (Overlay District)	Vacant property, old sod farm property

## C. RELEVANT CASE HISTORY:

1. A Planned Unit Development Site Plan was approved by Council on November 5, 2019 for Lots 1 and 16 Harrison Hills to prepare for the development of Streck, Inc.'s new facility.
2. Phase 1 of construction for Streck, Inc.'s new facility is nearing completion.
3. The subject property was rezoned to R-3 High Density Residential with PUD District and Gateway Corridor District overlays on December 15, 2020.

## D. APPLICABLE REGULATIONS:

1. Section 5.08 of the Zoning Regulations – R-3 High Density Residential.
2. Section 5.15 of the Zoning Regulations – PUD Planned Unit Development District (Overlay District).
3. Section 5.17 of the Zoning Regulations – Gateway Corridor District (Overlay District).

## III. ANALYSIS

### A. COMPREHENSIVE PLAN:

1. This proposal directly supports Policy Work-3.3 of the La Vista Comprehensive Plan: "Support the development of new live/work units in areas adjacent to large-scale employment areas" related to Goal Work-3: "Create a dynamic urban environment that is the preferred location for innovative, creative businesses and emerging industries". Streck, Inc. is one of La Vista's largest employers, and the development of housing adjacent to their facility will aid in their ability to provide

affordable housing for their employees and recruit quality employees from elsewhere to live in La Vista.

2. The Future Land Use Map of the Comprehensive Plan currently designates this property for a high-density residential use. This use allows for the development of the proposed multi-family development.
3. This proposal is compatible with surrounding land-use patterns, as directly to the east are Lots 1-4 Harrison Hills Replat 2 which contain the Harrison Hills Apartments. These four lots are designated as High-Density Residential in the Future Land Use Map, and are zoned R-3 High-Density Residential with a Gateway Corridor District overlay.

**B. OTHER PLANS: N/A.**

**C. TRAFFIC AND ACCESS:**

1. Access to this property would be through Emilie Street, which connects to the arterial Harrison Street through intersections at 115<sup>th</sup>, 117<sup>th</sup>, and 118<sup>th</sup> Street. These streets have sufficient capacity to handle the traffic demands of multifamily residential development.
2. A draft traffic memo has been submitted to the City that analyzes impacts to the traffic signals on Harrison Street. The memo has been forwarded to the City of Omaha for their review as the impacted traffic signal on Harrison Street is under the jurisdiction of Omaha.

**D. UTILITIES:**

1. The property has access to sanitary sewer, water, gas, power, and communication utilities.

**E. PARKING REQUIREMENTS:**

1. All developments will need to meet the minimum parking requirements of the underlying zoning district, unless as modified by the PUD site plan and ordinance for this area as amended.

**F. LANDSCAPING:**

1. The landscaping for any developments on this site will need to comply with the requirements of the Zoning Ordinance and of the Gateway Corridor Design Guidelines. Review letters from the City's Design Review Architect regarding the proposed landscaping plan are included for review.

**IV. REVIEW COMMENTS:**

- A. Applicant is requesting an allowance for the required site area per unit requirement to be reduced to 1,500 square feet. This would be a reduction from the requirement stated in Section 5.08.05 of the Zoning Ordinance of 2,250 square feet per unit. The applicant has

supplied a justification letter, attached to this report, that states that the higher density makes affordable housing more economically feasible.

- B. Applicant is requesting an allowance for 0.45 garaged parking spaces per housing unit. This would be a reduction from the requirement stated in Section 7.05.08 of the Zoning Ordinance of 0.50 garaged spaces per unit for multi-family developments. As with the higher proposed density, a reduction in the amount of garages helps the affordability of the proposed housing development.
- C. The design of each building is being reviewed through the City's Architectural Design Review process, and must be substantially complete prior to execution and recording of this Conditional Use Permit and issuance of any building permits. The architectural elevations (Exhibit F) of the attached Conditional Use Permit are conceptual and may change as a result of the Design Review process.
- D. Any traffic signal improvements required by the City of Omaha must be completed prior to the issuance of a Certificate of Occupancy and is addressed through the Subdivision Agreement as part of the Final Plat process.
- E. In addition to the approval of a revised PUD Site Plan and prior to development, the applicant will be required to receive approval of the Conditional Use Permit as well as Harrison Hills Replat 7 and related subdivision agreement. The applicant will also be required to complete the design review process prior to commencement of development of the property.
- F. The east drive to Lot 2, that aligns with 117<sup>th</sup> Street, appears to encroach into Lot 1, from the return near the SW corner of Lot 1 to the return at the NW corner of Lot 1. This will need to be addressed by an easement, realignment of the drive, and/or redrawing of the lot lines with adjustments finalized prior to City Council review.
- G. The return for the driveway apron of the east access of Lot 1 extends past the projected lot line of the adjacent property. Applicant will need to provide written correspondence from the adjacent property owner that there is no objection to the driveway apron protruding past the projected lot line prior to the issuance of a building permit.
- H. Existing development on adjacent properties within 200 feet needs to be shown. Most structures have been added, however the structures on Lot 3 Harrison Hills and Lot 1 Harrison Hills Replat 6 are not represented. This will need to be corrected prior to City Council review.

**V. STAFF RECOMMENDATION – PLANNED UNIT DEVELOPMENT SITE PLAN AMENDMENT:**

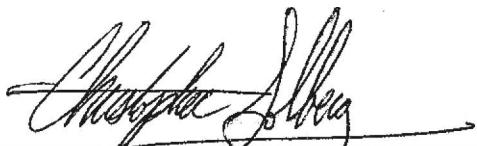
Staff recommends approval of the Planned Unit Development Site Plan Amendment for Lots 1 and 2 Harrison Hills Replat 7 with allowances for a reduction of the required garage stalls per unit and a reduction in the required site square footage per unit, contingent on the resolution of the issues mentioned in this staff report, as the request is consistent with the Comprehensive Plan and the Zoning Ordinance.

**VI. ATTACHMENTS TO REPORT:**

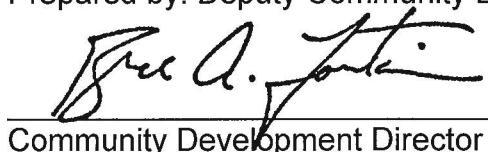
- A. Vicinity Map
- B. Staff Review Letters
- C. Density Justification Letter
- D. Draft PUD Site Plan set

**VII. COPIES OF REPORT SENT TO:**

- A. Constance Ryan, Streck, Inc.
- B. Caleb Snyder, Lamp Rynearson
- C. Zach Reinhardt, Burlington Capital
- D. Public Upon Request



Prepared by: Deputy Community Development Director



2-11-21

Community Development Director

Date



December 23, 2020

Zach Reinhardt  
Burlington Capital  
1004 Farnam St. Ste 400  
Omaha, NE 68102

RE: Planned Unit Development Amendment – Initial Review Letter  
Lot 1 Harrison Hills

Mr. Reinhardt,

We have reviewed the documents submitted for the above-referenced application. Based on the elements for consideration set forth in the applicable sections of the Zoning Ordinance, the City has the following comments:

1. Section 5.15.03 – The zoning listed on the PUD Site Plan needs to be corrected to include the correct spelling of the Gateway Corridor District (Overlay District).
2. Section 5.15.04.01 – Please submit a schedule for construction consistent with the requirements of this section. The phasing exhibit should clearly show the existing infrastructure and buildings as well as show the proposed phasing.

Please clarify when the overall development will abide with Section 7.17.03.07 of the Zoning Ordinance (as per the previously approved PUD Landscaping Plan) regarding perimeter landscaping, as well as Section 5.15.04.15 (also as per the previously approved PUD plan set) regarding the construction of sidewalks.

3. Section 5.15.04.01 – Development fees paid at the time of the building permit are subject to the fee schedule at that time the application is submitted. The current Watershed Management fee per Exhibit G of the 2019 Papillion Creek Watershed Partnership Interlocal is \$4,197 per acre for multifamily zoning and \$5,087 per acre for commercial/industrial zoning.
4. Section 5.15.04.02 – If the City of Omaha requires improvements per the amended traffic study, assurances will need to be made to ensure improvements are completed.

**City Hall**  
8116 Park View Blvd.  
La Vista, NE 68128-2198  
402.331.4343 P  
402.331.4375 F

**Community Development**  
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**Library**  
9110 Giles Rd.  
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**Public Works**  
9900 Portal Rd.  
402.331.8927 P  
402.331.1051 F

**Recreation**  
8116 Park View Blvd.  
402.331.3455 P  
402.331.0299 F

5. Section 5.15.04.06 - The site plans also do not depict a dumpster enclosure. Please advise as to the handling of refuse for the multi-family complex site. Proposed trash enclosure locations need to be detailed and/or relocated as to ensure appropriate screening and/or location. Note that enclosures must abide by Section 7.17.04.03 of the Zoning Ordinance and the Gateway Corridor District Design Guidelines in regards to design and construction.
6. Section 5.15.04.07 – Item G of the Site Regulators section of the PUD Site Exhibit should state the 0.45 Garages Per Unit requested, not state a “waiver” request. This allowance request will be discussed within the staff reports.

The layout of the existing west parking lot should be modified to depict the proposed layout at buildout, not the existing as approved through the original PUD Site Plan. Hence the parking stalls should be removed from the two entrance points, the gap in the curb line at the south end closed up, and the overall parking stall count adjusted accordingly.

7. Section 5.15.04.07 and Section 5.15.05.02.6 – Parking stall requirements need to state the number of bedrooms for the development as to ensure an adequate number of stalls has been provided.
8. Section 5.15.04.07 – Parking stall counts for the future buildout of the project should be reviewed for accuracy. There does not appear to be any ADA accessible stalls proposed on Lot 1, unless they are included in the enclosed parking under the north building. PUD may need to address any shared parking considerations and/or location of all ADA parking stalls. Enclosed parking is not dimensioned. Please ensure that the parking stall and alley geometry is adequate.
9. Section 5.15.04.10 – A table, drawing and/or calculation of net developable area needs to be included to ensure this requirement for maximum building coverage is met.
10. Section 5.15.04.11 – A table, drawing and/or calculation of net developable area needs to be included to ensure this requirement for common open space is met.
11. Section 5.15.04.15 and 5.15.05.02.4 – The sidewalk along the entry drive coming off of the 117<sup>th</sup> Street and Emeline Street intersection needs to continue south to connect to the sidewalks laid out for the rest of the development.
12. Section 5.15.04.17-20 - The overall site and landscaping plans have been reviewed by the City's Design Review Architect. Please see the attached design review letter and let us know if you have any questions regarding the requested revisions. The design review process for these plans needs to be substantially complete prior to proceeding through the City Council approval process.

Separate design review processes will be required for each building phase at the time of development for the properties involved. Building and landscaping design for each phase will be reviewed in relation to each specific building/addition.

In addition to the Design Review Architect's comments, staff has noted possible site issues with the proposed Halika Honeylocusts in the islands in the southeast corner of the multi-family complex. Even with regular pruning, at full growth these trees may impair the movement of emergency vehicles through the site as depicted in the Emergency Vehicle Exhibit. Recommend the use of understory trees in these two islands instead.

13. Section 5.15.04.21- Exterior lighting needs to be shown as to ensure there are no adverse impacts to the adjacent multi-family residential units. Please submit a detailed photometric plan to support this requirement.

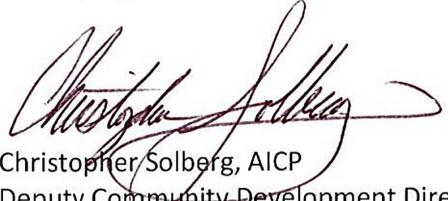
No pole-based site lighting has been depicted in the PUD plan set. Any pole-based lighting needs to abide by the Gateway Corridor District Design Guidelines. See the Guideline for the parking lot light fixture and pole required for developments within the Gateway Corridor District.

14. Section 5.15.05.12 – If it is contemplated to use common area maintenance for the Post Construction Stormwater Management Plan BMPs, provisions as to the ownership and maintenance will be required.
15. Section 5.15.05.02.1 – Elevations and contours do not appear to represent the site in its current condition. Drawings should be updated as to show the current topography of the site.
16. Section 5.15.05.02.2 – Confirm size and height of proposed structures is included in the PUD submittal.
17. Section 5.15.05.02.6 – Areas set aside for recreation needs to be shown/noted.
18. Section 5.15.05.02.11 – Existing development on adjacent properties within 200 feet needs to be shown.
19. Section 5.15.05.03.2 – Density of dwelling units needs to be stated with the PUD submittal.
20. Section 5.15.05.04 – The Post Construction Stormwater Management Plan, drainage report, and proposed drainage improvements will need to be updated to ensure the increase in impervious area is accounted for. Drainage improvements as proposed should be differentiated on plans from what is existing as to what is proposed as to show what modifications to the existing storm sewer are contemplated.
21. Section 5.15.05.02, Subsection 2 - Height of each proposed structure needs to be addressed within the PUD plan.

Please submit 4 full size revised copies of the PUD plans and related documents (along with electronic copies) to the City for further review. A timeline for review by the Planning Commission and City Council will be determined based on the timing of the resubmittal and the extent to which the issues noted this review have been sufficiently addressed.

If you have any questions regarding these comments, please feel free to contact me at any time.

Thank you,



Christopher Solberg, AICP  
Deputy Community Development Director

cc:

Caleb Snyder, Lamp Rynearson  
Constance Ryan, Streck Inc.  
Bruce Fountain, Community Development Director – City of La Vista  
Pat Dowse, City Engineer – City of La Vista

Enclosure

VIA Email

January 25, 2021

14710 W. Dodge Rd., Ste. 100  
Omaha, NE 68154  
[P] 402.496.2498  
[F] 402.496.2730  
LampRynearson.com

Mr. Christopher Solberg, AICP  
City of La Vista  
Senior Planner  
8116 Park View Blvd  
La Vista, NE 68128

Reference:                   Streck, Inc. – Harrison Hills  
                                  Planned Unit Development Amendment Submittal Comments  
                                  Project No.: 0118087.06-003

Dear Mr. Solberg:

Submitted herewith are our responses to the comments included in the City of La Vista's Harrison Hills, Lot 1, initial review letter dated December 23, 2020 and the Schemmer PUD Landscaping Amendment review letter dated December 21, 2020, regarding the Streck, Inc. – Harrison Hills Planned Unit Development Amendment submittal.

**Review Comments:**

1. Section 5.15.03 – The zoning listed on the PUD Site Plan needs to be corrected to include the correct spelling of the Gateway Corridor District (Overlay District).

**Response:** This has been completed as requested.

2. Section 5.15.04.01 – Please submit a schedule for construction consistent with the requirements of this section. The phasing exhibit should clearly show the existing infrastructure and buildings as well as the proposed phasing.

Please clarify when the overall development will abide with Section 7.17.03.07 of the Zoning Ordinance (as per the previously approved PUD Landscaping Plan) regarding perimeter landscaping, as well as Section 5.15.04.15 (also as per the previously approved PUD plan set) regarding the construction of sidewalks.

**Response:** A proposed schedule for the Streck Housing schedule has been provided with this submittal. This schedule shows when the improvements associated with the Streck Housing project will be complete. The timing of the future phases, outside of the housing project, is still unknown. As future phases come online the applicant will continue to coordinate with the city on future phases timing.

3. Section 5.15.04.01 – Development fees paid at the time of the building permit are subject to the fee schedule at that time the application is submitted. The current Watershed Management fee per Exhibit G of

the 2019 Papillion Creek Watershed Partnership Interlocal is \$4,197 per acre for multifamily zoning and \$5,087 per acre for commercial/industrial zoning.

**Response:** This has been updated as requested.

4. Section 5.15.04.02 – If the City of Omaha requires improvements per the amended traffic study, assurances will need to be made to ensure improvements are completed.

**Response:** Agreed. If required these improvements can be detailed in the subdivision agreement.

5. Section 5.15.04.06 – The site plans also do not depict a dumpster enclosure. Please advise as to the handling of refuse for the multi-family complex site. Proposed trash enclosure locations need to be detailed and/or relocated as to ensure appropriate screening and/or location. Note that enclosures must abide by Section 7.17.04.03 of the Zoning Ordinance and the Gateway Corridor District Design Guidelines in regards to design and construction.

**Response:** The proposed dumpster enclosures have been labeled on the site plan. Both dumpsters have proposed landscaping screening. Enclosures will abide by Section 7.17.04.03 and the Gateway Corridor District Design Guidelines in regards to design and construction.

6. Section 5.15.04.07 – Item G of the Site Regulators section of the PUD Site Exhibit should state the 0.45 Garages Per Unit requested, not state a “waiver” request. This allowance request will be discussed within the staff reports.

The layout of the existing west parking lot should be modified to depict the proposed layout at buildout, not the existing as approved through the original PUD Site Plan. Hence the parking stalls should be removed from the two entrance points, the gap in the curb line at the south end closed up, and the overall parking stall count adjusted accordingly.

**Response:** This has been completed as requested.

7. Section 5.15.04.07 and Section 5.15.02.6 – Parking stall requirements need to state the number of bedrooms for the development as to ensure an adequate number of stalls has been provided.

**Response:** This has been completed as requested.

8. Section 5.15.04.07 – parking stall counts for the future buildout of the project should be reviewed for accuracy. There does not appear to be any ADA accessible stalls proposed on Lot 1, unless they are included in the enclosed parking under the north building. PUD may need to address any shared parking considerations and/or location of all ADA parking stalls. Enclosed parking is not dimensioned. Please ensure that the parking stall and alley geometry is adequate.

**Response:** This has been completed as requested.

9. Section 5.15.04.10 – A table, drawing and/or calculation of net developable area needs to be included to ensure this requirement for maximum building coverage is met.

**Response:** This has been completed as requested.

10. Section 5.15.04.11 – A table, drawing and/or calculation of net developable area needs to be included to ensure this requirement for common open space is met.

**Response:** This has been completed as requested.

11. Section 5.15.04.15 and 5.15.05.02.4 – The sidewalk along the entry drive coming off of the 117<sup>th</sup> Street and Emeline Street intersection needs to continue south to connect to the sidewalks laid out for the rest of the development.

**Response:** This has been completed as requested.

12. Section 5.15.04.17-20 – The overall site and landscaping plans have been reviewed by the City's Design Review Architect. Please see the attached design review letter and let us know if you have any questions regarding the requested revisions. The design review process for these plans needs to be substantially complete prior to proceeding through the City Council approval process.

Separate design review processes will be required for each building phase at the time of development for the properties involved. Building and landscaping design for each phase will be reviewed in relation to each specific building/addition.

In addition to the Design Review Architect's comments, staff has noted possible site issues with the proposed Halika Honeylocusts in the islands in the southeast corner of the multi-family complex. Even with regular pruning, at full growth these trees may impair the movement of emergency vehicles through the site as depicted in the Emergency Vehicle Exhibit. Recommend the use of understory trees in these two islands instead.

**Response:** The noted tree selection has been revised to the use of understory trees.

13. Section 5.15.04.21 – Exterior lighting needs to be shown as to ensure there are no adverse impacts to the adjacent multi-family residential units. Please submit a detailed photometric plan to support this requirement.

No pole-based site lighting has been depicted in the PUD plan set. Any pole-based lighting needs to abide by the Gateway Corridor District Design Guidelines. See the Guideline for the parking lot light fixture and pole required for developments within the Gateway Corridor District.

**Response:** A site photometric plan has been provided as requested. All pole-based lighting will abide by the Gateway Corridor District Design Guidelines.

14. Section 5.15.05.12 – If it is contemplated to use common area maintenance for the Post Construction Stormwater Management Plan BMPs, provisions as to the ownership and maintenance will be required.

**Response:** The maintenance of the dry detention basin will be outlined in the subdivision agreement.

15. Section 5.15.05.02.01 – Elevations and contours do not appear to represent the site in its current condition. Drawings should be updated as to show the current topography of the site.

**Response:** This has been updated.

16. Section 5.15.05.02.2 – Confirm size and height of proposed structures is included in the PUD submittal.

**Response:** Because the future buildings design is still schematic in nature, exact heights are unknown. However, we are proposing that building heights will conform to the base zoning district's maximum height requirements.

17. Section 5.15.05.02.6 – Areas set aside for recreation needs to be shown/noted.

**Response:** This has been added as requested.

18. Section 5.15.05.02.11 – Existing development on adjacent properties within 200 feet needs to be shown.

**Response:** This has been added as requested.

19. Section 5.15.05.03.2 – Density of dwelling units needs to be stated with the PUD submittal.

**Response:** This has been added as requested.

20. Section 5.15.05.04 – The Post Construction Stormwater Management Plan, drainage report, and proposed drainage improvements will need to be updated to ensure the increased in impervious area is accounted for. Drainage improvements as proposed should be differentiated on plans from what is existing as to what is proposed as to show what modifications to the existing storm sewer are contemplated.

**Response:** This has been added as requested.

21. Section 5.15.05.02, Subsection 2 – Height of each proposed structure needs to be addressed within the PUD plan.

**Response:** Building heights will follow the base zoning districts maximum allowable height. This has been noted in the site regulator table.

## Schemmeyer Design Review #1 Comments

### Drawings

#### 1. Planned Unit Development Landscape Exhibit:

- a. Landscape shall be designed to provide natural undulating landscape forms. Avoid consistent straight-line plantings. See Section 4, III, F. The line between irrigated turf and native grasses is very straight at the back of the relocated parking on the west side of the future office. Consider an undulating form.

**Response:** Mulched planting bed area has been widened to allow for shrubs to have an undulating form between the back of curb and irrigated lawn area. The line separating the native grasses from the irrigated turf lawn has also been revised to include an undulating form.

- b. Irrigation of all landscape elements and turf areas is required. See Section 4, III, G. More information is required regarding the area indicated as "Non-Irrigated Native Grasses and Forbs." This area should have a consistent appearance to the turf areas and be irrigated.

**Response:** The non-irrigated native grass area is intended to be low maintenance and is in an area which contains the proposed drainage swale. Use of the native grasses is intended to provide a vegetative and aesthetic buffer between street and parking lot, as well as reduce the amount of irrigation/water usage onsite. The native grass mix will be similar to the low grass mix per United Seeds Inc. including the following plants: sideoats grama, blue grama, hard fine fescue, sheep fine fescue, blue fine fescue, little bluestem.

- c. Screening of service yards, mechanical, electrical, phone equipment and pedestals and other places that tend to be unsightly is required. Screening shall be equally effective in winter and summer. See Section 4, III, I. The equipment to the east of the Future 2-story industrial building is not screened. This area was reviewed as part of the Design Review for Building #1. Please update the landscape plan to reflect the approved landscaping in this area.

**Response:** The building layout is slightly different from phase 1 and this area will be landscaped as requested.

#### 2. Planting Plan:

- a. Landscape shall be designed to provide natural undulating landscape forms. Avoid consistent straight-line plantings. See Section 4, III, F. Plantings around the west driveway off Emilie St and between the parking and buildings are shown in straight lines. Consider undulating forms and massings.

**Response:** Landscaping has been revised to implement undulating forms and massings as requested.

b. Screening of service yards, mechanical, electrical, phone equipment and pedestals and other places that tend to be unsightly is required and may be accomplished with plantings. See Section 4, III, I. Please indicate if screening of trash enclosures is to be included in landscape review.

**Response:** Trash enclosures will be screened by means of architectural masonry wall/gate and shrubs/trees.

Four (4) copies of each of the following documents are included with this submittal:

1. Planned Unit Development P.U.D. Site Plan Exhibit;
2. Planned Unit Development P.U.D. Phasing Exhibit;
3. Planned Unit Development P.U.D. Emergency Vehicle Access Exhibit;
4. Planned Unit Development P.U.D. Landscape Plan Overall;
5. Planned Unit Development P.U.D. Housing Phase Landscape Plan;
6. Planned Unit Development P.U.D. Post Construction Stormwater Management Plan;
7. Planned Unit Development P.U.D. Grading Plan;
8. Planned Unit Development P.U.D. Utility Plan;
9. Site Lighting Exhibit; and
10. Streck Housing Schedule of Proposed Construction.

Please call if you have any questions or concerns regarding this submittal.

Sincerely;

LAMP RYNEARSON, INC.



Caleb M. Snyder, P.E.  
Project Manager

Enclosures

c: John Noble, Streck, Inc.  
Zach Reinhardt, Burlington Capital  
Tom Zuk, Holland Basham Architects  
David Warner, Holland Basham Architects



February 8, 2021

Zach Reinhardt  
Burlington Capital  
1004 Farnam St. Ste 400  
Omaha, NE 68102

RE: Planned Unit Development Amendment – 2nd Review Letter  
Lot 1 Harrison Hills

Mr. Reinhardt,

We have reviewed the documents submitted for the above-referenced application. Based on the elements for consideration set forth in the applicable sections of the Zoning Ordinance, the City has the following comments:

1. Section 5.15.04.01 – The responses from the applicant appear to infer that the design schedule may be lagging what is represented in the submittal. However, the project timeline for the apartment phase may still be within reason. As with many schedules that are submitted for other projects, the timeframe of future phases appears to be unknown at this time, therefore the applicant will need to stay mindful of expiration dates of the PUD, and any consequences that may arise from a PUD expiring. If you see a need for the applicant to revise their schedule based upon their comments in regard to the status of design, that's fine, but it would not appear that any perceived lag would be of a detriment to the project timeline as submitted.
2. Section 5.15.04.03 - In further review of the resubmittal, the east drive to Lot 2, that aligns with 117<sup>th</sup> Street, appears to encroach into Lot 1, from the return near the SW corner of Lot 1 to the return at the NW corner of Lot 1. This will need to be addressed by an easement, realignment of the drive, and/or redrawing of the lot lines.

Also, the return for the driveway apron of the east access of Lot 1 extends past the projected lot line of the adjacent property. Applicant will need to get written correspondence from the adjacent property owner that there is no objection to the driveway apron protruding past the projected lot line prior to issuance of a building permit.

3. Section 5.15.04.17-20 - The revised overall site and landscaping plans have been reviewed by the City's Design Review Architect. Please see the attached design review letter and let us know if you

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**Recreation**

8116 Park View Blvd.  
402.331.3455 P  
402.331.0299 F

have any questions regarding the requested revisions. The design review process for these plans needs to be substantially complete prior to proceeding through the City Council approval process.

4. Section 5.15.04.21- The photometric plan provided with the latest submittal is currently under review. Any issues with the photometric plan will be conveyed for review and adjustment prior to City Council review of the application.
5. Section 5.15.05.02.11 – Existing development on adjacent properties within 200 feet needs to be shown. Most structures have been added, however the structures on Lot 3 Harrison Hills and Lot 1 Harrison Hills Replat 6 are still not represented.
6. Section 5.15.05.03.2 – With 84 units proposed to be constructed in a 3.03 acre lot, the per unit density is calculated as one unit per 1,571 square feet. This is below the 2,250 square foot per unit minimum requirement for multifamily developments in the R-3 High Density Residential Zoning District. Please provide written justification in the form of a separate letter regarding the justification for the development of this multifamily development at this density.

Other than the issues stated within this letter and the attached letter from the Design Review Architect, staff is in approval of the PUD Plan Set and have added the application to the February 18<sup>th</sup> Planning Commission meeting agenda.

Please forward to the City 15 copies of the PUD Plan Set, along with an electronic copy, by close of business on Wednesday, February 10, 2021 for compilation of Planning Commission packets.

The Planning Commission meeting will be held on Thursday, February 18<sup>th</sup>, 2021 at 6:30pm in the Council Chambers at La Vista City Hall located at 8116 Park View Blvd. Please have someone in attendance to present the application and to answer any questions the Planning Commission may have. For those in attendance, we ask that they adhere to the City of La Vista mask mandate and other general social distancing norms in relation to the current pandemic.

If you have any questions regarding these comments, please feel free to contact me at any time.

Thank you,



Christopher Solberg, AICP  
Deputy Community Development Director

cc:

Caleb Snyder, Lamp Rynearson  
Constance Ryan, Streck Inc.  
Bruce Fountain, Community Development Director – City of La Vista  
Pat Dowse, City Engineer – City of La Vista

Enclosure

December 21, 2020

Mr. Chris Solberg  
City of La Vista  
8116 Park View Blvd  
La Vista, NE 68128

RE: Streck, Inc, Harrison Hills Facility, PUD Landscaping Amendment - Design Review #1

Dear Chris:

This letter shall provide recommendations and/or corrections pertaining to the landscape design for the applicant's PUD amendment submittal package dated December 7, 2020. For tracking purposes, I have noted deficiencies in the submittal package, and where appropriate, the corresponding requirements outlined in the Gateway Corridor Design Guidelines.

**General:**

1. The following items were submitted for review:
  - a. Planned Unit Development Landscape Exhibit.
  - b. Planting Plan.
2. It is understood that building shapes and designs are schematic and often preliminary for PUD applications. As such, a separate landscape plan shall be submitted as part of the Building Design Review Process to ensure full compliance and review of landscaping requirements associated with building elements. These would include but are not limited to required plantings adjacent to the base of buildings, plantings for screening, etc.

**Drawings:**

1. Planned Unit Development Landscape Exhibit:
  - a. Landscape shall be designed to provide natural undulating landscape forms. Avoid consistent straight-line plantings. See Section 4, III, F. The line between irrigated turf and native grasses is very straight at the back of the relocated parking on the west side of the future office. Consider an undulating form.
  - b. Irrigation of all landscape elements and turf areas is required. See Section 4, III, G. More information is required regarding the area indicated as "Non-Irrigated Native Grasses and Forbs." This area should have a consistent appearance to the turf areas and be irrigated.
  - c. Screening of service yards, mechanical, electrical, phone equipment and pedestals and other places that tend to be unsightly is required. Screening shall be equally effective in winter and summer. See Section 4, III, I. The equipment to the east of the Future 2-story industrial building is not screened. This area was reviewed as part of the Design Review for Building #1. Please update the landscape plan to reflect the approved landscaping in this area.
2. Planting Plan:
  - a. Landscape shall be designed to provide natural undulating landscape forms. Avoid consistent straight-line plantings. See Section 4, III, F. Plantings around the west driveway off Emilie St and between the parking and buildings are shown in straight lines. Consider undulating forms and massings.

PHONE 402.493.4800  
FAX 402.493.7951

1044 North 115th Street, Suite 300  
Omaha, Nebraska 68154-4436

b. Screening of service yards, mechanical, electrical, phone equipment and pedestals and other places that tend to be unsightly is required and may be accomplished with plantings. See Section 4, III, I. Please indicate if screening of trash enclosures is to be included in landscape review.

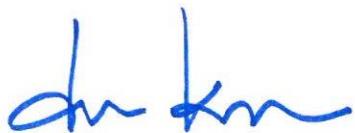
Please notify the Applicant of the review comments above and request clarification and/or resubmittal as the case may be. Please remind the Applicant to properly date all resubmittals. Design Guideline Requirements not specifically discussed above are in compliance but subject to further review pending resubmittal.

Please feel free to contact me regarding additional clarifications or questions.

(402) 431-6377 direct  
[dkerns@schemmmer.com](mailto:dkerns@schemmmer.com)

Sincerely,

THE SCHEMMER ASSOCIATES, INC.



Dan Kerns, AIA, NCARB  
Manager, Architecture  
Shareholder  
Commercial Market Leader

February 4, 2021

Mr. Chris Solberg  
City of La Vista  
8116 Park View Blvd  
La Vista, NE 68128

RE: Streck, Inc, Harrison Hills Facility, PUD Landscaping Amendment - Design Review #2

Dear Chris:

This letter shall provide recommendations and/or corrections pertaining to the landscape design for the applicant's PUD amendment resubmittal package received January 26, 2021. For tracking purposes, I have noted deficiencies in the submittal package, and where appropriate, the corresponding requirements outlined in the Gateway Corridor Design Guidelines.

**General:**

1. The following items were submitted for review:
  - a. Planned Unit Development Landscape Exhibit, undated
  - b. Planting Plan, undated
  - c. Response Letter regarding comments from Design Review Letter 1.
2. It is understood that building shapes and designs are schematic and often preliminary for PUD applications. As such, a separate landscape plan shall be submitted as part of the Building Design Review Process to ensure full compliance and review of landscaping requirements associated with building elements. These would include but are not limited to required plantings adjacent to the base of buildings, plantings for screening, etc.

**Drawings:**

1. The Landscape Plans have been revised to include undulating forms in the plantings and edges.
2. The "Non-Irrigated Native Grasses and Forbs" has been clarified.
3. The equipment screening east of the Future 2-story industrial building has been added.
4. At the housing area, refuse areas will be screened with hard wall architectural items and landscaping.
5. The screening of site utility items and building mounting utility items will be reviewed during the Design Review of the buildings.

Please notify the Applicant of the review comments above. Based on the comments provided, responses received, and corrections made, the PUD Landscape Submittal is in compliance with the Gateway Corridor Design Guidelines and I recommend approval.

Please feel free to contact me regarding additional clarifications or questions.

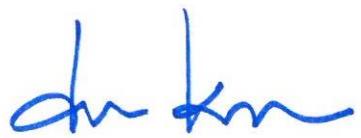
(402) 431-6377 direct  
dkerns@schemmer.com

PHONE 402.493.4800  
FAX 402.493.7951

1044 North 115th Street, Suite 300  
Omaha, Nebraska 68154-4436

Sincerely,

THE SCHEMMER ASSOCIATES, INC.

A handwritten signature in blue ink, appearing to read "dk".

Dan Kerns, AIA, NCARB  
Shareholder - Senior Architect  
Commercial Market Leader



February 11<sup>th</sup>, 2021

Christopher Solberg, AICP  
Deputy Community Development Director  
City of La Vista  
8116 Park View Boulevard  
La Vista, NE 68128

Dear Mr. Solberg:

Streck Inc. is an important employer in the City of La Vista, and in a progressive effort to better attract high quality talent, and to support existing employees, Streck endeavors to build high quality, affordable housing for their workforce. One key to providing this type of housing is maximizing the efficiency of the site to manage costs without sacrificing the future needs of the Streck Campus. The identified parcel for this project represents the most reasonable sized parcel that Streck could use for housing without negatively impacting Streck's future needs for the campus as the company continues to grow.

The proposed lot configuration results in a density of 1,571 square feet per unit, which is below the 2,250 square feet per unit minimum requirement for multifamily developments in R-3 High Density Residential Zoning District. This proposed density, with 84 units spread across the site, allows the project to be economically feasible, as it distributes the development costs across a greater number of units. This is especially important as Streck is proposing to rent these units to their employees at a rent that is below the market rate. A lower density poses a threat to business objectives as it would lead to a higher rent necessary to cover the costs of the project. By increasing the density, Streck will be able to provide high quality, affordable housing for its workforce and for others in need of workforce housing.

In an effort to account for the higher density, the development proposed includes covered parking within the podium building, rather than spread between multiple detached garages. This reduces the building coverage percentage and allows for more open and green space on the site. The site plan, as proposed, contemplates a development with a higher density that feels like a less dense site as the number of buildings is limited and there is a significant amount of green space provided for residents.

We feel the proposed approach results in a project that accommodates the needed density while also providing a significant amount of common, open space.

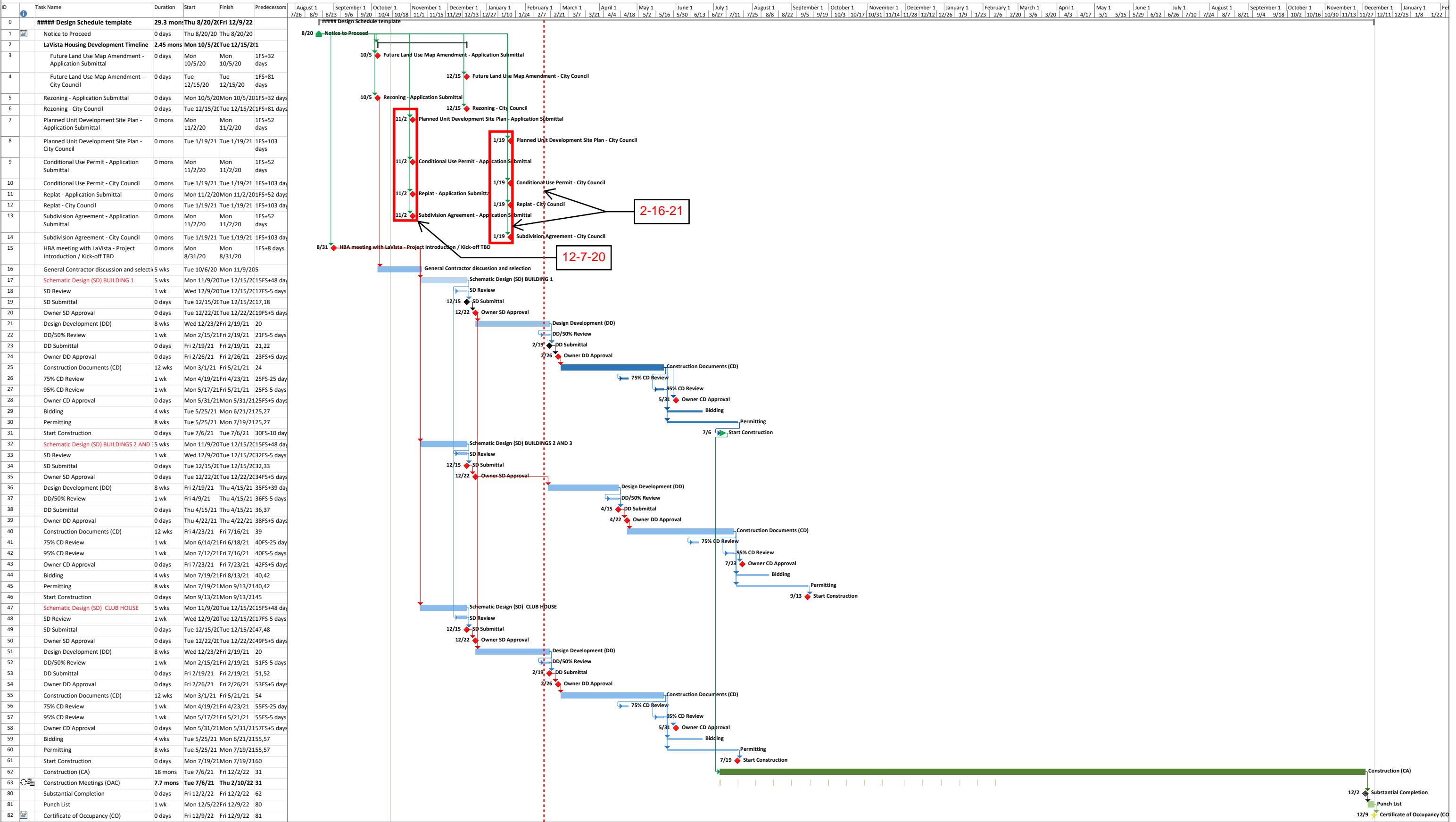
Sincerely,

A handwritten signature in black ink that reads "John Noble". The signature is fluid and cursive, with "John" on the top line and "Noble" on the bottom line.

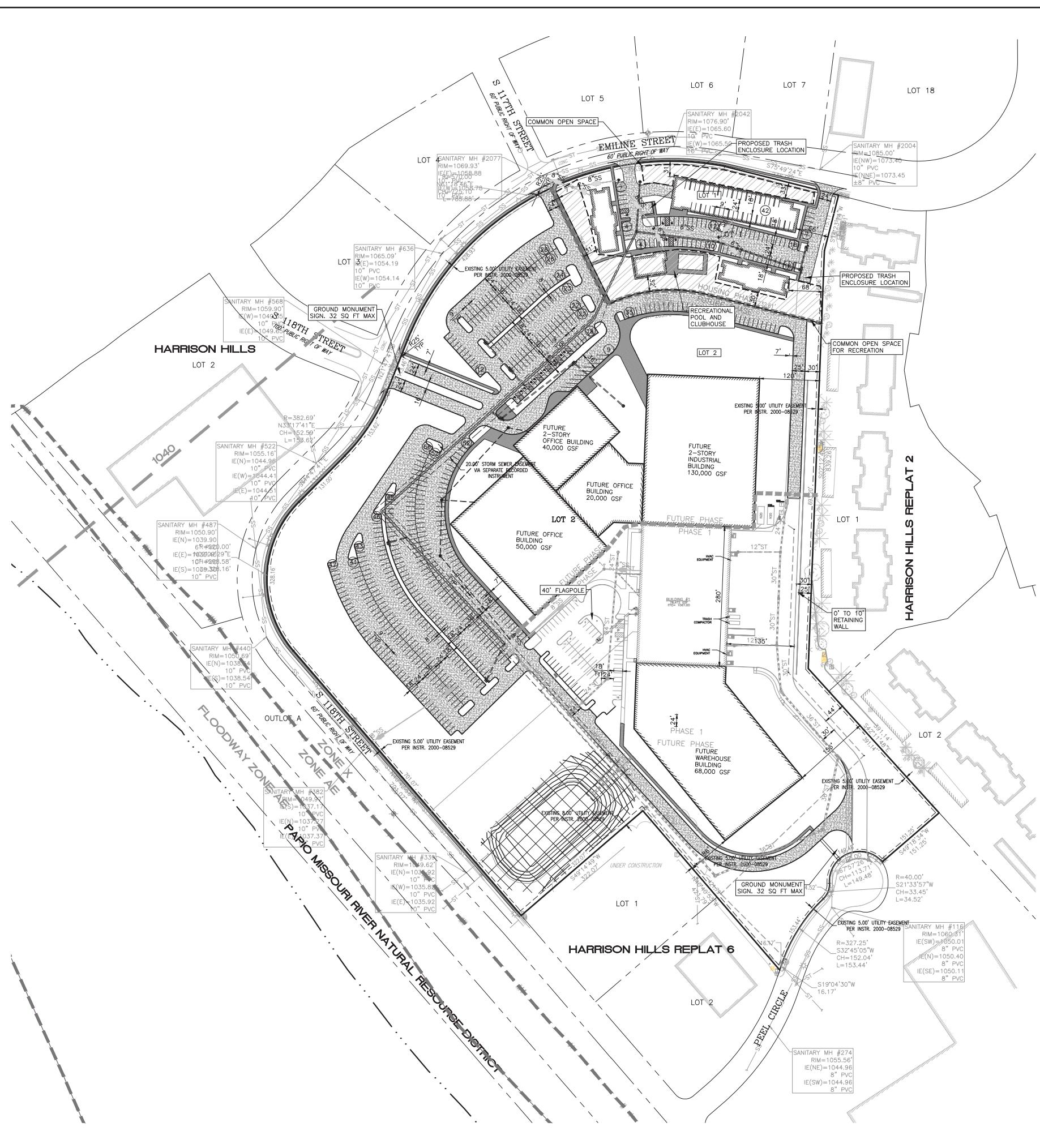
John Noble  
Chief Operating Officer, Streck Inc.

# Preliminary Schedule

Streck Housing  
20084



Project: ##### Design Schedule	Task	Milestone	External Task	Project Summary	External Milestone	Inactive Milestone	Manual Task	Manual Summary Rollup	Start-only	Deadline Progress	Manual Progress
Date: Fri 10/16/20	Split	Summary	External Tasks	Inactive Task	Inactive Summary	Inactive Summary	Duration-only	Manual Summary	Finish-only		



**PUD SITE REGULATOR TABLE**  
LOT 1 HARRISON HILLS REPLAT 7, LAVISTA, NEBRASKA

LEGAL DESCRIPTION:  
USE TYPE:  
ZONING:

MULTIPLE FAMILY DWELLINGS  
R-3, HIGH DENSITY RESIDENTIAL PUD, GATEWAY CORRIDOR DISTRICT (OVERLAY DISTRICT)

PERMITTED USE  
CONDITIONAL USE  
SPECIAL USE

**SITE REGULATORS (SEE SECTION 5.08):**

A. SITE AREA  
B. MINIMUM WIDTH  
C. SETBACK  
MIN. FRONT YARD  
MIN. SIDE YARD  
MIN. REAR YARD  
D. BUILDING HEIGHT  
E. MAX BUILDING COVER (%)  
F. MIN COMMON OPEN SPACE (%)  
G. DENSITY OF DWELLING UNITS

**ALLOWANCES**

A. SITE AREA  
2,250 SF/UNIT MIN.  
100 FEET  
B. MIN. FRONT YARD  
30', 60' WHEN PARKING IS LOCATED IN FRONT YARD  
10', 5' ADDITIONAL FOR EACH STORY IN EXCESS OF 3 STORIES  
30'  
C. MIN. SIDE YARD  
30'  
D. MIN. REAR YARD  
45' MAX  
E. MAX BUILDING COVER (%)  
40% (BUILDING COVERAGE/LOT AREA = 30,225 SF/132,026 SF = 23%)  
30% (OPEN SPACE/LOT AREA = 44,880 SF/132,026 SF = 34%)  
F. MIN COMMON OPEN SPACE (%)  
UNITS/ACRE = 84 UNITS/ 3.03 AC. = 27.72 UNITS/AC.  
G. DENSITY OF DWELLING UNITS

**OFF STREET PARKING REQUIREMENTS (SEE SECTION 7.06)**

UNITS	PARKING REQUIRED	PARKING PROVIDED
STUDIO	15	1 PER BED = 15 STALLS
1-BED	42	1 PER BED = 42 STALLS
2-BED	27	1 PER BED = 54 STALLS
TOTAL	84 UNITS	111 STALLS .118 STALLS

MIN. ENCLOSED PARKING (SEE SECTION 7.05.08) 0.45 ENCLOSED GARAGES PER UNIT

**ACCESIBLE PARKING REQUIREMENTS (SEE SECTION 7.08)**

PARKING REQUIRED	PARKING PROVIDED
118 TOTAL = 5 ACCESSIBLE	5 STALLS

**PUD SITE REGULATOR TABLE**  
LOT 2 HARRISON HILLS REPLAT 7, LAVISTA, NEBRASKA

LEGAL DESCRIPTION:  
USE TYPE:  
ZONING:

LIGHT MANUFACTURING  
I-1 PUD, GATEWAY CORRIDOR DISTRICT (OVERLAY DISTRICT) (SEE SECTION 5.13)

PERMITTED USE  
CONDITIONAL USE  
SPECIAL USE

**SITE REGULATORS (SEE SECTION 5.13):**

A. SITE AREA  
10,000 SF MIN.  
100 FEET  
B. MINIMUM WIDTH  
35', 60' WHEN PARKING IS LOCATED IN FRONT YARD  
30'  
C. SETBACK  
FRONT YARD  
SIDE YARD  
REAR YARD  
D. BUILDING HEIGHT  
45' MAX  
E. MAX LOT COVER (%)  
65%  
F. PARKING REQUIREMENTS  
(SEE SECTION 7.06)

**ALLOWANCES**

1 SPACES/3,000 SF OF GROSS FLOOR AREA (INDUSTRIAL USE)  
1 SPACE/200 SF OF GROSS FLOOR AREA (OFFICE BUILDING USE)  
1 SPACE/5,000 SF OF GROSS FLOOR AREA (WAREHOUSE & DISTRIBUTION USE)

**OFF STREET PARKING REQUIREMENTS (SEE SECTION 7.06)**

GROSS FLOOR AREA	PARKING REQUIRED	PARKING PROVIDED
PHASE1 (EXISTING)	78,472 SF	1 PER 3,000 SF = 27 STALLS 75 STALLS
FUTURE PHASES (INDUSTRIAL USE)	130,000 SF	1 PER 3,000 SF = 44 STALLS 602 STALLS
FUTURE PHASES (OFFICE USE)	110,000 SF	1 PER 200 SF = 550 STALLS
FUTURE PHASES (WAREHOUSE)	68,000 SF	1 PER 5,000 SF = 14 STALLS
TOTAL	386,472 SF	635 STALLS 669 STALLS (8 PHASE 1 STALLS WILL BE REMOVED)

**ACCESIBLE PARKING REQUIREMENTS (SEE SECTION 7.08)**

PARKING REQUIRED	PARKING PROVIDED
PHASE 1 (EXISTING)	75 TOTAL = 3 ACCESSIBLE 3 STALLS
TOTAL	2% OF 669 TOTAL STALLS = 14 ACCESSIBLE 14 STALLS

**LEGEND**

PROPERTY LINE	RETAINING WALL
SS	SANITARY SEWER
ST	STORM SEWER
FO	FIBER OPTIC
G	GAS
W	WATER
UP	UNDERGROUND POWER
OP	OVERHEAD POWER
T	TELEPHONE
CA	CABLE TELEVISION
MANHOLE	MANHOLE
CURB INLET	CURB INLET
GRATE INLET	GRATE INLET
HOODED GRATE INLET	HOODED GRATE INLET
HYDRANT	HYDRANT
LIGHT POLE	LIGHT POLE
PROPOSED CONTOUR	PROPOSED CONTOUR
EXISTING CONTOUR	EXISTING CONTOUR
COMMON OPEN SPACE	COMMON OPEN SPACE
PHASE LINE	PHASE LINE
PROPOSED SANITARY SEWER	PROPOSED SANITARY SEWER
PROPOSED STORM SEWER	PROPOSED STORM SEWER
PROPOSED MANHOLE	PROPOSED MANHOLE
PROPOSED F.E.S.	PROPOSED F.E.S.
PROPOSED CURB INLET (BY OTHERS)	PROPOSED CURB INLET (BY OTHERS)
PROPOSED BASIN	PROPOSED BASIN
FUTURE STORM SEWER	FUTURE STORM SEWER
FUTURE SANITARY SEWER	FUTURE SANITARY SEWER
FUTURE PC CONCRETE SIDEWALK	FUTURE PC CONCRETE SIDEWALK
FUTURE PC CONCRETE PAVEMENT WITH INTEGRAL CURB AND GUTTER	FUTURE PC CONCRETE PAVEMENT WITH INTEGRAL CURB AND GUTTER

**PLANNED UNIT DEVELOPMENT SITE EXHIBIT**  
**STRECK, INC. (HARRISON HILLS FACILITY)**  
LAVISTA, NEBRASKA

ALL UTILITIES ARE SHOWN BASED ON THE INFORMATION AVAILABLE. THERE IS NO GUARANTEE THAT THE LOCATIONS, DEPTHS AND TYPES OF UTILITIES ARE CORRECT. THE CONTRACTOR IS RESPONSIBLE FOR LOCATING ALL UTILITIES AND SERVICE LINES PRIOR TO CONSTRUCTION.

REVISIONS

DESIGNER / DRAFTER  
THOMAS GLIDEWELL  
DATE

PROJECT NUMBER  
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BOOK AND PAGE

SHEET

1 OF 1



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OMAHA, NE 68154  
402.496.2498  
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PLANNED UNIT DEVELOPMENT  
EMERGENCY VEHICLE EXHIBIT

STRECK, INC. (HARRISON HILLS FACILITY)  
LAVISTA, NEBRASKA



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## REVISIONS

11. *What is the primary purpose of the following statement?*

---

DESIGNER / DRAFTER  
THOMAS GLIDEWELL  
DATE

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100

PRODUCT NUMBER  
0118087.01  
BOOK AND PAGE

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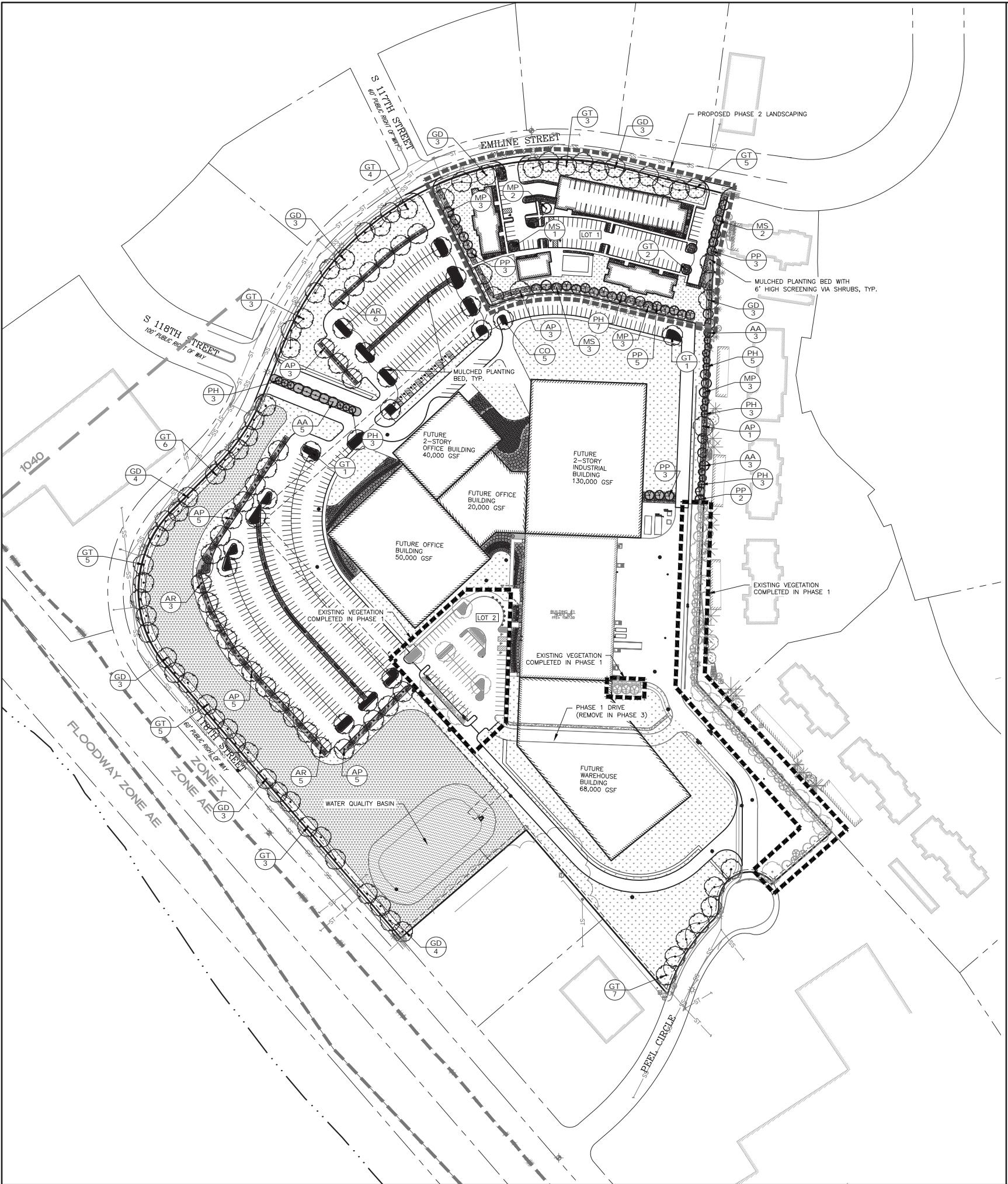
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DESIGN EMERGENCY VEHICLE TEMPLATE

27.2399' Radius (over wheel)

Pompion Aerial Fire Truck

Overall Length	41.75'
Overall Width	8.00'
Overall Height	16.40'
Min. Body Ground Clearance	0.44'
Track Width	6.42'
Local track time	37.00'
Max. Wheel Angle	37.00'



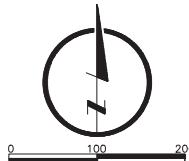
PLANT SCHEDULE						
SYMBOL	CODE	BOTANICAL NAME	COMMON NAME	PLANTING SIZE	HEIGHT	WIDTH
DECIDUOUS TREES						
	AR	ACER RUBRUM 'MAGNIFICENT MAGENTA'	BURGUNDY BELLE RED MAPLE	2.5" CAL.	30-50	20-30
	GT	GLEDTIA TRIACANTHOS VAR. INERMIS 'HALKA'	HALKA HONEYLOCUST	2.5" CAL.	30-50	20-30
	CO	CELTIS OCCIDENTALIS 'PRAIRIE PRIDE'	PRairie PRIDE HACKBERRY	2.5" CAL.	30-50	20-30
	OV	QUERCUS VIRGINIANA	HERITAGE OAK	2.5" CAL.	30-50	20-30
	AP	ACER PLATANOIDES	NORWAY MAPLE	2.5" CAL.	30-50	20-30
	GD	GYNNOCLADUS DIOCUS ESPRESSO	KENTUCKY COFFEE	2.5" CAL.	30-50	20-30
	AA	AMELANCHIER ARBOREA 'CLUMP FORM'	DOWNTOWN SERVICEBERRY	2.5" CAL.	15-25	15-25
	MP	MALUS PRAIRIFIRE	PRairie FIRE CRABAPPLE	2.5" CAL.	15-25	15-25
	MS	MALUS SNOWDRIFT	SNOW DRIFT CRABAPPLE	2.5" CAL.	15-25	15-25
CONIFEROUS TREES						
	PH	PINUS HELDREICHII	BOSNIAN PINE	6' HIGH	30-40	20-30
	PP	PICEA PUNGENS	COLORADO BLUE SPRUCE	6' HIGH	30-40	20-30
SHRUBS, GROUND COVERS, PERENNIALS, AND ORNAMENTAL GRASSES						
	CODE	BOTANICAL NAME	COMMON NAME	PLANTING SIZE	HEIGHT	WIDTH
	RA	RHUS AROMATICA 'GRO-LOW'	GRO-LOW FRAGRANT SUMAC	5 GAL.	4-6	3-5
	SA	SPIREA ALBIFLORA	JAPANESE WHITE SPIREA	5 FAL.	3-5	3-5
	EA	EUONYMUS ALATUS	BURNING BUSH	5 GAL.	4-6	4-6
	JS	JUNIPERUS SABINA 'TAMARISCIFOLIA'	GREEN TAM JUNIPER	5 GAL.	2-4	2-4
	JC	JUNIPERUS CHINENSIS 'SEA GREEN'	SEA GREEN JUNIPER	5 GAL.	2-4	2-4
	HM	HEMEROCALLIS 'PARDON ME'	PARDON ME DAYLILY	1 GAL.	1-2	1-2
	HHR	HEMEROCALLIS 'HAPPY RETURNS'	HAPPY RETURNS DAYLILY	1 GAL.	1-2	1-2
	NMH	NARCISSUS SP. 'MOUNT HOOD'	MOUNT HOOD DAFFODIL	1 GAL.	1-2	1-2
	SMN	SALVIA NEMOROSA 'MAY NIGHT'	MAY NIGHT SALVIA	1 GAL.	1-2	1-2
SURFACE RESTORATION SCHEDULE						
		NON-IRRIGATED NATIVE GRASSES: AREA TO BE CONSTRUCTED WITH LOW GROW GRASS MIX BY UNITED SEEDS INC. (WWW.UNITEDSEEDS.COM) OR APPROVED EQUAL. MIX TO INCLUDE: SIDEOTS GRAMA, BLUE GRAMA, HARD FINE FESCUE, SHEEP FINE FESCUE, BLUE FINE FESCUE, AND LITTLE BLUESTEM. INSTALL PER SUPPLIER'S SPECIFICATIONS. COORDINATE SEEDING TIME, SEEDING RATE, AND INSTALLATION METHOD WITH SUPPLIER. CONSTRUCT EROSION CONTROL MATTING ON ALL AREAS RECEIVING SEEDING BY UNITED SEEDS NORTH AMERICAN GREEN ERON 1510 EROSION CONTROL BLANKET OR APPROVED EQUAL. INSTALL PER MANUFACTURER'S SPECIFICATIONS. ALL AREAS RECEIVING SEED SHALL HAVE SOILS SCARIFIED TO A MINIMUM DEPTH OF 12".				
		IRRIGATED LAWN AREA - BLUEGRASS OR TURF TYPE TALL FESCUE				
		WATER QUALITY BASIN: NON-IRRIGATED AREA TO BE CONSTRUCTED WITH SEEDING/MATTING ON SIDE SLOPES AND PLUGS AT BOTTOM OF BASIN. SEED MIX SHALL BE FLOOR PLAIN MIXTURE BY UNITED SEEDS INC. (WWW.UNITEDSEEDS.COM) OR APPROVED EQUAL. MIX TO INCLUDE: BENT GRASS, BENTSTEM Sedge, FOX SEDGE, CANADA WILDRYED, VIRGIN WILDRYED, SWITCHGRASS, WESTERN WHEATGRASS, PRairie WHEATGRASS. SEED MIX SHALL BE EQUAL MIX OF BROWN FOX SEDGE, COMMON OAK SEDGE, PALM SEDGE, AND RIVERBANK SEDGE. INSTALL ALL SEEDS, MATTING, AND SEDGES PER MANUFACTURER'S SPECIFICATIONS.				

PLANNED UNIT DEVELOPMENT  
LANDSCAPE EXHIBIT

STRECK, INC. (HARRISON HILLS FACILITY)  
AVISTA, NEBRASKA

# LAMP RYNEARSON

14710 W. DODGE RD, STE. 100  
OMAHA, NE 68154  
402.496.2498  
[LampRynearson.com](http://LampRynearson.com)



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## Call

DESIGNER / DRAFTER  
SHARP / J. DENNELL

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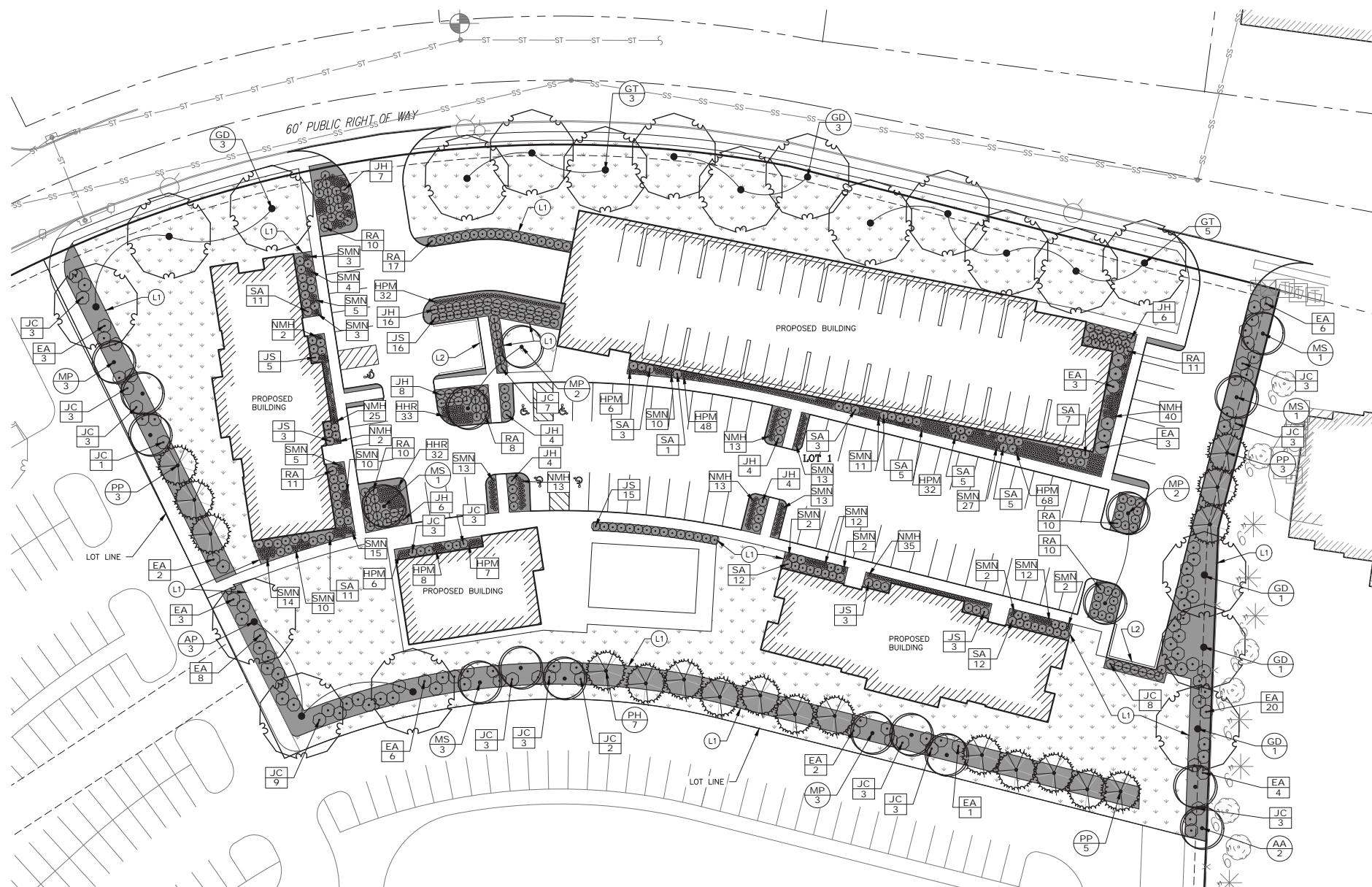
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1 OF 1

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1 OF 1



#### GENERAL NOTES

1. CONTRACTOR TO VERIFY LOCATION OF ALL PROPOSED AND EXISTING VAULTS, ELECTRICAL DUCT BANKS, MANHOLES, CONDUIT AND PIPING, DRAINAGE STRUCTURES AND OTHER UTILITIES PRIOR TO COMMENCING WORK.
2. CONTRACTOR SHALL NOT WILLFULLY INSTALL ANY PROPOSED LANDSCAPE IMPROVEMENTS WHEN CONFLICTS EXIST BETWEEN LANDSCAPE IMPROVEMENTS AND EXISTING OR PROPOSED UTILITIES OR SITE FEATURES SUCH AS WALKS, ROADS, BUILDINGS OR EXISTING TREES TO REMAIN.
3. VERIFY LOCATION OF ALL BUILDINGS, WALLS, ROADS AND CURBS AFFECTING LANDSCAPE SCOPE OF WORK WITH ARCHITECTS AND CONTRACTOR ENGINEER'S DRAWINGS.
4. ALL WORK PERFORMED WITHIN THE DRIP LINE OF TREES DESIGNATED "EXISTING TREES TO REMAIN" SHALL BE HAND LABOR.
5. REFERENCE TO NORTH REFERS TO TRUE NORTH, REFERENCE TO SCALE IS FOR FULL-SIZED DRAWINGS ONLY. DO NOT SCALE FROM REDUCED DRAWINGS.
6. DIMENSIONS TAKE PRECEDENCE OVER SCALES SHOWN ON DRAWINGS.
7. WHERE NOT SHOWN ON THE PLANTING PLANS, SEE CONTRACTOR ENGINEER'S AND ARCHITECT'S DRAWINGS FOR BUILDING FOUNDATIONS SETBACKS, BOUNDARIES, SUBSURFACE AND ABOVE GRADE UTILITIES.

#### TREE PLANTING NOTES

1. PROVIDE MATCHING SIZES AND FORMS FOR EACH SPECIES OF TREE INSTALLED ON GRID OR PAVED AREAS. FILL BASIN WITH TRIPLE SHREDDED HARDWOOD MULCH PER TREE PLANTING DETAILS, SHEET 2 OF 2.
2. FORM A MINIMUM 30 INCH WATERING BASIN AROUND ALL TREES NOT INSTALLED IN LAWNS OR PAVED AREAS. FILL BASIN WITH TRIPLE SHREDDED HARDWOOD MULCH PER TREE PLANTING DETAILS, SHEET 2 OF 2.
3. REPLACEMENT OF UNACCEPTABLE PLANT MATERIAL: THE CONTRACTOR'S RESPONSIBILITY FOR REPLACEMENT OF UNACCEPTABLE PLANT MATERIAL SHALL EXTEND FOR TWO (2) YEARS AFTER ALL PLANT MATERIAL IS ACCEPTED BY THE ENGINEER.
4. MULCH: THE CONTRACTOR SHALL PLACE TRIPLE SHREDDED HARDWOOD MULCH IN A CONSISTENT THICKNESS AS NOTED IN THE PLANTING DETAILS. ANY MULCH PLACED IN EXCESS OF THE REQUIREMENTS SHALL BE AT THE CONTRACTOR'S EXPENSE. CHIPS OR BARK MULCH ARE NOT ALLOWED.

#### PLANTING NOTES

1. INSTALL ALL TREES A MINIMUM OF FOUR (4) FEET FROM BACK OF CURB, EDGE OF WALL OR PAVING.
2. THE LOCATION OF ALL TREES SHALL BE APPROVED BY LANDSCAPE ARCHITECT PRIOR TO FINAL INSTALLATION.
3. PLANT NAMES ARE ABBREVIATED ON THE DRAWINGS. SEE PLANT LIST FOR KEY AND CLASSIFICATION.
4. PLACE A 2" MINIMUM AND 3" MAXIMUM DEPTH LAYER OF TRIPLE SHREDDED HARDWOOD MULCH ON ALL PLANTING AREAS EXCEPT LAWN. SUBMIT SAMPLE TO LANDSCAPE ARCHITECT FOR APPROVAL.
5. LOCATION OF ALL PLANTING IS DIAGRAMMATIC. DO NOT WILLFULLY LOCATE PLANTINGS WHERE CONFLICTS EXIST WITH UTILITIES OR THE BUILDING.
6. EXISTING AND IMPORTED SOIL FOR PLANTING AREAS SHALL BE FREE FROM CHEMICALS, CONSTRUCTION DEBRIS AND TRASH, ROCKS AND OTHER MATERIAL LARGER THAN ONE INCH IN DIAMETER.
7. STEEL EDGING PLACEMENT SHALL BE REVIEWED BY LANDSCAPE ARCHITECT PRIOR TO FINAL INSTALLATION. PROVIDE AN ALLOWANCE OF 5 PERCENT OF THE TOTAL LINEAL FOOTAGE OF EDGING TO BE CONSTRUCTED DURING THE PROGRESS OF WORK, AS MAY BE DIRECTED BY THE LANDSCAPE ARCHITECT, IN ADDITION TO ALL EDGING INDICATED ON THE DRAWINGS.
8. APPLY GRANULAR PRE-EMERGENT WEED CONTROL TO AREAS TO RECEIVE SHRUBS, GROUNDCOVERS, AND NON-LAWN ORNAMENTAL PLANTING AFTER INCORPORATING SOIL AMENDMENTS. THE CONTRACTOR SHALL PLACE SHREDDED HARDWOOD MULCH AT ALL LANDSCAPED ISLANDS NOT RECEIVING SOD.
9. PLANT QUANTITIES ARE SHOWN FOR THE CONVENIENCE TO THE CONTRACTOR. IF THERE ARE DISCREPANCIES BETWEEN THE PLAN AND NOTES, THE PLANS SHALL GOVERN.
10. ALL PLANTED AREAS TO BE AMENDED PER AN AGRICULTURAL/SOIL SUITABILITY TEST, PAID FOR BY OWNER. FOR BID PURPOSES CONTRACTOR SHALL ESTIMATE SPREADING SOIL AMENDMENT AT THE RATE OF 6 CUBIC YARDS PER 1,000 SQUARE FEET. TILL INTO THE TOP OF SOIL TO A MINIMUM DEPTH OF 6". RAKE TO A SMOOTH, EVEN SURFACE PER THE GRADING PLANS.

#### SEED AND SOD NOTES

1. SOD SHALL BE A FIRST-CLASS REPRESENTATION OF SPECIFIED SPECIES. SOD SHALL RECEIVE FERTILIZER AT THE RATE OF 9 POUNDS NITROGEN (N2) AND 24 POUNDS PHOSPHORIC ACID (P2O5) PER 1000 SQUARE YARDS AND IN ACCORDANCE WITH THE CITY OF OMAHA "STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION," 2014 EDITION AND ANY CURRENT REVISION OR AMENDMENTS THERETO SHALL APPLY.
2. MAINTENANCE: BEGIN MAINTENANCE OF ALL SOD AND SEED AREAS IMMEDIATELY FOLLOWING INSTALLATION. MAINTENANCE TO INCLUDE WATERING, WEEDING, AND MOWING. WHEN TURF HAS GROWN TO A HEIGHT BETWEEN 3 AND 4 INCHES, MOW TO A HEIGHT OF 2 TO 2-1/2 INCHES. REMOVE AND REPLACE SODDED AREAS THAT FAIL TO SURVIVE. MAINTENANCE PERIOD TO BE 30 DAYS. CONTRACTOR TO NOTIFY OWNER ONE WEEK PRIOR TO THE CONCLUSION OF THE MAINTENANCE PERIOD.
3. LAWN AND TURF SEED, WHETHER IRRIGATED OR NON-IRRIGATED, SHALL BE INTERAGENCY BLUETAG CERTIFIED AND SHALL HAVE A MINIMUM GERMINATION RATE OF NINETY (90) PERCENT AND A PURITY OF NINETY-EIGHT (98) PERCENT, SEE SURFACE RESTORATION SCHEDULE.
4. ALL SEEDED AREAS SHALL RECEIVE FERTILIZER AND EROSION CONTROL MATTING CONFORMING TO THE REQUIREMENTS OF THE CITY OF OMAHA STANDARD SPECIFICATIONS FOR PUBLIC WORKS, SEE SURFACE RESTORATION SCHEDULE.
5. RESEEDING AND/OR RESODDING FOR DISTURBED AREAS OUTSIDE OF CONSTRUCTION LIMITS: THE CONTRACTOR WILL RESEED AND/OR RESOD ALL AREAS DISTURBED DURING THE COURSE OF CONSTRUCTION. THIS ITEM WILL NOT BE PAID FOR SEPARATELY, BUT WILL BE CONSIDERED INCIDENTAL TO THE PLANTING OF NEW VEGETATION.

#### SCARIFIED AND CONDITIONED SOIL NOTES

1. ALL NON-PAVED AND NON-BUILDING DISTURBED AREAS SHALL BE SCARIFIED BY COMPLETELY BREAKING UP THE SOIL TO A MINIMUM DEPTH OF 12".
2. TILL AND CONDITION TOP 6" OF ALL MULCHED PLANTING BEDS.
3. USE AN ORGANIC COMPOST MEETING THE REQUIREMENTS SPECIFIED BELOW.
4. A THREE INCH DEEP LAYER OF COMPOST SHALL BE PLACED ON TOP OF ALL PLANTING BEDS.
5. THE COMPOST SHALL BE TILLED INTO THE EXISTING SOIL TO A DEPTH OF SIX INCHES.

#### COMPOST

USE A COMPOST MEETING THE REQUIREMENTS OF THIS SECTION. MATERIAL SHALL BE WELL COMPOSTED, FREE OF WEED SEEDS AND STABILIZED WITH REGARD TO OXYGEN CONSUMPTION AND CARBON DIOXIDE GENERATION. COMPOST SHALL HAVE A MOISTURE CONTENT THAT HAS NO VISIBLE FREE WATER OR DUST PRODUCED WHEN HANDLING THE MATERIAL. ONE HUNDRED PERCENT OF THE MATERIAL MUST PASS THROUGH A HALF INCH SCREEN. MANUFACTURED INERT MATERIAL SHALL BE LESS THAN 1.0% BY WEIGHT.

ORGANIC MATTER CONTENT	MIN.	MAX.
C/N RATIO	—	25:1
PH	6.0	8.0
BULK DENSITY (LBS/CF)	40	50

#### PLANT SCHEDULE

CODE	BOTANICAL NAME	COMMON NAME	PLANTING SIZE	HEIGHT	WIDTH
<b>DECIDUOUS TREES</b>					
AR	ACER RUBRUM 'MAGNIFICENT MAGENTA'	BURGUNDY BELLE RED MAPLE	2.5" CAL.	30-50	20-30
GT	GLEDTISIA TRIACANTHOS VAR. INERMIS 'HALKA'	HALKA HONEYLOCUST	2.5" CAL.	30-50	20-30
CO	CELTIS OCCIDENTALIS 'PRAIRIE PRIDE'	PRairie PRIDE HACKBERRY	2.5" CAL.	30-50	20-30
QV	QUERCUS VIRGINIANA	HERITAGE OAK	2.5" CAL.	30-50	20-30
AP	ACER PLATANOIDES	NORWAY MAPLE	2.5" CAL.	30-50	20-30
GD	GYMNOCLAUDUS DIOICUS ESPRESSO	KENTUCKY COFFEE	2.5" CAL.	30-50	20-30
AA	AMELANCHIER ARBOREA 'CLUMP FORM'	DOWNTOWN SERVICEBERRY	2.5" CAL.	15-25	15-25
MP	MALUS PRUNIFLORA	PRairie FIRE CRABAPPLE	2.5" CAL.	15-25	15-25
MS	MALUS SNOWDRIFT	SNOW DRIFT CRABAPPLE	2.5" CAL.	15-25	15-25
<b>CONIFEROUS TREES</b>					
PH	PINUS HELDRECHII	BOSNIAN PINE	6' HIGH	30-40	20-30
PP	PICEA PUNGENS	COLORADO BLUE SPRUCE	6' HIGH	30-40	20-30
<b>SHRUBS, GROUND COVERS, PERENNIALS, AND ORNAMENTAL GRASSES</b>					
RA	RHUS AROMATICA 'GRO-LOW'	GRO-LOW FRAGRANT SUMAC	5 GAL.	2-3	3-5
SA	SPIREA ALBIFLORA	JAPANESE WHITE SPIREA	5 GAL.	3-4	3-5
EA	EUONYMUS ALATUS	BURNING BUSH	5 GAL.	4-6	4-6
JS	JUNIPERUS SABINA 'TAMARISCIFOLIA'	GREEN TAM JUNIPER	5 GAL.	2-4	2-4
JC	JUNIPERUS CHINENSIS 'SEA GREEN'	SEA GREEN JUNIPER	5 GAL.	4-6	2-4
JH	JUNIPERUS HORIZONTALIS	CREEPING JUNIPER	5 GAL.	1-2	5-8
HPM	HEMEROCALLIS 'PARDON ME'	PARDON ME DAYLILY	1 GAL.	1-2	1-2
HHR	HEMEROCALLIS 'HAPPY RETURNS'	HAPPY RETURNS DAYLILY	1 GAL.	1-2	1-2
NMH	NARCISSUS SP. 'MOUNT HOOD'	MOUNT HOOD DAFFODIL	1 GAL.	1-2	1-2
SMN	SAVIA NEMOROSA 'MAY NIGHT'	MAY NIGHT SALVIA	1 GAL.	1-2	1-2

#### SURFACE RESTORATION SCHEDULE

IRRIGATED LAWN SOD AREA - RTF (RHIZOMATOUS TALL FESCUE) SOD BY CERTIFIED RTF SOD GROWER AS PRODUCED BY MEMBERS OF THE RTF TURF PRODUCERS ASSOCIATION (U.S. PATENT NO. 5,757,547). INSTALL PER SUPPLIER'S SPECIFICATIONS. REMOVE NETTING PRIOR TO INSTALLATION. SEE SOD NOTES, THIS SHEET. ALL AREAS RECEIVING SOD SHALL HAVE SCARIFIED AND SOILS, SEE SCARIFIED AND CONDITIONED SOIL NOTES, THIS SHEET.
IRRIGATED PLANTER BEDS WITH TRIPLE SHREDDED HARDWOOD MULCH - CONSTRUCT PLANTING BEDS WITH TRIPLE SHREDDED HARDWOOD MULCH AT CONSISTENT DEPTH THROUGHOUT BED (2" MINIMUM - 3" MAXIMUM DEPTH). ALL PLANTER BEDS SHALL HAVE SCARIFIED AND CONDITIONED SOILS, SEE SCARIFIED AND CONDITIONED SOIL NOTES, THIS SHEET.

#### LANDSCAPE REQUIREMENTS

LOT 1  
STREET FRONTRAGE (SECTION 07.17.03.02) - EMINILE STREET  
EMINILE STREET FRONTRAGE 591' - ACCESS DRIVES 65' = 526'  
TREES REQUIRED (1 TREE / 40 LF FRONTRAGE) 526' / 40' = 13 TREES  
TREES PROVIDED = 13 TREES

SIDE YARD (SECTION 07.17.03.03) - EAST PROPERTY LINE ABUTTING RESIDENTIAL  
261 LF x 10' WIDTH  
MINIMUM 6' HIGH VEGETATIVE SCREENING

PARKING AREA INTERIOR LANDSCAPING (SECTION 07.17.03.06)  
PARKING STALLS = 79  
INTERIOR LANDSCAPING REQUIRED (10 SF / PARKING STALL) = 790 SF  
INTERIOR LANDSCAPING PROVIDED = 3,767 SF

PARKING AREA PERIMETER LANDSCAPING (SECTION 07.17.03.07)  
PARKING LOT STREET FRONTRAGE = 94 LF  
TREES REQUIRED (1 TREE / 40 LF STREET FRONTRAGE) = 2 TREES  
TREES PROVIDED = 2

PARKING AREA SCREENING (SECTION 07.17.04.01)  
PARKING LOT SCREENING = 94 LF  
MINIMUM 3' HIGH VEGETATIVE SCREENING

#### LANDSCAPE KEYNOTES

1. CONSTRUCT EDGING BETWEEN LAWN AND MULCHED PLANTER BED AREAS. EDGING SHALL BE "SURE-EDGE" BY SURE-LOC, 3/16" x 5.5", ALUMINUM, BLACK ANODIZED, WITH 16" DEPTH STAKES, OR APPROVED EQUAL. SEE WWW.SURELOCEDGING.COM FOR MORE INFORMATION.
2. TRASH ENCLOSURE SCREENED BY ARCHITECTURAL MASONRY WALL. SEE ARCHITECTURAL PLANS FOR MORE INFORMATION

#### WARRANTY:

THE CONTRACTOR SHALL WARRANTY PLANT MATERIALS FOR A PERIOD OF TWO (2) YEARS FROM THE DATE OF SUBSTANTIAL COMPLETION, AGAINST DEFECTS INCLUDING DEATH AND UNSATISFACTORY GROWTH, EXCEPT FOR DEFECTS RESULTING FROM ABUSE OR DAMAGE BY OTHERS, OR UNUSUAL PHENOMENA OR INCIDENTS WHICH ARE BEYOND THE CONTROL OF THE CONTRACTOR. WARRANTY COVERS A MAXIMUM OF ONE REPLACEMENT PER ITEM.

#### CONTRACTOR QUALIFICATIONS

1. THE CONTRACTOR SHALL BE CERTIFIED AND HAVE AT LEAST 3 YEARS OF LANDSCAPING EXPERIENCE INSTALLING SIMILAR TYPES OF PROJECTS.

#### SUBMITTALS

1. THE CONTRACTOR SHALL PLANT TREES THAT HAVE BEEN GROWN FROM A SEED SOURCE IN USDA COLD HARDINESS ZONE 5. FOR NORTHERLY, A CERTIFICATE OF ORIGIN MUST BE SUBMITTED FOR EACH SPECIES OF TREE THAT IS TO BE PLANTED. THE CONTRACTOR SHALL ALSO SUBMIT THEIR LANDSCAPING PLAN PRIOR TO STARTING WORK IF IT VARIES FROM THE BID PLAN.
2. SUBMIT SAMPLE OF TRIPLE SHREDDED HARDWOOD MULCH TO LANDSCAPE ARCHITECT FOR APPROVAL PRIOR TO ORDERING AND CONSTRUCTING ON SITE.
3. SUBMIT SAMPLE OF EDGING TO LANDSCAPE ARCHITECT FOR APPROVAL PRIOR TO ORDERING AND CONSTRUCTING ON SITE.
4. SUBMIT SOURCE OF SOD. SOD SHALL BE FIRST-CLASS REPRESENTATION OF NORMAL SPECIES AND VARIETIES OF BLUEGRASS OR TURF-TYPE TALL FESCUE. SOD SHALL BE FREE OF NOXIOUS WEEDS AND RELATIVELY FREE OF ALL OTHER WEEDS.
5. SEED ORIGINS SHALL BE STATE OF NEBRASKA OR ADJOINING STATES. SUBMIT SEED TAG THAT DESCRIBES THE VARIETY, ORIGIN, AND ANALYSIS OF THE SEED. ALL SEED MUST COMPLY WITH APPLICABLE LOCAL, STATE, AND FEDERAL SEED LAWS.

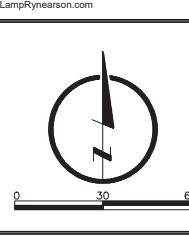
#### IRRIGATION NOTE

ALL TURF LAWN AREAS AND MULCHED PLANTING BED AREAS TO BE IRRIGATED PER CITY OF LA VISTA ZONING ORDINANCE SECTION 5.17.05.03, SEE SHEET 2 OF 2 FOR IRRIGATION INFORMATION.

#### PLANTING PLAN

**LAMP RYNEARSON**

14710 W. DODGE RD, STE. 100  
OMAHA, NE 68154  
402.496.2498  
LampRynearson.com



NOT RELEASED FOR CONSTRUCTION

REVISIONS

DESIGNER / DRAFTER

M. SHARP / J. DENNELL

DATE

PROJECT NUMBER

0118087.05-093

BOOK AND PAGE

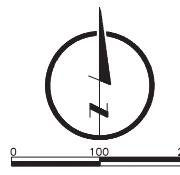
SHEET

1 OF 2

**811**  
ALL UTILITIES ARE SHOWN BASED ON THE INFORMATION PROVIDED BY THE CONTRACTOR. THERE IS NO GUARANTEE THAT THE LOCATION, DEPTH, AND SIZE OF UTILITIES IS CORRECT. THE CONTRACTOR IS RESPONSIBLE FOR LOCATING ALL UTILITIES AND NOTIFYING THE CONTRACTOR PRIOR TO CONSTRUCTION.

Know what's below.  
Call before you dig.

REVISIONS

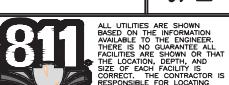


PRELIMINARY

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PLANNED UNIT DEVELOPMENT  
POST CONSTRUCTION STORMWATER MANAGEMENT PLAN  
EXHIBIT

STRECK, INC. (HARRISON HILLS FACILITY)  
LAVISTA, NEBRASKA



Know what's below.  
Call before you dig.

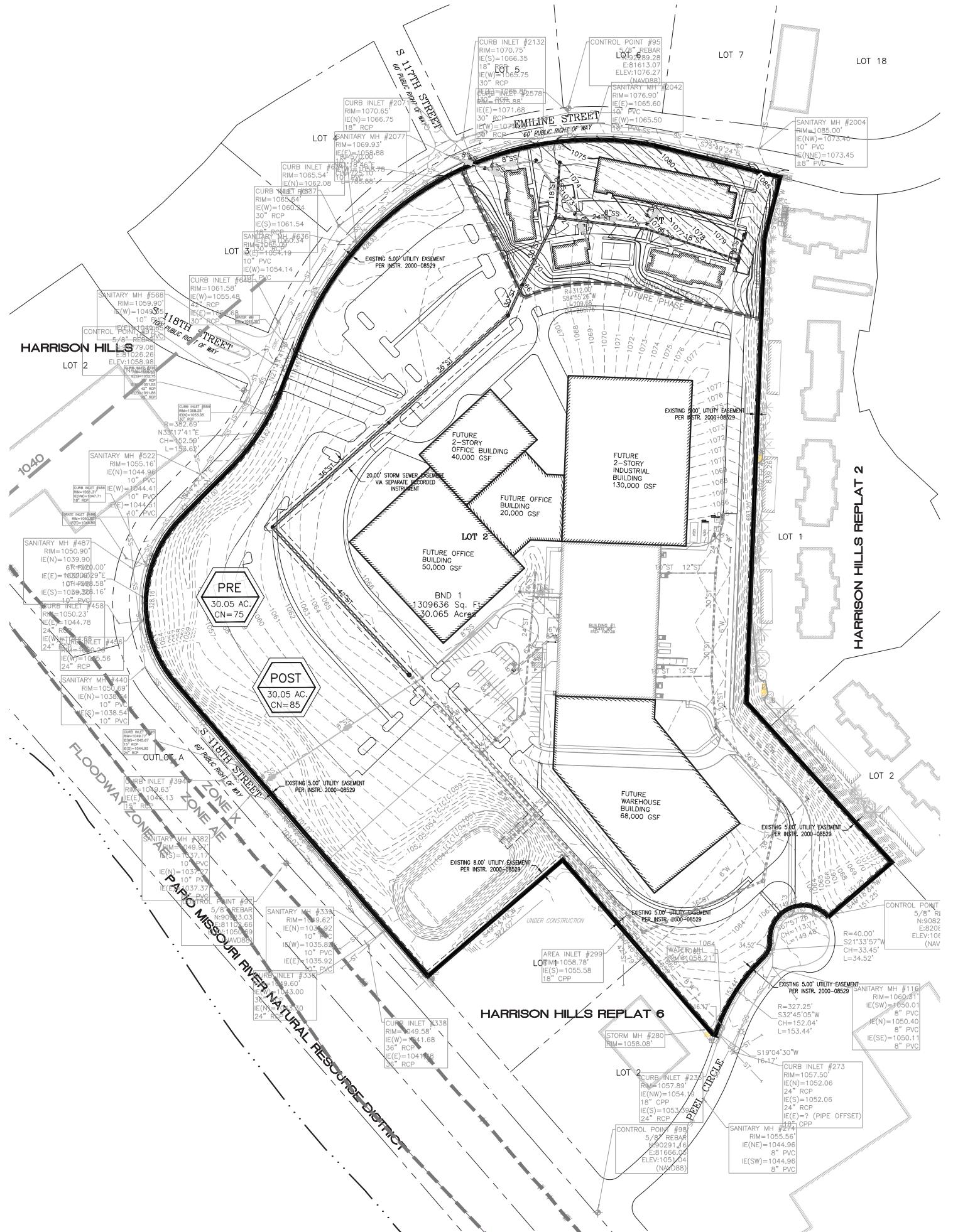
REVISIONS

DESIGNER / DRAFTER  
THOMAS GLIDEWELL  
DATE

PROJECT NUMBER  
0118087.01  
BOOK AND PAGE

SHEET

1 OF 1



LEGEND

2A	1.18 AC C=0.44
- DRAINAGE AREA NAME	
- DRAINAGE AREA	
- RUNOFF COEFFICIENT	
DRAINAGE SUB BASIN DELINEATION	
PROPOSED CONTOUR	
EXISTING CONTOUR	
PROPERTY LINE	

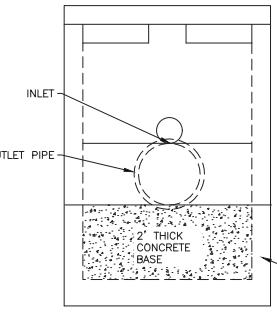
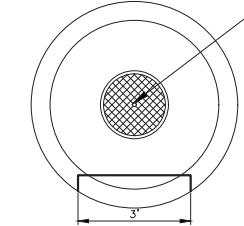
DESIGN SUMMARY	
PRE DEVELOPMENT CURVE NUMBER	75 (SOIL GROUP B GOOD CONDITION ROW CROP STRAIGHT ROW AND CROP RESIDUE COVER)
POST DEVELOPMENT CURVE NUMBER	85 (ASSUMES MAX 65% OF LOT IMPERVIOUS (CN 98) PER ZONING REGULATIONS FOR I-1 LIGHT INDUSTRIAL ZONING. REMAINING AREA FULLY DEVELOPED URBAN GOOD CONDITION SOIL GROUP B (CN 61).)
POND INFORMATION	
DRAINAGE AREA	29.05 (LOTS 1 AND 2)
1" RUNOFF VOLUME (CF)	52,635
DEPTH (FT)	8
FOOTPRINT AREA (SF)	35,611
VOLUME (CF)	200,200
OUTLET STRUCTURE DIAM. (IN)	96
OUTLET PIPE DIAM. (IN)	30

\*SHOWN SITE LAYOUT IS APPROX. 41% IMPERVIOUS DESIGN ACCOMMODATED 65% IMPERVIOUS FOR ENTIRE AREA

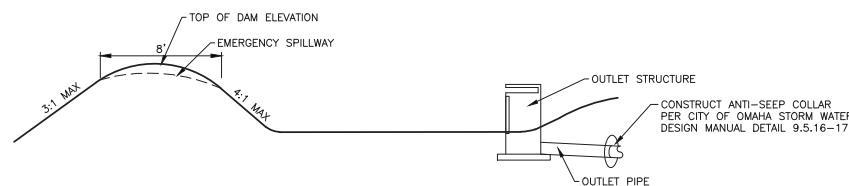
DETENTION BASIN CRITERIA:

1. CAPTURE FIRST 1" OF RUNOFF FOR WATER QUALITY.
2. MATCH PRE-DEVELOPMENT FLOW RATES FOR 2-YEAR STORM.
3. MATCH 125% PREDEVELOPED FLOW RATES FOR 10-YEAR STORM.

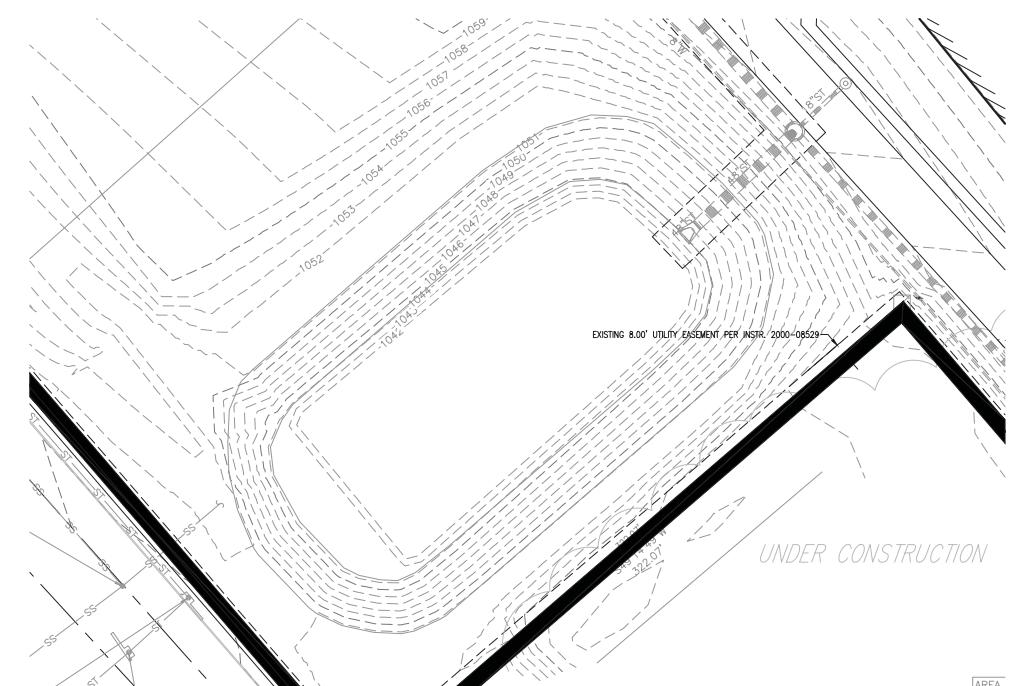
CONSTRUCT 36" CATCH BASIN  
WITH GRATE AND FRAME  
INLET GRATE AND FRAME SHALL  
BE DEETER FOUNDRY 1964  
OR APPROVED EQUIVALENT.



POUND OUTLET STRUCTURE  
NO SCALE

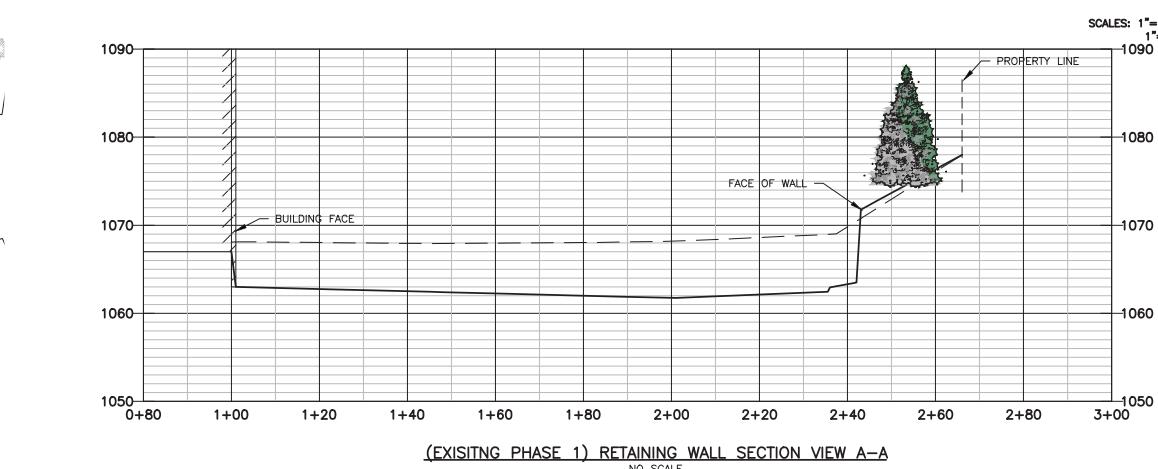
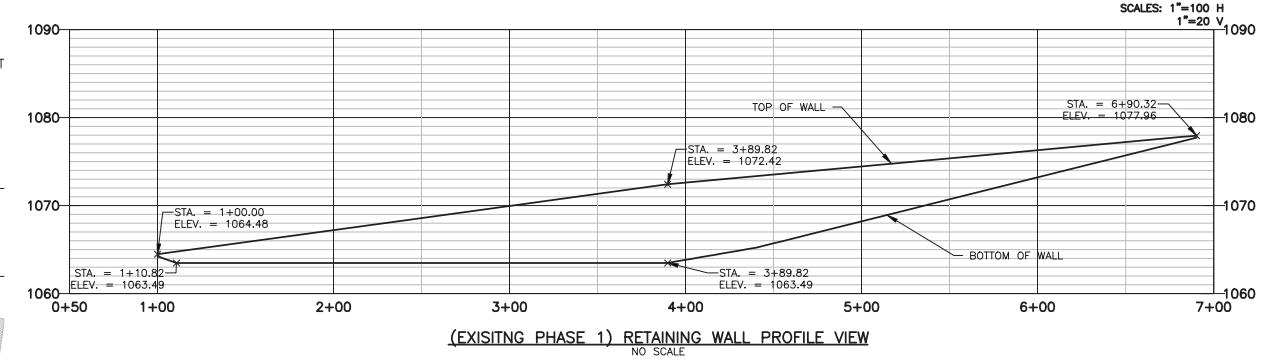
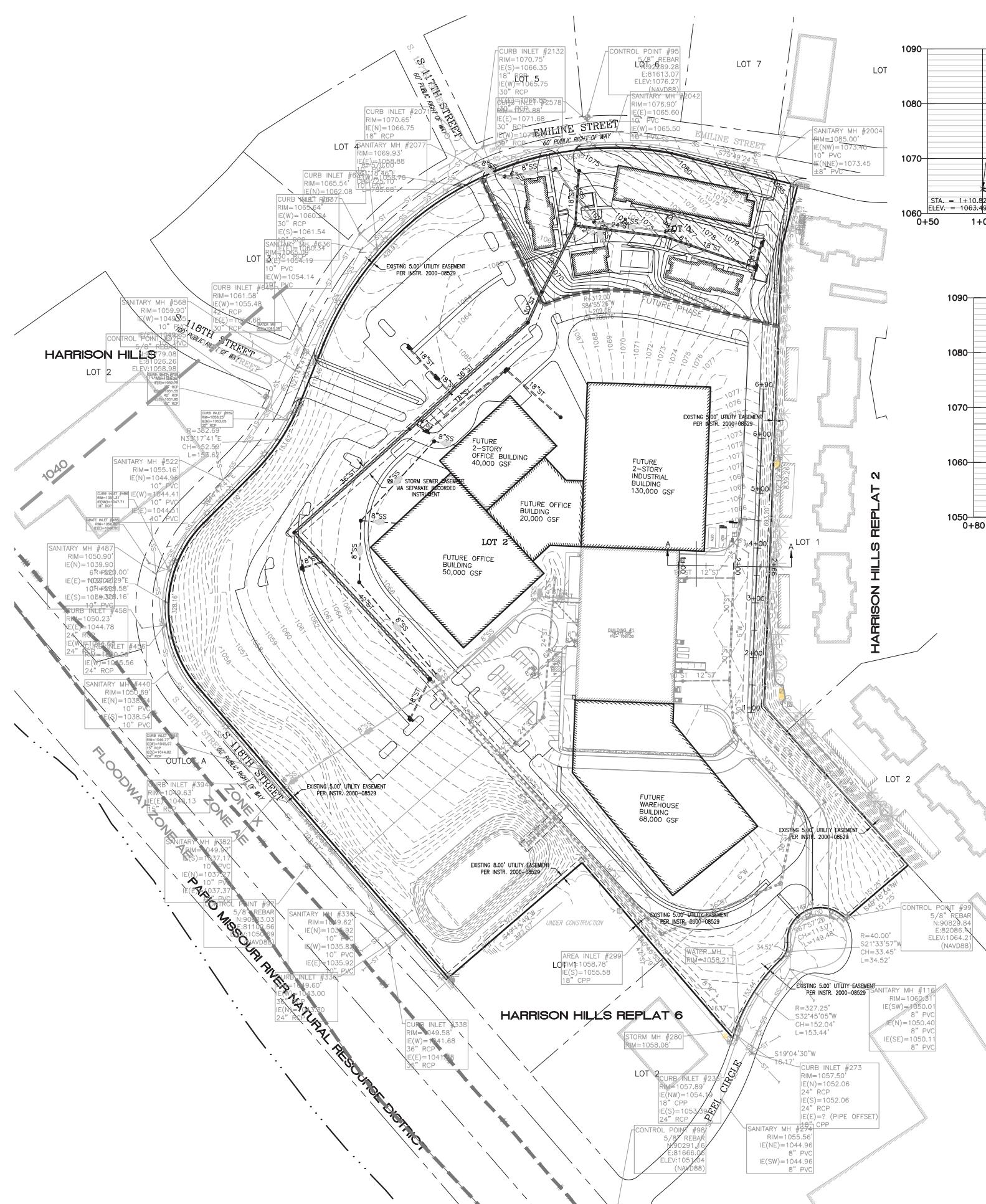


TYPICAL DRY DETENTION BASIN  
NO SCALE



1. TYPICAL DRY DETENTION BASIN, SEE DETAIL THIS SHEET.
2. TYPICAL BASIN OUTLET STRUCTURE, SEE DETAIL THIS SHEET.
3. EMERGENCY SPILLWAY

POND SCHEMATIC  
1" = 40"



### RETAINING WALL MATERIAL DETAIL

PLANNED UNIT DEVELOPMENT  
GRADING EXHIBIT

TRECK, INC. (HARRISON HILLS FACILITY)  
AVISTA, NEBRASKA

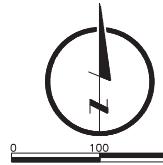


Call 811  
Now what's below.

**Call before**

## LEGEND

SS	PROPERTY LINE	RETAINING WALL
ST	SANITARY SEWER	PHASE 1 PC CONCRETE PAVEMENT WITH INTEGRAL CURB AND GUTTER
SO	STORM SEWER	PHASE 1 PC CONCRETE SIDEWALK
FO	FIBER OPTIC	
G	GAS	BUILDING
W	WATER	(15) PARKING STALL COUNT
UOP	UNDERGROUND POWER	PHASE LINE
OHP	OVERHEAD POWER	PROPOSED SANITARY SEWER
T	TELEPHONE	PROPOSED STORM SEWER
CA	CABLE TELEVISION	PROPOSED MANHOLE
○	MANHOLE	PROPOSED F.E.S.
□□	CURB INLET	PROPOSED CURB INLET (BY OTHERS)
○○	GRATE INLET	PROPOSED BASIN
□□□	HOODED GRATE INLET	
○○○	HYDRANT	FUTURE STORM SEWER
○○○○	LIGHT POLE	FUTURE SANITARY SEWER
1100-	PROPOSED CONTOUR	FUTURE PC CONCRETE SIDEWALK
		FUTURE PC CONCRETE PAVEMENT WITH INTEGRAL CURB AND GUTTER
		EXISTING CONTOUR



PRELIMINARY

NOT RELEASED FOR CONSTRUCTION

PLANNED UNIT DEVELOPMENT  
UTILITY EXHIBIT

STRECK, INC. (HARRISON HILLS FACILITY)  
AVISTA, NEBRASKA

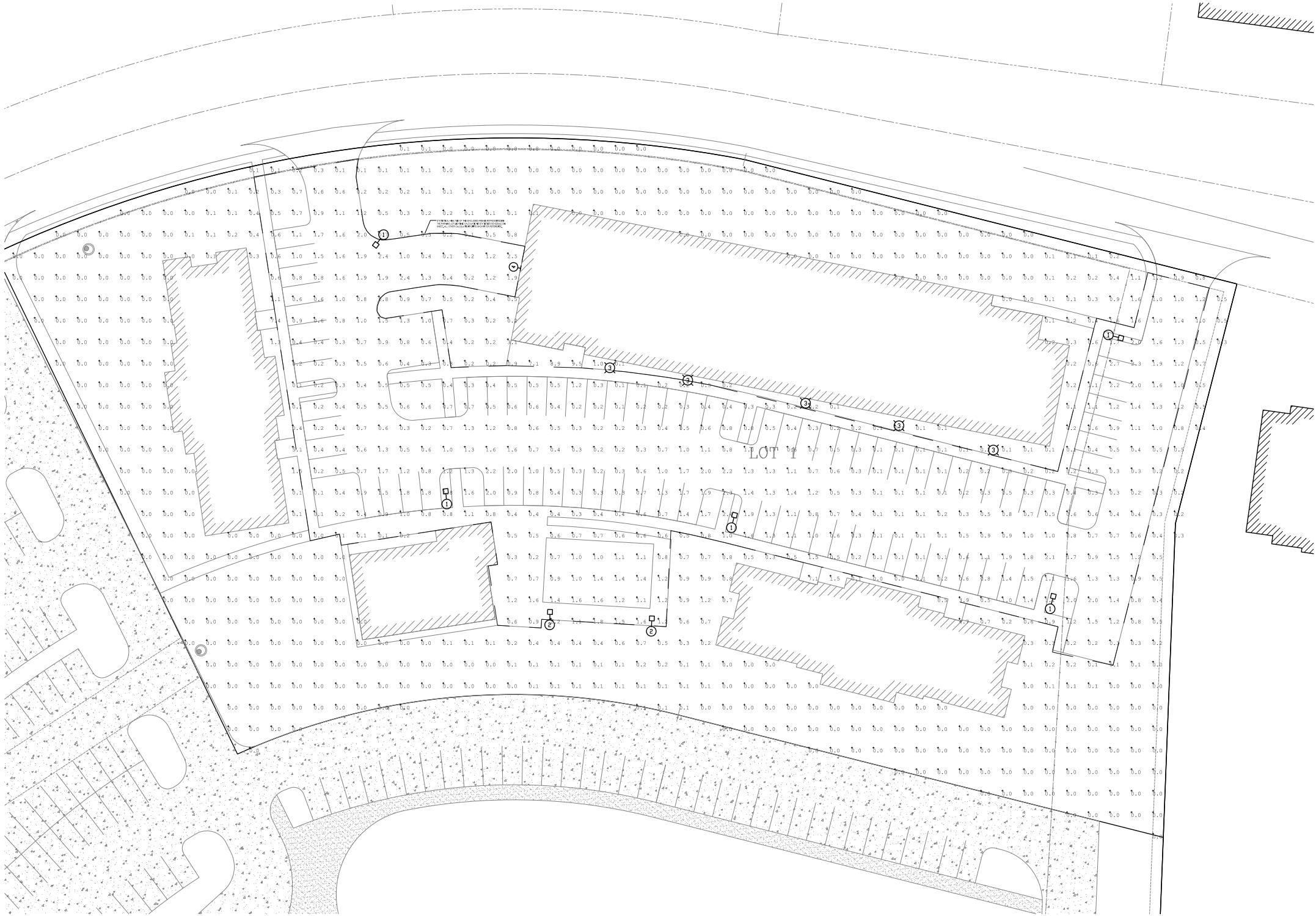


KNOW WHAT'S BELOW.  
Call 811

**Call before**

## LEGEND

SS	PROPERTY LINE	RETAINING WALL
ST	SANITARY SEWER	PHASE 1 PC CONCRETE PAVEMENT WITH INTEGRAL CURB AND GUTTER
ST	STORM SEWER	PHASE 1 PC CONCRETE SIDEWALK
FO	FIBER OPTIC	
G	GAS	BUILDING
W	WATER	(15) PARKING STALL COUNT
UP	UNDERGROUND POWER	===== PHASE LINE
OP	OVERHEAD POWER	SS PROPOSED SANITARY SEWER
T	TELEPHONE	ST PROPOSED STORM SEWER
CA	CABLE TELEVISION	(C) PROPOSED MANHOLE
(O)	MANHOLE	(A) PROPOSED F.E.S.
□□	CURB INLET	PROPOSED CURB INLET (BY OTHERS)
□□□	GRATE INLET	PROPOSED BASIN
□□□□	HOODED GRATE INLET	
◇	HYDRANT	
○	LIGHT POLE	
100'	PROPOSED CONTOUR	
100'	EXISTING CONTOUR	



AGENCY APPROVAL

## STRECK

## STRECK HOUSING

## SITE LIGHTING CALCULATIONS

SITE LIGHTING SCHEDULE											
FIXT #	MANUFACTURER	CATALOG NO. - NOTE 1	BEAM DIST.	LAMP DATA	VOLTAGE	QTY	POLE TYPE	POLE FINISH	HT.	DESCRIPTION	REMARKS
1	HUBBELL	HL2P-SR FLR 2L 700 4K 4V 4DS XX CL SLC UVR	1IV	19000LM LED	120V	1	XXX	DBS	20	SINGLE POLE HEAD	--
2	HUBBELL	UL2P-SR FLR 2L 325 4K 4V 4DS XX CL SLC UVR	1IV	10000LM LED	120V	1	XXX	DBS	20	SINGLE POLE HEAD	--
3	HUBBELL	CBR 9-36-120-LAT 36LED-9W-XX-XX	X	10000LM LED	120	1	XXX	X	3	OLLARD	--
4	LITHONIA	WKEB LED P3 4000K 800R	20000 LM	LED	120	1	--	--	--	EXT. WALL PACK	--

1. CONTRACTOR SHALL VERIFY LIGHT FIXTURE CATALOG NUMBER & INSTALLATION REQUIREMENTS PRIOR TO ORDERING.  
2. PIPE TYPE DESCRIPTION: SS = SQUARE STRAIGHT STEEL, STS = SQUARE TAPERED STEEL, RSS = ROUND STRAIGHT STEEL, RTS = ROUND TAPERED STEEL  
3. CONDUIT SIZES: 1/2", 3/4", 1", 1-1/4", 1-1/2", 2", 2-1/2", 3", 4", 5", 6", 8", 10", 12", 14", 16", 18", 20", 24", 30", 36", 42", 48", 54", 60", 72", 84", 96", 108", 120", 132", 144", 156", 168", 180", 192", 204", 216", 228", 240", 252", 264", 276", 288", 300", 312", 324", 336", 348", 360", 372", 384", 396", 408", 420", 432", 444", 456", 468", 480", 492", 504", 516", 528", 540", 552", 564", 576", 588", 600", 612", 624", 636", 648", 660", 672", 684", 696", 708", 720", 732", 744", 756", 768", 780", 792", 804", 816", 828", 840", 852", 864", 876", 888", 900", 912", 924", 936", 948", 960", 972", 984", 996", 1008", 1020", 1032", 1044", 1056", 1068", 1080", 1092", 1104", 1116", 1128", 1140", 1152", 1164", 1176", 1188", 1196", 1208", 1216", 1224", 1232", 1240", 1248", 1256", 1264", 1272", 1280", 1288", 1296", 1304", 1312", 1320", 1328", 1336", 1344", 1352", 1360", 1368", 1376", 1384", 1392", 1396", 1400", 1404", 1408", 1412", 1416", 1420", 1424", 1428", 1432", 1436", 1440", 1444", 1448", 1452", 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PARKING LOT LIGHTING CALCULATION STATISTICS	
AVERAGE FOOTCANDLES	1.39
MAXIMUM FOOTCANDLES	6.2
MINIMUM FOOTCANDLES	0.1
MAXIMUM TO MINIMUM RATIO	62:1

NOTES:

2. FULL TYPE DESIGNATION: **SSA-RTA-RTA** (SQUARE STRAIGHT ALUMINUM, SSA = SQUARE STRAIGHT ALUMINUM, RTA = ROUND TAPERED ALUMINUM, RTA = ROUND STRAIGHT ALUMINUM, RTA = ROUND TAPERED ALUMINUM)

MANUFACTURER SHALL PROVIDE A DETAILED POINT-BY-POINT CALCULATION TO VERIFY COMPLIANCE WITH LOCAL STREET AND PARKING LOT LIGHTING GUIDELINES.

2. CALCULATIONS DO NOT INCLUDE CONTRIBUTIONS FROM STREET OR EXISTING LIGHT FIXTURES. ACTUAL FOOTCANDLE LEVELS MAY VARY DEPENDING ON LOCATIONS AND QUANTITIES OF FIXTURES OUTSIDE OF PROPERTY LINE.

PRELIMINARY  
FOR CONSTRUCTION  
PROJECT: 20084  
DATE: 1/25/21

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## **AGENDA ITEM 4E**

**Conditional Use Permit—Portion of Lot 1 Harrison  
Hills—Streck, Inc.**



**CITY OF LA VISTA  
PLANNING DIVISION  
RECOMMENDATION REPORT**

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CASE NUMBERS: PCUP20-0007;

FOR HEARING OF: FEBRUARY 18, 2021  
REPORT PREPARED ON: FEBRUARY 9, 2021

**I. GENERAL INFORMATION**

**A. APPLICANT:**

Streck, Inc.  
7002 S 109<sup>th</sup> Street  
La Vista, NE 68128

**B. PROPERTY OWNER:**

Streck, Inc.  
7002 S 109<sup>th</sup> Street  
La Vista, NE 68128

**C. LOCATION:** 11725 S 118<sup>th</sup> Street; Generally located south of the intersection of S. 117<sup>th</sup> Street and Emiline Street.

**D. LEGAL DESCRIPTION:** Lot 1 Harrison Hills (to be replatted as Lot 1 Harrison Hills Replat 7).

**E. REQUESTED ACTION(S):** Approval of a Conditional Use Permit to allow for the construction and operation of a multi-family housing development on the proposed Lot 1 Harrison Hills Replat 7.

**F. EXISTING ZONING AND LAND USE:** R-3 – High-Density Residential, Gateway Corridor District (Overlay District), and Planned Unit Development; The site is currently vacant.

**G. PURPOSE OF REQUEST:** To allow for the development of multi-family housing units (apartments).

**H. SIZE OF SITE:** Approximately 3.03 acres.

**II. BACKGROUND INFORMATION**

**A. EXISTING CONDITION OF SITE:** The property slopes gradually downward to the south and to the west;

## B. GENERAL NEIGHBORHOOD/AREA LAND USES AND ZONING:

<u>Direction From Subject Property</u>	<u>Future Land Use Designation</u>	<u>Current Zoning Designation</u>	<u>Surrounding Development</u>
North	Commercial	C-3 Highway Commercial/Office Park District, Gateway Corridor District (Overlay District)	Vacant properties, Casey's under development, Restaurant Depot
East	High-Density Residential	R-3 High-Density Residential	Harrison Hills Apartments
South	Industrial	I-1 Light-Industrial	Stepper-ettes Dance, SalonCentric
West	Parks and Recreation	TA – Transitional Agriculture, Gateway Corridor District (Overlay District)	Vacant property, old sod farm property

## C. RELEVANT CASE HISTORY:

1. A Planned Unit Development Site Plan was approved by Council on November 5, 2019 for Lots 1 and 16 Harrison Hills to prepare for the development of Streck, Inc.'s new facility.
2. Phase 1 of construction for Streck, Inc.'s new facility is nearing completion.
3. The subject property was rezoned to R-3 High Density Residential with PUD District and Gateway Corridor District overlays on December 15, 2020.

## D. APPLICABLE REGULATIONS:

1. Article 6 of the Zoning Regulations – Conditional Use Permits
2. Section 5.08 of the Zoning Regulations – R-3 High Density Residential.
3. Section 5.15 of the Zoning Regulations – PUD Planned Unit Development District (Overlay District).
4. Section 5.17 of the Zoning Regulations – Gateway Corridor District (Overlay District).

## III. ANALYSIS

### A. COMPREHENSIVE PLAN:

1. This proposal directly supports Policy Work-3.3 of the La Vista Comprehensive Plan: "Support the development of new live/work units in areas adjacent to large-scale employment areas" related to Goal Work-3: "Create a dynamic urban environment that is the preferred location for innovative, creative businesses and emerging industries". Streck, Inc. is one of La Vista's largest employers, and the development of housing

adjacent to their facility will aid in their ability to provide affordable housing for their employees and recruit quality employees from elsewhere to live in La Vista.

2. The Future Land Use Map of the Comprehensive Plan currently designates this property for a high-density residential use. This use allows for the development of the proposed multi-family development.
3. This proposal is compatible with surrounding land-use patterns, as directly to the east are Lots 1-4 Harrison Hills Replat 2 which contain the Harrison Hills Apartments. These four lots are designated as High-Density Residential in the Future Land Use Map, and are zoned R-3 High-Density Residential.

**B. OTHER PLANS: N/A.**

**C. TRAFFIC AND ACCESS:**

1. Access to this property would be through Emilie Street, which connects to the arterial Harrison Street through intersections at 115<sup>th</sup>, 117<sup>th</sup>, and 118<sup>th</sup> Street. These streets have sufficient capacity to handle the traffic demands of multifamily residential development.
2. A draft traffic memo has been submitted to the City that analyzes impacts to the traffic signals on Harrison Street. The memo has been forwarded to the City of Omaha for their review as the impacted traffic signal on Harrison Street is under the jurisdiction of Omaha.

**D. UTILITIES:**

1. The property has access to sanitary sewer, water, gas, power, and communication utilities.

**E. PARKING REQUIREMENTS:**

1. All developments will need to meet the minimum parking requirements of the underlying zoning district, unless as modified by the PUD site plan and ordinance for this area as amended.

**F. LANDSCAPING:**

1. The landscaping for any developments on this site will need to comply with the requirements of the Zoning Ordinance and of the Gateway Corridor Design Guidelines. Review letters from the City's Design Review Architect regarding the proposed landscaping plan are included for review.

**IV. REVIEW COMMENTS:**

- A. The design of each building is being reviewed through the City's Architectural Design Review process, and must be substantially complete prior to execution and recording of this Conditional Use Permit and issuance of any building permits. The architectural

elevations (Exhibit F) of the attached Conditional Use Permit are conceptual and may change as a result of the Design Review process.

- B. Any traffic signal improvements required by the City of Omaha must be completed prior to the issuance of a Certificate of Occupancy and is addressed through the Subdivision Agreement as part of the Final Plat process.
- C. In addition to the approval of a Conditional Use Permit and prior to development, the applicant will be required to receive approval of the revised PUD Site Plan as well as Harrison Hills Replat 7 and related subdivision agreement. The applicant will also be required to complete the design review process prior to commencement of development of the property.
- D. A draft of the Conditional Use Permit has been included in the packet for review.

**V. STAFF RECOMMENDATION – CONDITIONAL USE PERMIT:**

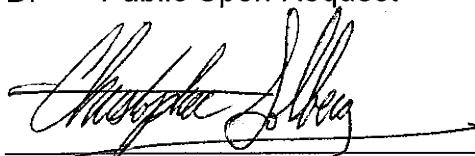
Staff recommends approval of the Conditional Use Permit for Lot 1 Harrison Hills Replat 7 contingent on the resolution of the issues mentioned in this staff report, as the request is consistent with the Comprehensive Plan and the Zoning Ordinance.

**VII. ATTACHMENTS TO REPORT:**

- A. Vicinity Map
- B. Staff Review Letters
- C. Draft Conditional Use Permit w/ Exhibits

**VIII. COPIES OF REPORT SENT TO:**

- A. Constance Ryan, Streck, Inc.
- B. Caleb Snyder, Lamp Rynearson
- C. Zach Reinhardt, Burlington Capital
- D. Public Upon Request



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Prepared by: Deputy Community Development Director



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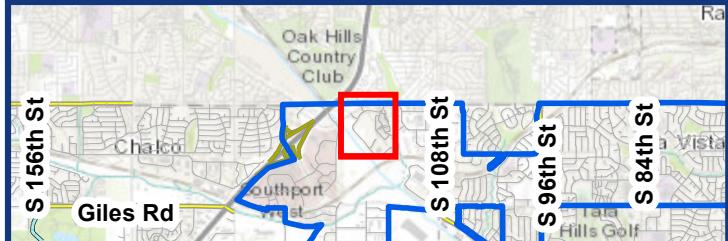
Community Development Director

2-11-21

Date



### Conditional Use Permit Vicinity Map



**Streck, Inc.**  
**Portion of Lot 1 Harrison Hills**

2/12/2021 CB





December 23, 2020

Zach Reinhardt  
Burlington Capital  
1004 Farnam St. Ste 400  
Omaha, NE 68102

RE: Conditional Use Permit – Multifamily Housing – Initial Review Letter  
Portion of Lot 1 Harrison Hills

Mr. Reinhardt,

We have reviewed the documents submitted for the above-referenced application. Based on the elements for consideration set forth in the applicable sections of the Zoning Ordinance, the City has the following comments:

1. Section 6.05.01 – Project will likely require FAA review and approval due to the proximity to the Millard Airport.
2. Section 6.05.04 – The storm sewer design and accompanying drainage report will need to be revised to account for the additional impervious area, and to ensure the Post Construction Stormwater Management Plan meets the requirements of Section 154 of the Municipal Code. Submittals should be revised to show the existing storm sewer system as well as the proposed storm sewer system as to show if there are any proposed modifications to the existing storm sewer system to account for the revisions.
3. Section 6.05.10 – The traffic study will need to be reviewed and approved by the City of Omaha. If the City of Omaha requires any improvements to the intersections of 118<sup>th</sup> and Harrison Streets and/or 115<sup>th</sup>/116<sup>th</sup> and Harrison Streets, the improvements will need to be made as part of this project.

**City Hall**  
8116 Park View Blvd.  
La Vista, NE 68128-2198  
402.331.4343 P  
402.331.4375 F

**Community Development**  
8116 Park View Blvd.  
402.593.6400 P  
402.593.6445 F

**Library**  
9110 Giles Rd.  
402.537.3900 P  
402.537.3902 F

**Police**  
7701 S. 96th St.  
402.331.1582 P  
402.331.7210 F

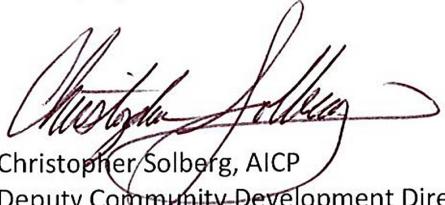
**Public Works**  
9900 Portal Rd.  
402.331.8927 P  
402.331.1051 F

**Recreation**  
8116 Park View Blvd.  
402.331.3455 P  
402.331.0299 F

Please submit 4 full size revised copies of the CUP plans and related documents (along with electronic copies) to the City for further review. A timeline for review by the Planning Commission and City Council will be determined based on the timing of the resubmittal and the extent to which the issues noted this review have been sufficiently addressed.

If you have any questions regarding these comments, please feel free to contact me at any time.

Thank you,



Christopher Solberg, AICP  
Deputy Community Development Director

cc:

Caleb Snyder, Lamp Rynearson  
Constance Ryan, Streck Inc.  
Bruce Fountain, Community Development Director – City of La Vista  
Pat Dowse, City Engineer – City of La Vista

January 25, 2021

Mr. Christopher Solberg, AICP  
City of La Vista  
Senior Planner  
8116 Park View Blvd  
La Vista, NE 68128

14710 W. Dodge Rd., Ste. 100  
Omaha, NE 68154  
[P] 402.496.2498  
[F] 402.496.2730  
LampRynearson.com

Reference: Streck, Inc. – Harrison Hills  
Conditional Use Permit Submittal Comments  
Project No.: 0118087.06-003

Dear Mr. Solberg:

Submitted herewith are our responses to the comments included in the City of La Vista's Harrison Hills, portion of Lot 1, Conditional Use Permit – Multifamily Housing initial review letter dated December 23, 2020 regarding the Streck, Inc. – Harrison Hills submittal.

**Review Comments:**

1. Section 6.05.01 – Project will likely require FAA review and approval due to the proximity to the Millard Airport.

**Response:** Agreed. Once the finished floors have been established and prior to producing final construction documents, the project will be submitted to the FAA for their review and approval.

2. Section 6.05.04 – The storm sewer design and accompanying drainage report will need to be revised to account for the additional impervious area, and to ensure the Post Construction Stormwater Management Plan meets the requirements of Section 154 of the Municipal Code. Submittals should be revised to show the existing storm sewer system as well as the proposed storm sewer system as to show if there are any proposed modifications to the existing storm sewer system to account for the revisions.

**Response:** The updated drainage study has been included for the city's review. The original design of the dry detention basin assumed that the site would utilize the city's maximum allowable imperviousness for an I-1 Light Industrial use which is 65%. The proposed site impervious is below that originally assumed value of 65% so the updated drainage study shows that the basin meets the requirements of Section 154 of the Municipal Code.

3. Section 6.05.10 – The traffic study will need to be reviewed and approved by the City of Omaha. If the City of Omaha requires any improvements to the intersections of 118<sup>th</sup> and Harrison Streets and/or 115<sup>th</sup>/116<sup>th</sup> and Harrison Streets, the improvements will need to be made as part of this project.

**Response:** The updated traffic memo has been submitted to the City of Omaha for their review and comment.

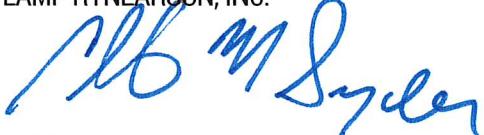
Documents enclosed are as follows:

1. Streck Inc. Harrison Hills Facility Drainage Study, 4 Copies

Please call if you have any questions or concerns regarding this submittal.

Sincerely;

LAMP RYNEARSON, INC.



Caleb M. Snyder, P.E.  
Project Manager

Enclosures

c: John Noble, Streck, Inc.  
Zach Reinhardt, Burlington Capital  
Tom Zuk, Holland Basham Architects  
David Warner, Holland Basham Architects

**CITY OF LAVISTA  
CONDITIONAL USE PERMIT**

**Conditional Use Permit for Multiple Family Dwellings  
(Streck Workforce Housing)  
Lot 1 Harrison Hills Replat 7**

This Conditional Use Permit is issued this \_\_\_\_\_ day of \_\_\_\_\_ 2021 by the City of La Vista, a municipal corporation in Sarpy County, Nebraska ("City") to Streck, Inc., an corporation authorized to do business in Nebraska ("Owner"), pursuant to the La Vista Zoning Ordinance.

WHEREAS, Owner wishes to construct and operate a multiple family dwelling complex to be known as the Streck Workforce Housing upon the following described tract of land within the City of La Vista's zoning jurisdiction:

Lot 1 Harrison Hills Replat 7, a subdivision in Sarpy County, Nebraska (the "Property") as depicted in Exhibit "A" the final plat; and

WHEREAS, Owner has applied for a Conditional Use Permit for the purpose of constructing and operating a multiple family dwelling complex on the Property as described above; and

WHEREAS, the Mayor and City Council of the City of La Vista are agreeable to the issuance of a Conditional Use Permit to the Owner for such purposes, subject to certain conditions and agreements as hereinafter provided (the "Permit").

NOW, THEREFORE, BE IT KNOWN THAT subject to the conditions hereof, this Permit is issued to the Owner to use the Property for the purposes described above, said use hereinafter being referred to interchangeably as a "Permitted Uses" or "Uses".

**Conditions of the Permit**

The conditions to which the granting of this Permit is subject are as follows:

1. Development and operation on the Property is governed by this Permit. The rights granted by this Permit are transferable and any material breach hereof shall cause Permit to expire and terminate, subject to the rights of the Owner to cure such default or deficiency as set forth in this Permit.
2. In respect to the proposed Uses:
  - a. The site plan (the "Site Plan") showing the Property's boundaries, all existing and proposed easements, proposed structures, parking, access points, and drives, is attached hereto and incorporated herein as Exhibit "B".
  - b. Operations on the property will be limited to and carried out in accordance with the Operational Statement attached as Exhibit "C" and incorporated into this permit by reference.
  - c. Architectural review of the building design, landscaping, and lighting has been completed and the foregoing plans are approved as shown in Exhibits "D" through "F".
  - d. The Property shall be developed and maintained in accordance with the Site Plan and all other Exhibits of this Agreement, as well as the final plat of Harrison Hills Replat 7 ("Final Plat"), Planned Unit Development Plan ("PUD") and Subdivision Agreement applicable to the Property, ("Subdivision Agreement"), as approved by the City and incorporated herein by this reference. Any modifications

to the Site Plan must be submitted to the Chief Building Official for approval. Modification of any other document or Exhibit shall be subject to approval of the City, as directed by the City Administrator, unless otherwise expressly provided in the document or Exhibit to be modified.

- e. All signage, including without limitation design, location, placement and dimensions, shall be subject to approval of the Community Development Department, per the La Vista Zoning Ordinance.
- f. As-built topographic surveys of the storm water detention areas constructed in accordance with the Subdivision Agreement shall be provided to the City before certificates of occupancy are issued for any completed building on the Property, with a requirement that any variances from the approved detention plans be corrected, or certified as inconsequential, to the satisfaction of the City Engineer prior to issuing such certificates.
- g. No vehicle repair (other than emergency maintenance such as changing a tire), inoperable or abandoned vehicles, or storage of vehicles shall be allowed in the parking areas on the Property shown on Exhibit "B". The Owner shall have seventy-two (72) hours after notice from the City or other appropriate political subdivision to correct any violation or cause the removal of any such vehicle that is in violation.
- h. Owner shall obtain all required permits for the Uses from the City of La Vista.
- i. Owner shall comply (and shall ensure that all structures, appurtenances and improvements on the Property at any time comply) with any applicable federal, state and/or local laws, rules or regulations, as amended or in effect from time to time, including, but not limited to, applicable building codes, fire codes, ADA requirements, and environmental or safety laws, rules or regulations.
- j. Owner hereby indemnifies the City against, and holds the City harmless from, any liability, loss, claim or expense whatsoever (including, but not limited to, reasonable attorney fees and court cost) arising out of or resulting from the acts, omissions or negligence of the Owner or its agents, employees, assigns, suppliers or invitees relating to the Owner's Uses of the Property, including, but not limited to, any liability, loss, claim or expense arising out of or resulting from any violations of any applicable environmental or safety law, rule or regulation but excluding any liability, loss, claim or expense proximately caused by the sole negligence of the City.
- k. A drainage study for the Property has been completed, as referenced in the Subdivision Agreement, with respect to the proposed Uses on Harrison Hills Replat 7. Owner agrees to comply with requirements related to drainage that are specified in said Subdivision Agreement.
- m. Owner shall ensure that the leasing and business office on the property will be staffed during normal business hours.
- n. If at any time any part of Lot 1 Harrison Hills Replat 7 is owned by any person or entity other than Owner, all owners shall cooperate and coordinate to carry out Subdivider (as "Subdivider" is defined in the Subdivision Agreement) obligations under the Subdivision Agreement.
- o. There shall not be any outside storage of materials. All trash receptacles, benches and planters shall be placed on property and securely fastened to building or concrete. Trash dumpsters shall be placed with a trash enclosure of six feet in height and screened accordingly.
- p. Landscaping requirements from Section 7.17 of the City of La Vista Zoning Ordinance shall be satisfied and maintained in accordance with the approved landscaping plan (Exhibit "D") and the requirements of the Gateway Corridor District.

3. The Owner's right to maintain the Uses of the Property, as contemplated by this Permit, shall be based on the following conditions:

- a. An annual inspection to determine compliance with the conditions of this Permit. The Permit may be revoked (with respect to a particular Use) only upon a finding by the City that there is a material violation of the material terms of this Permit if the violation occurs after written notice from the City to Owner and opportunity to cure in the time and manner described below.
- b. Construction will be in accordance with the City Building Code. Time limitation for building permits shall be in accordance with the City Building Code. Extensions shall be requested in writing and justifiable cause demonstrated.

- c. All obsolete or unused structures, accessory facilities or materials with an environmental or safety hazard shall be abated and/or removed from the Property at Owner's expense within twelve (12) months of cessation of the Use of the Property as related to said structures, facilities or materials.
- 4. Notwithstanding any other provision herein to the contrary, this Permit, and all rights granted hereby, shall expire and terminate as to a Permitted Use hereunder upon the first of the following to occur:
  - a. Owner's abandonment of the Permitted Use. There shall be a presumption that the project on the Property has been abandoned if the Owner fails to commence construction of the buildings within the time provided by Section 4(b) above.
  - b. Cancellation, revocation, denial or failure to maintain any federal, state or local permit required for the Uses, and such cancellation, revocation denial or failure to maintain any federal, state or local permit required for the use is not cured in the time and manner described below, so long as curative rights are provided under laws, rules and regulations governing said permit.
  - c. Owner's construction or placement of a storage tank, structure or other improvement on the Property, (except during construction of any phase of the project) not specified in this Permit and Owner's failure to cure such breach in the time and manner described below after City's giving notice thereof.
  - d. Owner's breach of other terms hereof and its failure to cure such breach in the time and manner set forth below.
- 5. If construction of the improvements on the Property has not been commenced within twelve (12) months from the date of this Permit, this Permit shall be null and void and all rights hereunder shall lapse; provided, however, Owner shall have the right to file for an extension of time pursuant to the La Vista Zoning Ordinance.
- 6. If the Owner upon the expiration or termination of this Permit fails to promptly remove any remaining safety, environmental or other hazard or nuisance, the City may at its option (but without any obligation to the Owner or any third party to exercise said option) cause the same to be removed at Owner's cost (including, but not limited to, the cost of any excavation and earthwork that is necessary or advisable in connection with the removal thereof) and the Owner shall reimburse the City the costs incurred to remove the same. Owner hereby irrevocably grants the City, its agents and employees the right, provided notice is furnished to the Owner along with a reasonable time to remove or cure such hazard, to enter the Property and to take whatever action as is necessary or appropriate to remove any such hazards or nuisances in accordance with the terms of this Permit, and the right of the City to enter the Property as may be necessary or appropriate to carry out any other provision of this Permit.
- 7. If any provision, or any portion thereof, contained in this Permit is held to be unconstitutional, invalid, or unenforceable, the remaining provisions hereof, or portions thereof, shall be deemed severable, shall not be affected, and shall remain in full force and effect.
- 8. The conditions and terms of this Permit shall constitute covenants running with the land and shall be binding upon, and shall inure to the benefit of, the Owner, its successors and assigns.
- 9. Delay of City to terminate this Permit on account of breach of Owner of any terms hereof in accordance with the terms hereof shall not constitute a waiver of City's right to terminate this Permit, unless the City has expressly waived said breach. A waiver of the right to terminate upon any breach shall not constitute a waiver of the right to terminate upon a subsequent breach of the terms hereof, whether said breach be of the same or different nature.
- 10. Cure Rights. Notwithstanding any other provision of this Permit to the contrary, Owner shall be entitled to written notice and opportunity to cure a breach of this Permit as follows. City will notify the Owner in writing of any breach of this Permit and Owner shall be permitted to cure any breach. Such written

notice shall specify the particular conditions giving rise to the breach, and, to the extent known, what actions are required to cure such breach. Cure shall be commenced and completed as soon as possible and in all cases within thirty (30) days after City provides notice of breach; provided, however, in any case that cure cannot be completed within 30 days, additional time will be allowed, so long as cure is commenced within the time required in this Section 10 and diligently pursued and completed as soon as is reasonably possible, and allowing additional time does not substantially increase risk of harm to persons or property. City shall have the right to terminate this Permit if a breach is not timely cured.

11. Nothing herein shall be construed to be a waiver or suspension of, or an agreement on the part of the City to waive or suspend, any zoning law or regulation applicable to the premises except to the extent and for the duration specifically authorized by this Permit.
12. Any notice to be given by City hereunder shall be in writing and shall be sufficiently given if sent by regular mail, postage prepaid, addressed as follows:

To Owner: Streck, Inc.  
7002 S 109<sup>th</sup> St  
La Vista, NE 68128

13. All recitals at the beginning of this document and exhibits or other documents referenced in this Permit shall be incorporated herein by reference.
14. Exhibits. The following exhibits are incorporated herein by reference:

Exhibit "A":	Final Plat
Exhibit "B":	Site Plan
Exhibit "C":	Operating Statement
Exhibit "D":	Landscaping Plan
Exhibit "E":	Site Lighting Plan
Exhibit "F":	Elevation Renderings

### Effective Date:

This Permit shall take effect upon the filing hereof with the City Clerk a signed original hereof

## THE CITY OF LA VISTA

By \_\_\_\_\_  
Douglas Kindig, Mayor

Attest:

---

Pamela A Buethe, CMC  
City Clerk

## ACKNOWLEDGMENT OF NOTARY

STATE OF NEBRASKA )  
 ) ss.  
COUNTY OF SARPY )

On this \_\_\_\_\_ day of \_\_\_\_\_, 2021, before me a Notary Public, duly commissioned and qualified in and for said County, appeared Douglas Kindig, personally known by me to be the Mayor of the City of La Vista and Pamela Buethe, to me personally known to be the City Clerk of the City of La Vista, the identical persons whose names are affixed to the foregoing Permit, and they acknowledged the execution thereof to be their voluntary act and deed.

WITNESS my hand and Notarial Seal the day and year last above written.

**CONSENT AND AGREEMENT** The undersigned does hereby consent and agree to the conditions of this permit and that the terms hereof constitute an agreement on the part of the undersigned to fully and timely perform each and every condition and term hereof, and the undersigned does hereby warrant, covenant and agree to fully and timely perform and discharge all obligations and liabilities herein required by Owner to be performed or discharged.

Owner:

Streck, Inc.

By: \_\_\_\_\_, it's owner

## ACKNOWLEDGMENT OF NOTARY

STATE OF NEBRASKA )  
COUNTY OF \_\_\_\_\_ )

On this \_\_\_\_\_ day of \_\_\_\_\_, 2021, before me a Notary Public, duly commissioned and qualified in and for said County, appeared \_\_\_\_\_ personally known by me to be an owner of Streck Inc., a limited liability company, and the identical person whose name is affixed to the foregoing Permit, and acknowledged the execution thereof to be his voluntary act and deed and the voluntary act and deed of said company.

WITNESS my hand and Notarial Seal the day and year last above written.

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## Notary Public



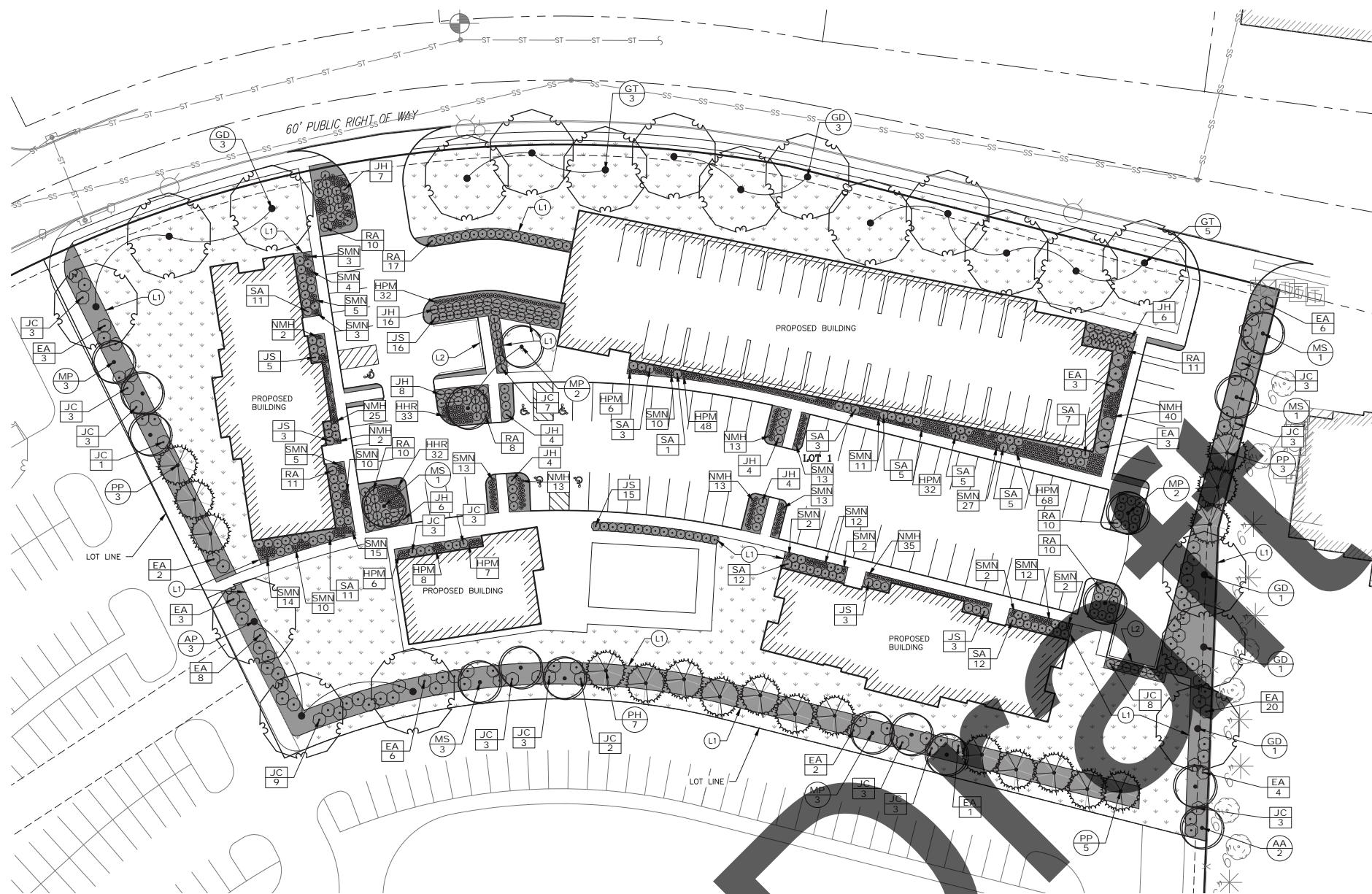


# Exhibit C

## Streck Housing Lot 1 Replat 7 Conditional Use Permit Operating Statement

The Streck Housing Project is an employer-assisted, workforce housing project targeted to Streck employees that work at the neighboring Streck campus. The multifamily residential project will provide a unique opportunity for Streck employees to live within walking distance of their workplace. This arrangement will improve affordability of housing for the employees of Streck, while providing a convenient living option. There is also the potential for Streck to partner with other local businesses to provide workforce housing to non-Streck employees. The project will include approximately 84 residential units spread across three buildings, with amenities for residents and their guests, including an on-site clubhouse and pool. Additionally, the project includes approximately 38 enclosed garage stalls and approximately 79 surface parking stalls.

Draft



#### GENERAL NOTES

1. CONTRACTOR TO VERIFY LOCATION OF ALL PROPOSED AND EXISTING VAULTS, ELECTRICAL DUCT BANKS, MANHOLES, CONDUIT AND PIPING, DRAINAGE STRUCTURES AND OTHER UTILITIES PRIOR TO COMMENCING WORK.
2. CONTRACTOR SHALL NOT WILLFULLY INSTALL ANY PROPOSED LANDSCAPE IMPROVEMENTS WHEN CONFLICTS EXIST BETWEEN LANDSCAPE IMPROVEMENTS AND EXISTING OR PROPOSED UTILITIES OR SITE FEATURES SUCH AS WALKS, ROADS, BUILDINGS OR EXISTING TREES TO REMAIN.
3. VERIFY LOCATION OF ALL BUILDINGS, WALLS, ROADS AND CURBS AFFECTING LANDSCAPE SCOPE OF WORK WITH ARCHITECTS AND CONTRACTOR ENGINEER'S DRAWINGS.
4. ALL WORK PERFORMED WITHIN THE DRIP LINE OF TREES DESIGNATED "EXISTING TREES TO REMAIN" SHALL BE HAND LABOR.
5. REFERENCE TO NORTH REFERS TO TRUE NORTH, REFERENCE TO SCALE IS FOR FULL-SIZED DRAWINGS ONLY. DO NOT SCALE FROM REDUCED DRAWINGS.
6. DIMENSIONS TAKE PRECEDENCE OVER SCALES SHOWN ON DRAWINGS.
7. WHERE NOT SHOWN ON THE PLANTING PLANS, SEE CONTRACTOR ENGINEER'S AND ARCHITECT'S DRAWINGS FOR BUILDING FOUNDATIONS SETBACKS, BOUNDARIES, SUBSURFACE AND ABOVE GRADE UTILITIES.

#### TREE PLANTING NOTES

1. PROVIDE MATCHING SIZES AND FORMS FOR EACH SPECIES OF TREE INSTALLED ON GRID OR PAVED AREAS. FILL BASIN WITH TRIPLE SHREDDED HARDWOOD MULCH PER TREE PLANTING DETAILS, SHEET 2 OF 2.
2. FORM A MINIMUM 30 INCH WATERING BASIN AROUND ALL TREES NOT INSTALLED IN LAWNS OR PAVED AREAS. FILL BASIN WITH TRIPLE SHREDDED HARDWOOD MULCH PER TREE PLANTING DETAILS, SHEET 2 OF 2.
3. REPLACEMENT OF UNACCEPTABLE PLANT MATERIAL: THE CONTRACTOR'S RESPONSIBILITY FOR REPLACEMENT OF UNACCEPTABLE PLANT MATERIAL SHALL EXTEND FOR TWO (2) YEARS AFTER ALL PLANT MATERIAL IS ACCEPTED BY THE ENGINEER.
4. MULCH: THE CONTRACTOR SHALL PLACE TRIPLE SHREDDED HARDWOOD MULCH IN A CONSISTENT THICKNESS AS NOTED IN THE PLANTING DETAILS. ANY MULCH PLACED IN EXCESS OF THE REQUIREMENTS SHALL BE AT THE CONTRACTOR'S EXPENSE. CHIPS OR BARK MULCH ARE NOT ALLOWED.

#### PLANTING NOTES

1. INSTALL ALL TREES A MINIMUM OF FOUR (4) FEET FROM BACK OF CURB, EDGE OF WALL OR PAVING.
2. THE LOCATION OF ALL TREES SHALL BE APPROVED BY LANDSCAPE ARCHITECT PRIOR TO FINAL INSTALLATION.
3. PLANT NAMES ARE ABBREVIATED ON THE DRAWINGS. SEE PLANT LIST FOR KEY AND CLASSIFICATION.
4. PLACE A 2" MINIMUM AND 3" MAXIMUM DEPTH LAYER OF TRIPLE SHREDDED HARDWOOD MULCH ON ALL PLANTING AREAS EXCEPT LAWN. SUBMIT SAMPLE TO LANDSCAPE ARCHITECT FOR APPROVAL.
5. LOCATION OF ALL PLANTING IS DIAGRAMMATIC. DO NOT WILLFULLY LOCATE PLANTINGS WHERE CONFLICTS EXIST WITH UTILITIES OR THE BUILDING.
6. EXISTING AND IMPORTED SOIL FOR PLANTING AREAS SHALL BE FREE FROM CHEMICALS, CONSTRUCTION DEBRIS AND TRASH, ROCKS AND OTHER MATERIAL LARGER THAN ONE INCH IN DIAMETER.
7. STEEL EDGING PLACEMENT SHALL BE REVIEWED BY LANDSCAPE ARCHITECT PRIOR TO FINAL INSTALLATION. PROVIDE AN ALLOWANCE OF 5 PERCENT OF THE TOTAL LINEAL FOOTAGE OF EDGING TO BE CONSTRUCTED DURING THE PROGRESS OF WORK, AS MAY BE DIRECTED BY THE LANDSCAPE ARCHITECT, IN ADDITION TO ALL EDGING INDICATED ON THE DRAWINGS.
8. APPLY GRANULAR PRE-EMERGENT WEED CONTROL TO AREAS TO RECEIVE SHRUBS, GROUNDCOVERS, AND NON-LAWN ORNAMENTAL PLANTING AFTER INCORPORATING SOIL AMENDMENTS. THE CONTRACTOR SHALL PLACE SHREDDED HARDWOOD MULCH AT ALL LANDSCAPED ISLANDS NOT RECEIVING SOD.
9. PLANT QUANTITIES ARE SHOWN FOR THE CONVENIENCE TO THE CONTRACTOR. IF THERE ARE DISCREPANCIES BETWEEN THE PLAN AND NOTES, THE PLANS SHALL GOVERN.
10. ALL PLANTED AREAS TO BE AMENDED PER AN AGRICULTURAL/SOIL SUITABILITY TEST, PAID FOR BY OWNER. FOR BID PURPOSES CONTRACTOR SHALL ESTIMATE SPREADING SOIL AMENDMENT AT THE RATE OF 6 CUBIC YARDS PER 1,000 SQUARE FEET. TILL INTO THE TOP OF SOIL TO A MINIMUM DEPTH OF 6". RAKE TO A SMOOTH, EVEN SURFACE PER THE GRADING PLANS.

#### SEED AND SOD NOTES

1. SOD SHALL BE A FIRST-CLASS REPRESENTATION OF SPECIFIED SPECIES. SOD SHALL RECEIVE FERTILIZER AT THE RATE OF 9 POUNDS NITROGEN (N2) AND 24 POUNDS PHOSPHORIC ACID (P2O5) PER 1000 SQUARE YARDS AND IN ACCORDANCE WITH THE CITY OF OMAHA "STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION," 2014 EDITION AND ANY CURRENT REVISION OR AMENDMENTS THERETO SHALL APPLY.
2. MAINTENANCE: BEGIN MAINTENANCE OF ALL SOD AND SEED AREAS IMMEDIATELY FOLLOWING INSTALLATION. MAINTENANCE TO INCLUDE WATERING, WEEDING, AND MOWING. WHEN TURF HAS GROWN TO A HEIGHT BETWEEN 3 AND 4 INCHES, MOW TO A HEIGHT OF 2 TO 2-1/2 INCHES. REMOVE AND REPLACE SODDED AREAS THAT FAIL TO SURVIVE. MAINTENANCE PERIOD TO BE 30 DAYS. CONTRACTOR TO NOTIFY OWNER ONE WEEK PRIOR TO THE CONCLUSION OF THE MAINTENANCE PERIOD.
3. LAWN AND TURF SEED, WHETHER IRRIGATED OR NON-IRRIGATED, SHALL BE INTERAGENCY BLUETAG CERTIFIED AND SHALL HAVE A MINIMUM GERMINATION RATE OF NINETY (90) PERCENT AND A PURITY OF NINETY-EIGHT (98) PERCENT, SEE SURFACE RESTORATION SCHEDULE.
4. ALL SEEDED AREAS SHALL RECEIVE FERTILIZER AND EROSION CONTROL MATTING CONFORMING TO THE REQUIREMENTS OF THE CITY OF OMAHA STANDARD SPECIFICATIONS FOR PUBLIC WORKS, SEE SURFACE RESTORATION SCHEDULE.
5. RESEEDING AND/OR RESODDING FOR DISTURBED AREAS OUTSIDE OF CONSTRUCTION LIMITS: THE CONTRACTOR WILL RESEED AND/OR RESOD ALL AREAS DISTURBED DURING THE COURSE OF CONSTRUCTION. THIS ITEM WILL NOT BE PAID FOR SEPARATELY, BUT WILL BE CONSIDERED INCIDENTAL TO THE PLANTING OF NEW VEGETATION.

#### SCARIFIED AND CONDITIONED SOIL NOTES

1. ALL NON-PAVED AND NON-BUILDING DISTURBED AREAS SHALL BE SCARIFIED BY COMPLETELY BREAKING UP THE SOIL TO A MINIMUM DEPTH OF 12".
2. TILL AND CONDITION TOP 6" OF ALL MULCHED PLANTING BEDS.
3. USE AN ORGANIC COMPOST MEETING THE REQUIREMENTS SPECIFIED BELOW.
4. A THREE INCH DEEP LAYER OF COMPOST SHALL BE PLACED ON TOP OF ALL PLANTING BEDS.
5. THE COMPOST SHALL BE TILLED INTO THE EXISTING SOIL TO A DEPTH OF SIX INCHES.

#### COMPOST

USE A COMPOST MEETING THE REQUIREMENTS OF THIS SECTION. MATERIAL SHALL BE WELL COMPOSTED, FREE OF WEED SEEDS AND STABILIZED WITH REGARD TO OXYGEN CONSUMPTION AND CARBON DIOXIDE GENERATION. COMPOST SHALL HAVE A MOISTURE CONTENT THAT HAS NO VISIBLE FREE WATER OR DUST PRODUCED WHEN HANDLING THE MATERIAL. ONE HUNDRED PERCENT OF THE MATERIAL MUST PASS THROUGH A HALF INCH SCREEN. MANUFACTURED INERT MATERIAL SHALL BE LESS THAN 1.0% BY WEIGHT.

ORGANIC MATTER CONTENT	MIN.	MAX.
C/N RATIO	—	65%
PH	6.0	25.1
BULK DENSITY (LBS/CF)	40	8.0
	50	

#### PLANT SCHEDULE

CODE	BOTANICAL NAME	COMMON NAME	PLANTING SIZE	HEIGHT	WIDTH
<b>DECIDUOUS TREES</b>					
AR	ACER RUBRUM 'MAGNIFICENT MAGENTA'	BURGUNDY BELLE RED MAPLE	2.5" CAL.	30-50	20-30
GT	GLEDTISIA TRIACANTHOS VAR. INERMIS 'HALKA'	HALKA HONEYLOCUST	2.5" CAL.	30-50	20-30
CO	CELTIS OCCIDENTALIS 'PRAIRIE PRIDE'	PRairie PRIDE HACKBERRY	2.5" CAL.	30-50	20-30
QV	QUERCUS VIRGINIANA	HERITAGE OAK	2.5" CAL.	30-50	20-30
AP	ACER PLATANOIDES	NORWAY MAPLE	2.5" CAL.	30-50	20-30
GD	GYMNOCLAUDUS DIOICUS ESPRESSO	KENTUCKY COFFEE	2.5" CAL.	30-50	20-30
AA	AMELANCHIER ARBOREA 'CLUMP FORM'	DOWNTOWN SERVICEBERRY	2.5" CAL.	15-25	15-25
MP	MALUS PRUNIFLORA	PRairie FIRE CRABAPPLE	2.5" CAL.	15-25	15-25
MS	MALUS SNOWDRIFT	SNOW DRIFT CRABAPPLE	2.5" CAL.	15-25	15-25
<b>CONIFEROUS TREES</b>					
PH	PINUS HELDRECHII	BOSNIAN PINE	6' HIGH	30-40	20-30
PP	PICEA PUNGENS	COLORADO BLUE SPRUCE	6' HIGH	30-40	20-30
<b>SHRUBS, GROUND COVERS, PERENNIALS, AND ORNAMENTAL GRASSES</b>					
RA	RHUS AROMATICA 'GRO-LOW'	GRO-LOW FRAGRANT SUMAC	5 GAL.	2-3	3-5
SA	SPREA ALBIFLORA	JAPANESE WHITE SPIREA	5 GAL.	3-4	3-5
EA	EUONYMUS ALATUS	BURNING BUSH	5 GAL.	4-6	4-6
JS	JUNIPERUS SABINA 'TAMARISCIFOLIA'	GREEN TAM JUNIPER	5 GAL.	2-4	2-4
JC	JUNIPERUS CHINENSIS 'SEA GREEN'	SEA GREEN JUNIPER	5 GAL.	4-6	2-4
JH	JUNIPERUS HORIZONTALIS	CREEPING JUNIPER	5 GAL.	1-2	5-8
HPM	HEMEROCALLIS 'PARDON ME'	PARDON ME DAYLILY	1 GAL.	1-2	1-2
HHR	HEMEROCALLIS 'HAPPY RETURNS'	HAPPY RETURNS DAYLILY	1 GAL.	1-2	1-2
NMH	NARCISSUS SP. 'MOUNT HOOD'	MOUNT HOOD DAFFODIL	1 GAL.	1-2	1-2
SMN	SAVIA NEMOROSA 'MAY NIGHT'	MAY NIGHT SALVIA	1 GAL.	1-2	1-2

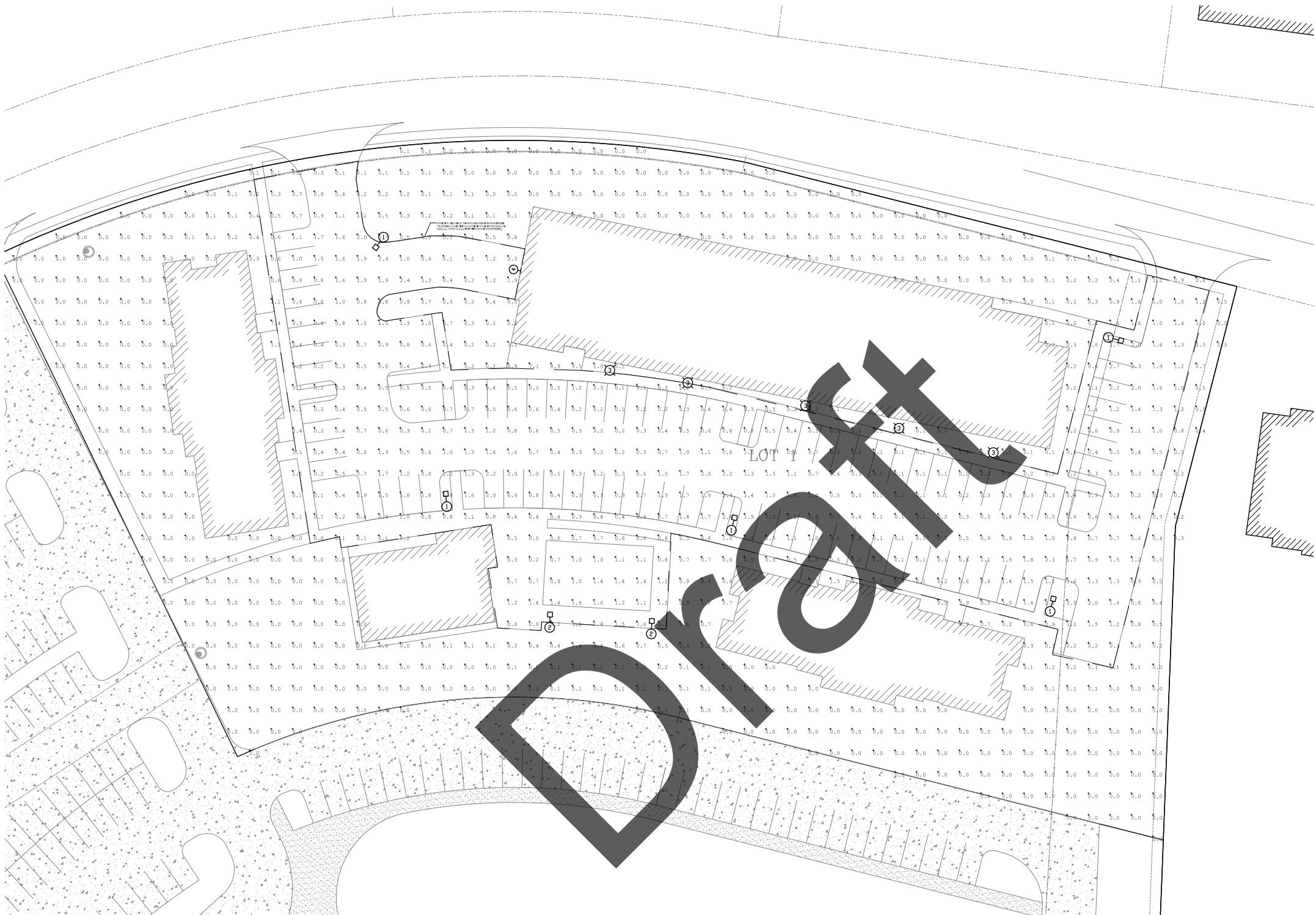
CODE	BOTANICAL NAME	COMMON NAME	PLANTING SIZE	HEIGHT	WIDTH
<b>SHRUBS, GROUND COVERS, PERENNIALS, AND ORNAMENTAL GRASSES</b>					
RA	RHUS AROMATICA 'GRO-LOW'	GRO-LOW FRAGRANT SUMAC	5 GAL.	2-3	3-5
SA	SPREA ALBIFLORA	JAPANESE WHITE SPIREA	5 GAL.	3-4	3-5
EA	EUONYMUS ALATUS	BURNING BUSH	5 GAL.	4-6	4-6
JS	JUNIPERUS SABINA 'TAMARISCIFOLIA'	GREEN TAM JUNIPER	5 GAL.	2-4	2-4
JC	JUNIPERUS CHINENSIS 'SEA GREEN'	SEA GREEN JUNIPER	5 GAL.	4-6	2-4
JH	JUNIPERUS HORIZONTALIS	CREEPING JUNIPER	5 GAL.	1-2	5-8
HPM	HEMEROCALLIS 'PARDON ME'	PARDON ME DAYLILY	1 GAL.	1-2	1-2
HHR	HEMEROCALLIS 'HAPPY RETURNS'	HAPPY RETURNS DAYLILY	1 GAL.	1-2	1-2
NMH	NARCISSUS SP. 'MOUNT HOOD'	MOUNT HOOD DAFFODIL	1 GAL.	1-2	1-2
SMN	SAVIA NEMOROSA 'MAY NIGHT'	MAY NIGHT SALVIA	1 GAL.	1-2	1-2

CODE	BOTANICAL NAME	COMMON NAME	PLANTING SIZE	HEIGHT	WIDTH
<b>SURFACE RESTORATION SCHEDULE</b>					
GD	IRRIGATED LAWN SOD AREA - RTF (RHIZOMATOUS TALL FESCUE) SOD BY CERTIFIED RTF SOD GROWER AS PRODUCED BY MEMBERS OF THE RTF TURF PRODUCERS ASSOCIATION (U.S. PATENT NO. 6,277,527). INSTALL PER SUPPLIER'S SPECIFICATIONS. REMOVE NETTING PRIOR TO INSTALLATION. SEE SOD NOTES, THIS SHEET. ALL AREAS RECEIVING SOD SHALL HAVE SCARIFIED SOILS, SEE SCARIFIED AND CONDITIONED SOD NOTES, THIS SHEET.				
GD	IRRIGATED PLANTER BEDS WITH TRIPLE SHREDDED HARDWOOD MULCH - CONSTRUCT PLANTING BEDS WITH TRIPLE SHREDDED HARDWOOD MULCH AT CONSISTENT DEPTH THROUGHOUT BED (2" MINIMUM - 3" MAXIMUM DEPTH). ALL PLANTER BEDS SHALL HAVE SCARIFIED AND CONDITIONED SOILS, SEE SCARIFIED AND CONDITIONED SOIL NOTES, THIS SHEET.				

CODE	BOTANICAL NAME	COMMON NAME	PLANTING SIZE	HEIGHT	WIDTH
<b>SURFACE RESTORATION SCHEDULE</b>					
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CODE	BOTANICAL NAME	COMMON NAME	PLANTING



# Exhibit E

## STRECK

## STRECK HOUSING

## SITE LIGHTING CALCULATIONS



1119 SOUTH 49TH AVENUE  
OMAHA, NEBRASKA 68132  
(402) 391-6222

SITE LIGHTING SCHEDULE										
FIXT #	MANUFACTURER	CATALOG NO. - NOTE 1	BEAM DIST.	LAMP DATA	VOLTAGE	HT. PER POLE	POLE DESCRIPTION	HT. (FT.)	DESCRIPTION	REMARKS
1	HUBBELL	HL2P SR FLR 72L 700 4K7 4K 165 IBS CL SLC UNV	IV	19000LM LED	120V	1	XXX 3BS	20	SINGLE POLE HEAD	--
2	HUBBELL	HL2P SR FLR 72L 335 4K7 4K 165 IBS CL SLC UNV	IV	19000LM LED	120V	1	XXX 3BS	20	SINGLE POLE HEAD	--
3	HUBBELL	HL2P SR FLR 72L 335 4K7 36LED 100W XX XX	X	19000LM LED	120	1	XXX X	3	BOLLARD	--
4	LITTONWIC	VE2LED P3 4K 100W 120V	WV	20000LM LED	120	--	--	--	EXT. WALL PACK	--

**NOTES:**  
1. CONTRACTOR SHALL VERIFY LIGHT FIXTURE CATALOG NUMBER & INSTALLATION REQUIREMENTS PRIOR TO ORDERING.  
2. POLE TYPE DESCRIPTIONS: SSS = SQUARE STRAIGHT STEEL, STS = SQUARE TAPERED STEEL, RSS = ROUND STRAIGHT STEEL, RTS = ROUND TAPERED STEEL,  
SST = SQUARE TAPERED, RST = ROUND TAPERED, STAL = SQUARE TAPERED ALUMINUM, RSSA = ROUND STRAIGHT STEEL ALUMINUM

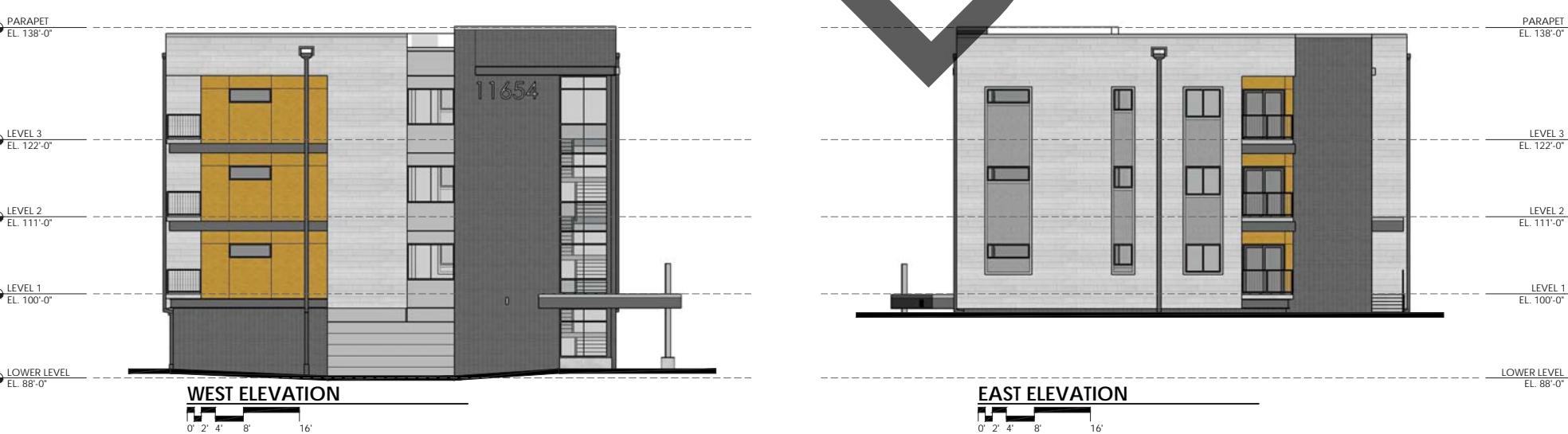
PARKING LOT LIGHTING CALCULATION STATISTICS	
AVERAGE FOOTCANDLES	1.39
MAXIMUM FOOTCANDLES	6.2
MINIMUM FOOTCANDLES	0.1
MAXIMUM TO MINIMUM RATIO	62:1

NOTES:

1. CALCULATIONS ARE BASED ON FIXTURE TYPE SCHEDULED. IF FIXTURE OTHER THAN THOSE SPECIFIED IS PROVIDED, THE MANUFACTURER SHALL PROVIDE A DETAILED POINT-BY-POINT CALCULATION TO VERIFY COMPLIANCE WITH LOCAL STREET AND PARKING LOT LIGHTING GUIDELINES.
2. CALCULATIONS DO NOT INCLUDE CONTRIBUTIONS FROM STREET OR EXISTING LIGHT FIXTURES. ACTUAL FOOTCANDLE LEVELS MAY VARY DEPENDING ON LOCATIONS AND

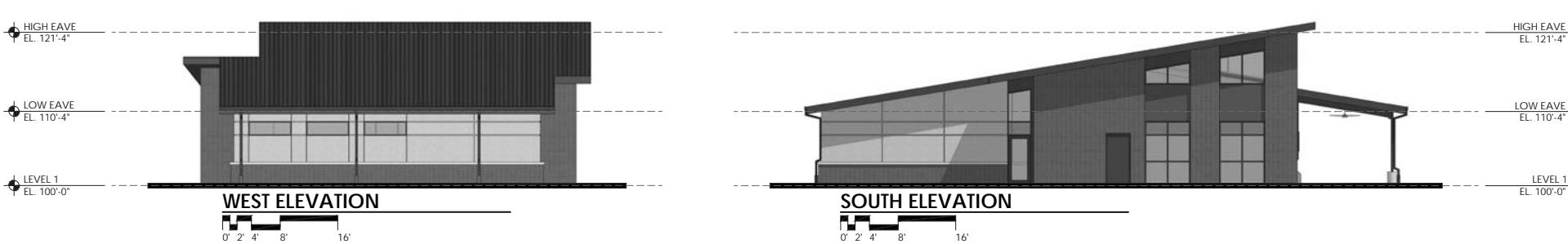
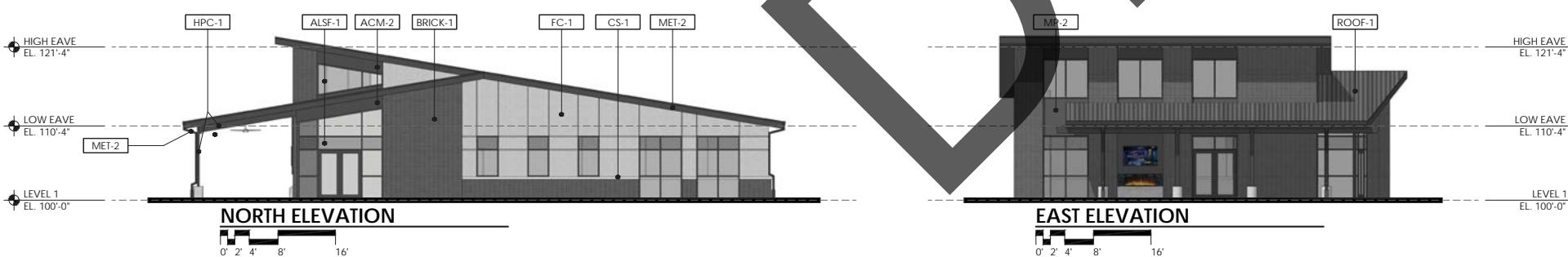
OMAHA, NEBRASKA 68132  
(402)551-0800

# Exhibit F



## MATERIALS

**BRICK-1:** NORMAN FACE BRICK - ENDICOTT, MANGANESE IRONSPOT, SMOOTH  
**FC-1:** FIBER CEMENT REVEAL PANEL SYSTEM - JAMES HARDIE  
**FC-2:** FIBER CEMENT TRIM - JAMES HARDIE  
**FC-3:** FIBER CEMENT FASCIA - JAMES HARDIE  
**FC-4:** FIBER CEMENT REVEAL PANEL SYSTEM - JAMES HARDIE  
**FC-5:** FIBER CEMENT LAP SIDING - JAMES HARDIE  
**MET-1:** PREFIN ALUMINUM COPING SYSTEM  
**MET-2:** PREFIN ALUMINUM FLASHING, DOWNSPOUT, SCUPPER, & FASCIA  
**COMP-1:** COMPOSITE DECKING & FASCIA - TREX  
**RAIL-1:** PREFIN ALUMINUM GUARDRAIL SYSTEM  
**MP-1:** FLUTED FASCIA METAL PANEL SYSTEM - BERRIDGE  
**MP-2:** METAL PANELS - TBD  
**ACM-1&2:** ALUMINUM COMPOSITE PANELS W/ RAINSCREEN CLIP SYSTEM  
**CONC-1:** CAST IN PLACE CONCRETE - RUBBED FINISH & ACID ETCHED  
**CS-1:** PRECAST CONCRETE SILL  
**HPC-1&2:** HIGH PERFORMANCE COATING SYSTEM - TNEMEC  
**WIN-1:** FIBERGLASS WINDOWS W/ LOW-E GLASS - PELLA  
**ALSF-1:** ALUMINUM STOREFRONT FRAMING W/ 1" INSULATED, LOW-E GLAZING  
**CW-1:** ALUMINUM CURTAIN WALL SYSTEM W/ 1" INSULATED, LOW-E GLAZING  
**ROOF-1:** PREFIN STANDING SEAM METAL ROOFING SYSTEM  
**LT-A:** DECORATIVE LED WALL SCONCE - TBD  
**LT-B:** CONTINUOUS LED COVE LIGHTING - TBD



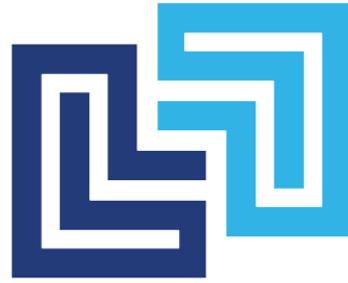
**MATERIALS**

BRICK-1: NORMAN FACE BRICK - ENDICOTT, MANGANESE IRONSPOT, SMOOTH  
 FC-1: FIBER CEMENT REVEAL PANEL SYSTEM - JAMES HARDIE  
 FC-2: FIBER CEMENT TRIM - JAMES HARDIE  
 FC-3: FIBER CEMENT FASCIA - JAMES HARDIE  
 FC-4: FIBER CEMENT REVEAL PANEL SYSTEM - JAMES HARDIE  
 FC-5: FIBER CEMENT LAP SIDING - JAMES HARDIE  
 MET-1: PREFIN ALUMINUM COPING SYSTEM  
 MET-2: PREFIN ALUMINUM FLASHING, DOWNSPOUT, SCUPPER, & FASCIA  
 COMP-1: COMPOSITE DECKING & FASCIA - TREX  
 RAIL-1: PREFIN ALUMINUM GUARDRAIL SYSTEM  
 MP-1: FLUTED FASCIA METAL PANEL SYSTEM - BERRIDGE  
 MP-2: METAL PANELS - TBD  
 ACM-1&2: ALUMINUM COMPOSITE PANELS W/ RAINSCREEN CLIP SYSTEM  
 CONC-1: CAST IN PLACE CONCRETE - RUBBED FINISH & ACID ETCHED  
 CS-1: PRECAST CONCRETE SILL  
 HPC-1&2: HIGH PERFORMANCE COATING SYSTEM - TNEMEC  
 WIN-1: FIBERGLASS WINDOWS W/ LOW-E GLASS - PELLA  
 ALSF-1: ALUMINUM STOREFRONT FRAMING W/ 1" INSULATED, LOW-E GLAZING  
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 ROOF-1: PREFIN STANDING SEAM METAL ROOFING SYSTEM  
 LT-A: DECORATIVE LED WALL SCONCE - TBD  
 LT-B: CONTINUOUS LED COVE LIGHTING - TBD

## **AGENDA ITEM 4F**

**Final Plat—La Vista City Centre Replat 4—La Vista  
City Centre, LLC**

# MEMO



**TO:** Planning Commission Members

**FROM:** Christopher Solberg, Deputy Community Development Director

**CC:** City Council Members and applicable City Staff

**DATE:** 2/10/2021

**RE:** La Vista City Centre Replat 4 Final Plat - Reapproval

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## **Agenda Item 4A: La Vista City Centre Replat 4 Final Plat - Reapproval**

The Final Plat for La Vista City Centre Replat 4 was approved by City Council on March 3, 2020. However, due to development delays related to the current pandemic, the Final Plat was never signed and recorded with the Sarpy County Register of Deeds.

As per Section 3.04.06 of the Subdivision Regulations, final plats that are not recorded within 90 days of approval by City Council are null and void. As such the plat will need to go through the full approval process to be reapproved.

The Final Plat map document and a copy of the staff report from the last approval process is attached to this memo for review.

**Staff Recommendation Item 4A:** Staff recommends reapproval of La Vista City Centre Replat 4 Final Plat, subject to satisfaction of all applicable requirements, including without limitation, notice, hearing, recording of redevelopment agreement amendment, subdivision agreement amendment, and applicable property conveyances.



CITY OF LA VISTA  
PLANNING DIVISION

RECOMMENDATION REPORT

CASE NUMBER: PSFP 19-0001

FOR HEARING ON: March 3, 2020

REPORT PREPARED ON: February 24, 2020

**I. GENERAL INFORMATION**

**A. APPLICANT:**

La Vista City Centre LLC  
P.O. Box 428  
Boys Town, NE 68010

**B. PROPERTY OWNERS:**

Lot 1 La Vista City Centre Replat Three and Lot 13 La Vista City Centre:

La Vista City Centre LLC  
222 S. 15<sup>th</sup> Street, Suite 1404S  
Omaha, NE 68102

Outlot A La Vista City Centre and PT of Tax Lot 12, 14-14-12:

City of La Vista  
8116 Park View Blvd.  
La Vista, NE 68128

**C. LOCATION:** North of the intersection of Main Street and City Centre Drive.

**D. LEGAL DESCRIPTION:** Lot 13 and Outlot A La Vista City Centre, Lot 1 La Vista City Centre Replat 3, and portions of Tax Lot 12 14-14-12

**E. REQUESTED ACTION(S):** Final Plat and Subdivision Agreement for proposed Lots 1-3 La Vista City Centre Replat 4 and the dedication of associated right-of-way for the purpose of redevelopment.

**F. EXISTING ZONING AND LAND USE:**

- Portions of Tax Lot 12 14-14-12 - R-1, Single-Family Residential with Gateway Corridor District (Overlay District); vacant; unused (Portions of the proposed Lot 3 La Vista City Centre Replat 4 within this area are proposed to be rezoned MU-CC, Mixed Use-City Centre District).
- Lot 13 and Outlot A La Vista City Centre - Mixed Use City Centre; vacant.
- Lot 1 La Vista City Centre Replat 3 - Mixed Use City Centre; vacant.

**G. PURPOSE OF REQUEST:**

1. Final Plat and Subdivision Agreement to replat the lots listed in the request into 3 lots and the dedication of associated right-of-way for the purpose of redevelopment.

**H. SIZE OF SITE: 4.635 Acres**

**II. BACKGROUND INFORMATION**

**A. EXISTING CONDITION OF SITE:** The land is generally flat with a gradual downward slope generally north and east. The slope significantly increases downward along the northern half.

**B. GENERAL NEIGHBORHOOD/AREA ZONING AND LAND USES:**

1. **North:** La Vista Civic Centre Park, R-1 Single-Family Residential with a Gateway Corridor Overlay (Overlay District) and a FF/FW Flood Plain District (Overlay District); Open Recreation Space
2. **East:** Lot 14 La Vista City Centre, MU-CC, Mixed Use City Centre District; Mixed Use development; and La Vista Civic Centre Park, R-1 Single-Family Residential with a Gateway Corridor District (Overlay District) and a FF/FW Flood Plain District (Overlay District); Open Recreation Space.
3. **South:** La Vista City Centre; MU-CC, Mixed Use City Centre District; Mixed Use development.
4. **West:** Lot 12 La Vista City Centre Replat 3, MU-CC, Mixed Use City Centre District; vacant; and La Vista Civic Centre Park, R-1 Single-Family Residential with a Gateway Corridor District (Overlay District) and a FF/FW Flood Plain District (Overlay District); Open Recreation Space.

**C. RELEVANT CASE HISTORY:**

1. The final plat for La Vista City Centre was originally approved by City Council on July 19, 2016.
2. The preliminary plat for La Vista City Centre Replat 4 was approved on August 20, 2019.

**D. APPLICABLE REGULATIONS:**

1. Section 5.06 of the Zoning Regulations – R-1 Single-Family Residential
2. Section 5.18 of the Zoning Regulations – FF/FW Flood Plain District (Overlay District)
3. Section 5.19 of the Zoning Regulations – MU-CC Mixed Use City Centre District
4. Section 3.05 of the Subdivision Regulations – Final Plats

### III. **ANALYSIS**

- A. COMPREHENSIVE PLAN:** The Future Land Use Map of the Comprehensive Plan designates areas within proposed Lots 1 and 3 as Mixed Use. The areas within Lot 2 will remain designated as Parks and Recreation.
- B. OTHER PLANS:** This area has also been designated as blighted and substandard and in need of redevelopment. A proposed amendment to the *84<sup>th</sup> Street Redevelopment Plan* would incorporate part of the northern portion of the former City golf course into the mixed use redevelopment project area.

#### **C. TRAFFIC AND ACCESS:**

- 1. The proposed La Vista City Center Replat 4 Final Plat includes the dedication of additional right-of-way along City Centre Drive. This allows for right-of-way access to the lot in this request.
- 2. The access point at 84<sup>th</sup> Street and Summer Drive has been converted to a temporary construction entrance. Existing access to City Centre Drive is from Main Street, with connections to 84<sup>th</sup> Street and Giles Road through the internal road system. The development plan also proposes the connection of City Center Drive to 84<sup>th</sup> Street in the near future.

Sidewalk and trail connections will be made at the time of development for each of the parcels involved in the plat.

- 3. A technical memorandum regarding traffic has been provided to update the previous traffic impact study performed by Olsson in August 2016 for the La Vista City Centre project. This memorandum was compiled to assess the traffic impacts associated with the proposed land use change on the north end of the La Vista City Centre project.

Staff review of the technical memorandum concluded that the infrastructure that exists and that has been designed and nearing completion in La Vista City Centre is sufficient for the smaller events. That is based on the prediction in the memo that up to 400 persons in 200 vehicles would be arriving during the PM peak hour, which will overlap with the typical PM peak demand of the corridor.

It is recommended that an Event Traffic Management Plan be prepared and made part of a Security, Maintenance, and Operations Plan and the Conditional Use Permit. Such plan shall be approved by, and on record with the La Vista Police Department as a condition of the Conditional Use Permit. The proposed permit also would provide for adjustment of

event start times as needed if anticipated traffic for events overlapping with peak hour traffic on 84th Street is greater than the predicted in the technical memorandum.

**D. UTILITIES:**

1. The properties have access to water, sanitary sewer, gas, power and communication utilities.

**IV. REVIEW COMMENTS:**

1. Applicant is proposing to develop an Event Center on proposed Lot 3, which would incorporate and require rezoning to MU-CC, Mixed Use-City Center zoning vacant unused portions of the property immediately adjacent to the north of La Vista City Centre.

As the proposed event center use is only allowed within the Mixed-Use City Centre zoning district as a conditional use, the applicant would need to obtain a conditional use permit to allow the use.

2. An existing sanitary and an existing storm sewer easement will be released as part of this plat. New easements are shown and will be dedicated as separate instruments in conjunction with the plat.
3. A portion of Lot 2, as proposed, will fall within the FF/FW Flood Plain District (Overlay District). A Floodplain Development Permit will most likely need to be obtained as to ensure flood hazards are analyzed as to satisfy the conditions of the zoning ordinance.
4. An amendment to the Subdivision Agreement has been prepared to address public infrastructure installation and expenditures. There will also be a need for some form of agreement to address shared, common-area improvements between the lots.
5. The overall disturbed area will exceed five acres, which might require modification of erosion control permit(s) in Permix.

**V. STAFF RECOMMENDATION – Final Plat:**

Staff recommends approval of La Vista City Centre Replat 4 Final Plat and related subdivision agreement amendment, subject to satisfaction of all applicable requirements, including without limitation, notice, hearing, and approval of an amendment to the Redevelopment Plan and approval and recording of redevelopment agreement amendment, subdivision agreement amendment, and applicable property conveyances.

**VI. PLANNING COMMISSION RECOMMENDATION:**

The Planning Commission held a public meeting on February 20, 2020 and unanimously voted to recommend approval of La Vista City Centre Replat 4 Final Plat, subject to such modifications or conditions, if any, as the City Administrator determines necessary or appropriate, satisfaction of all applicable requirements, including without limitation, notice, hearing, and approval of an amendment to the Redevelopment Plan and approval and recording of final replat, redevelopment agreement amendment, subdivision agreement amendment, and applicable property conveyances.

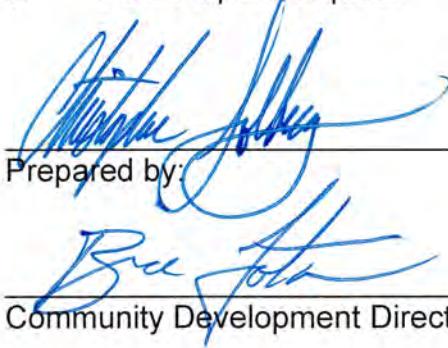
**VII. ATTACHMENTS TO REPORT:**

1. Vicinity Map
2. Staff Review Letters
3. Final Plat Map set

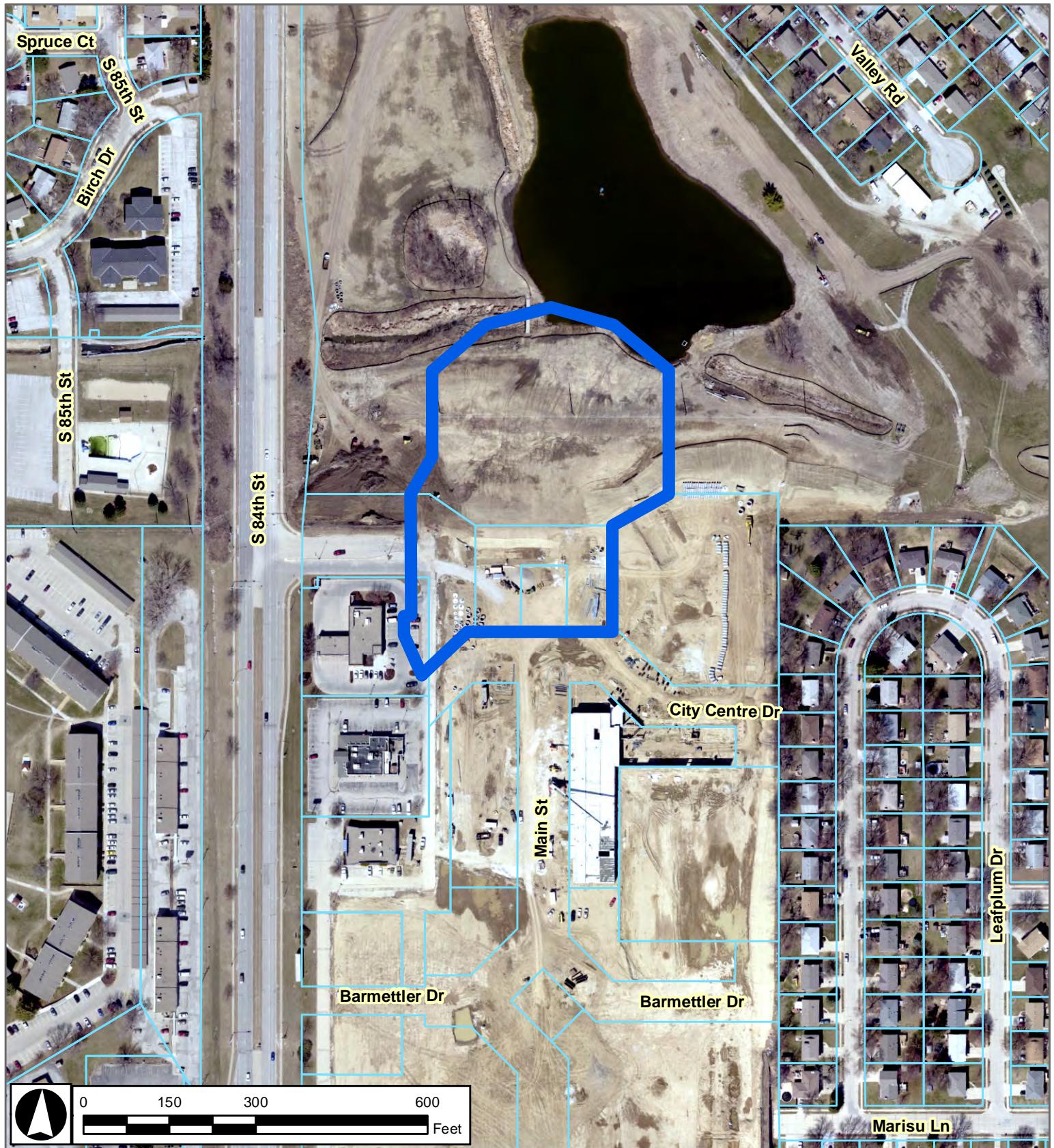
**VIII. COPIES OF REPORT SENT TO:**

1. Eric Williams, Olsson Associates Inc.
2. Chris Erickson, La Vista City Centre, LLC
3. Public Upon Request

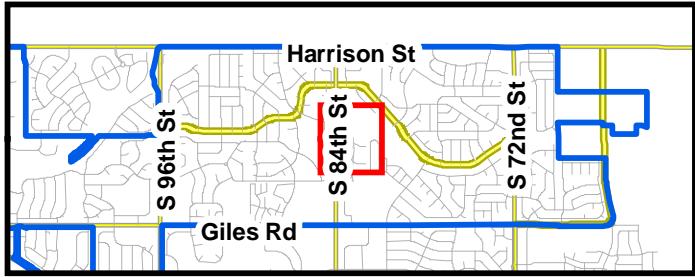
Prepared by:

  
Community Development Director

  
2/27/2020  
Date



## Project Vicinity Map



## La Vista City Centre Replat 4 Final Plat

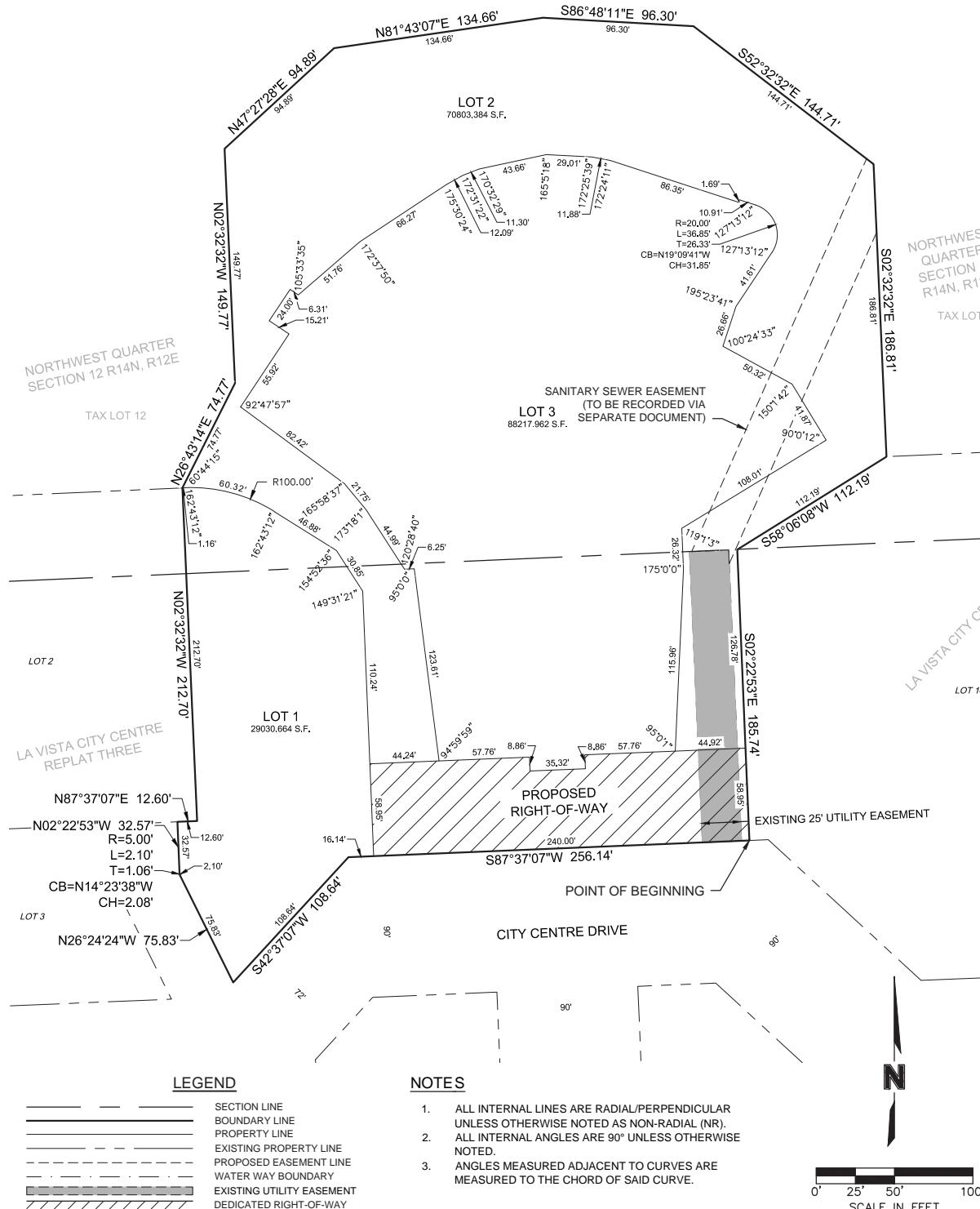
1/30/2020



**LEGAL DESCRIPTION**  
A TRACT OF LAND CONTAINING ALL OF LOT 13 AND OUTLOT A, LA VISTA CITY CENTRE, AND ALL OF LOT 1, LA VISTA CITY CENTRE REPLAT THREE, SUBDIVISIONS, SURVEYED, PLATTED AND RECORDED IN THE SOUTHWEST AND NORTHWEST QUARTERS AND PART OF TAX LOT 12 IN THE NORTHWEST QUARTER, ALL IN SECTION 14, TOWNSHIP 14 NORTH, RANGE 12 EAST OF THE 6TH P.M., CITY OF LA VISTA, SARPY COUNTY, NEBRASKA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT THE SOUTHEAST CORNER OF SAID OUTLOT A, LA VISTA CITY CENTRE; SAID CORNER ALSO BEING ON THE NORTH RIGHT-OF-WAY LINE OF CITY CENTRE DRIVE; THENCE ON SAID NORTH RIGHT-OF-WAY LINE OF CITY CENTRE DRIVE FOR THE FOLLOWING TWO (2) DESCRIBED COURSES: (1) S87°37'07"W, 256.14 FEET; (2) S42°37'07"W, 108.64 FEET TO THE SOUTHWEST CORNER OF SAID LOT 1, LA VISTA CITY CENTRE REPLAT THREE; THENCE ON THE WEST LINE OF SAID LOT 1, LA VISTA CITY CENTRE REPLAT THREE FOR THE FOLLOWING FIVE (5) DESCRIBED COURSES: (1) N26°22'53"W, 32.57 FEET TO A POINT OF CURVATURE; (2) ON A 5.00 FOOT RADIUS CURVE TO THE RIGHT, AN ARC LENGTH OF 2.10 FEET (LONG CHORD BEARS N14°23'38"W, 2.08 FEET); (3) N02°22'53"W, 32.57 FEET TO A POINT ON THE SOUTH LINE OF LOT 2, LA VISTA CITY CENTRE REPLAT THREE; (4) N87°37'07"E, 12.60 FEET TO THE SOUTHEAST CORNER OF SAID LOT 2, LA VISTA CITY CENTRE REPLAT THREE; (5) N02°32'32"W, 212.70 FEET TO THE NORTHWEST CORNER OF SAID LOT 1, LA VISTA CITY CENTRE REPLAT THREE, SAID CORNER ALSO BEING ON THE SOUTH LINE OF SAID TAX LOT 12; THENCE N26°43'14"E, 74.77 FEET; THENCE N02°32'32"W, 149.77 FEET; THENCE N47°27'28"E, 94.89 FEET; THENCE N81°43'07"E, 134.66 FEET; THENCE S86°48'11"E, 96.30 FEET; THENCE S52°32'32"E, 144.71 FEET; THENCE S02°32'32"E, 186.81 FEET TO A CORNER OF LOT 14, SAID LA VISTA CITY CENTRE, SAID POINT ALSO BEING ON THE SOUTH LINE OF SAID TAX LOT 12; THENCE ON SAID SOUTH LINE OF TAX LOT 12, S58°06'08"W, 112.19 FEET TO THE NORTHWEST CORNER OF SAID LOT 14, LA VISTA CITY CENTRE, SAID CORNER ALSO BEING THE NORTHEAST CORNER OF SAID OUTLOT A, LA VISTA CITY CENTRE; THENCE ON THE EAST LINE OF SAID OUTLOT A, LA VISTA CITY CENTRE, S02°22'53"E, 185.74 FEET, TO THE POINT OF BEGINNING.

SAID TRACT OF LAND CONTAINS A CALCULATED AREA OF 201,887.80 SQUARE FEET OR 4.635 ACRES, MORE OR LESS.



# LA VISTA CITY CENTRE REPLAT FOUR

## LOTS 1 THRU 3

A REPLAT OF LOTS 13 AND OUTLOT A, LA VISTA CITY CENTRE, AND LOT 1, LA VISTA CITY CENTRE REPLAT THREE, SUBDIVISIONS, AS SURVEYED, PLATTED AND RECORDED IN THE SOUTHWEST QUARTER AND NORTHWEST QUARTER, TOGETHER WITH A PART OF TAX LOT 12 IN THE NORTHWEST QUARTER, ALL IN SECTION 14, TOWNSHIP 14 NORTH, RANGE 12 EAST OF THE 6TH P.M., CITY OF LA VISTA, SARPY COUNTY, NEBRASKA.

### OWNER'S CERTIFICATION

I, THE UNDERSIGNED LA VISTA CITY CENTRE, LLC OWNER OF THE REAL ESTATE SHOWN AND CHRISTOPHER L. ERICKSON DESCRIBED HEREIN, DO HEREBY CERTIFY THAT I, HAVE LAID OUT, PLATTED AND SUBDIVIDED, AND DO HEREBY LAY OUT, PLAT AND SUBDIVIDED, SAID REAL ESTATE IN ACCORDANCE WITH THIS PLAT.

THIS SUBDIVISION SHALL BE KNOWN AND DESIGNATED AS LA VISTA CITY CENTRE REPLAT THREE, AN ADDITION TO THE CITY OF LA VISTA, NEBRASKA. ALL STREETS SHOWN AND NOT HERETOFORE DEDICATED ARE HEREBY DEDICATED TO THE PUBLIC UNLESS SPECIFICALLY NOTED HEREIN. OTHER PUBLIC LANDS SHOWN AND NOT HERETOFORE DEDICATED ARE HEREBY RESERVED FOR PUBLIC USE.

CLEAR TITLE TO THE LAND CONTAINED IN THIS PLAT IS GUARANTEED. ANY ENCUMBRANCES OR SPECIAL ASSESSMENTS ARE EXPLAINED AS FOLLOWS:

THERE ARE STRIPS OF GROUND SHOWN OR DESCRIBED ON THIS PLAT AND MARKED EASEMENT, RESERVED FOR THE USE OF PUBLIC UTILITIES AND SUBJECT TO THE PARAMOUNT RIGHT OF UTILITY OR CITY TO INSTALL, REPAIR, REPLACE AND MAINTAIN ITS INSTALLATIONS.

LA VISTA CITY CENTRE, LLC  
CHRISTOPHER L. ERICKSON  
MANAGING MEMBER

### ACKNOWLEDGEMENT OF NOTARY

STATE OF NEBRASKA )  
COUNTY OF ) SS

ON THE \_\_\_\_\_ DAY OF \_\_\_\_\_, 2019, BEFORE ME, THE UNDERSIGNED NOTARY PUBLIC, DULY COMMISSIONED AND QUALIFIED IN AFORESAID COUNTY PERSONALLY APPEARED CHRISTOPHER L. ERICKSON, KNOWN BY ME TO BE THE IDENTICAL PERSON WHOSE NAME IS AFFIXED TO THE DEDICATION ON THIS PLAT AND ACKNOWLEDGED THE EXECUTION THEREOF TO BE HIS/HER VOLUNTARY ACT AND DEED AS SAID LA VISTA CITY CENTRE, LLC.

WITNESS MY HAND AND NOTARIAL SEAL THE DAY AND YEAR LAST ABOVE MENTIONED.

### NOTARY PUBLIC

### OWNER'S CERTIFICATION

I, THE UNDERSIGNED CITY OF LA VISTA, A MUNICIPAL CORPORATION OWNER OF THE REAL ESTATE SHOWN AND CHRISTOPHER L. ERICKSON DESCRIBED HEREIN, DO HEREBY CERTIFY THAT I, HAVE LAID OUT, PLATTED AND SUBDIVIDED, AND DO HEREBY LAY OUT, PLAT AND SUBDIVIDED, SAID REAL ESTATE IN ACCORDANCE WITH THIS PLAT.

THIS SUBDIVISION SHALL BE KNOWN AND DESIGNATED AS LA VISTA CITY CENTRE REPLAT THREE, AN ADDITION TO THE CITY OF LA VISTA, NEBRASKA. ALL STREETS AND ALLEYS SHOWN AND NOT HERETOFORE DEDICATED ARE HEREBY DEDICATED TO THE PUBLIC UNLESS SPECIFICALLY NOTED HEREIN. OTHER PUBLIC LANDS SHOWN AND NOT HERETOFORE DEDICATED ARE HEREBY RESERVED FOR PUBLIC USE.

CLEAR TITLE TO THE LAND CONTAINED IN THIS PLAT IS GUARANTEED. ANY ENCUMBRANCES OR SPECIAL ASSESSMENTS ARE EXPLAINED AS FOLLOWS:

THERE ARE STRIPS OF GROUND SHOWN OR DESCRIBED ON THIS PLAT AND MARKED EASEMENT, RESERVED FOR THE USE OF PUBLIC UTILITIES AND SUBJECT TO THE PARAMOUNT RIGHT OF UTILITY OR CITY TO INSTALL, REPAIR, REPLACE AND MAINTAIN ITS INSTALLATIONS.

DOUGLAS KINDIG, MAYOR

ATTEST: PAM BUETHE, CITY CLERK

### SARPY COUNTY TREASURER'S CERTIFICATE

I HEREBY CERTIFY THAT THE RECORDS OF MY OFFICE SHOW NO REGULAR OR SPECIAL TAXES DUE OR DELINQUENT AGAINST THE LAND DESCRIBED IN THE SURVEYOR'S CERTIFICATE AS APPEARS ON THIS PLAT.

ON THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 2019.

SARPY COUNTY TREASURER

PRINTED NAME

### LIEN HOLDER CONSENT

THE UNDERSIGNED HOLDER OF THAT CERTAIN LIEN AGAINST THE REAL PROPERTY DESCRIBED IN THE PLAT KNOWN AS LA VISTA CITY CENTRE REPLAT THREE (HEREINAFTER "PLAT"), SAID LIEN BEING RECORDED IN THE OFFICE OF THE REGISTER OF DEEDS OF SARPY COUNTY, NEBRASKA AS INSTRUMENT NO. 2016-31248 (HEREINAFTER "LIEN"), DOES HEREBY CONSENT TO THE DEDICATION OF AND SUBORDINATE THE LIEN TO ANY UTILITY (SEWER, WATER, ELECTRIC, CABLE TV, TELEPHONE, NATURAL GAS) EASEMENTS, OR STREETS OR ROADS, PEDESTRIAN WAY EASEMENTS, AND ACCESS EASEMENTS AND RELINQUISHEMENTS OF ACCESS, DEDICATED TO THE PUBLIC, ALL AS SHOWN ON THE PLAT, BUT NOT OTHERWISE. THE UNDERSIGNED CONFIRMS THAT IT IS THE HOLDER OF THE LIEN AND HAS NOT ASSIGNED THE LIEN TO ANY OTHER PERSON.

DUNDEE BANK, A BRANCH OF SECURITY STATE BANK

BY: ADRIAN HERNANDEZ

TITLE: SENIOR VICE PRESIDENT

### ACKNOWLEDGEMENT OF NOTARY

STATE OF NEBRASKA )  
COUNTY OF ) SS

ON THE \_\_\_\_\_ DAY OF \_\_\_\_\_, 2019, BEFORE ME, THE UNDERSIGNED NOTARY PUBLIC, DULY COMMISSIONED AND QUALIFIED IN AFORESAID COUNTY PERSONALLY APPEARED ADRIAN HERNANDEZ, KNOWN BY ME TO BE THE IDENTICAL PERSON WHOSE NAME IS AFFIXED TO THE DEDICATION ON THIS PLAT AND ACKNOWLEDGED THE EXECUTION THEREOF TO BE HIS/HER VOLUNTARY ACT AND DEED AS SAID LA VISTA CITY CENTRE, LLC.

WITNESS MY HAND AND NOTARIAL SEAL THE DAY AND YEAR LAST ABOVE MENTIONED.

NOTARY PUBLIC

### APPROVAL BY LA VISTA CITY PLANNING COMMISSION

THE PLAT OF LA VISTA CITY CENTRE REPLAT FOUR, LOTS 1 THRU 3 WAS APPROVED BY THE LA VISTA CITY PLANNING COMMISSION.

ON THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 2019.

CHAIRPERSON, LA VISTA PLANNING COMMISSION

### ACCEPTANCE BY LA VISTA CITY COUNCIL

THE PLAT OF LA VISTA CITY CENTRE REPLAT FOUR, LOTS 1 THRU 3 WAS APPROVED AND ACCEPTED BY THE LA VISTA CITY COUNCIL.

ON THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 2019.

PAM BUETHE, CITY CLERK DOUGLAS KINDIG, MAYOR

### REVIEW BY SARPY COUNTY PUBLIC WORKS

THIS PLAT OF LA VISTA CITY CENTRE REPLAT FOUR, LOTS 1 THRU 3 WAS REVIEWED BY THE SARPY COUNTY SURVEYOR'S OFFICE THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 2019.

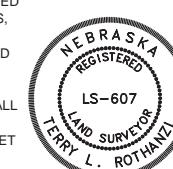
COUNTY SURVEYOR/ENGINEER

### SURVEYOR'S CERTIFICATION

I HEREBY CERTIFY THAT I AM A PROFESSIONAL LAND SURVEYOR, REGISTERED IN COMPLIANCE WITH THE LAWS OF THE STATE OF NEBRASKA, AND THAT THIS PLAT MEETS OR EXCEEDS THE "MINIMUM STANDARDS FOR SURVEYS" ADOPTED BY THE NEBRASKA STATE BOARD OF EXAMINERS FOR LAND SURVEYORS. I, TERRY L. ROTHANZL, DO HEREBY CERTIFY THAT I HAVE MADE A BOUNDARY SURVEY OF THE SUBDIVISION HEREIN AND THAT PERMANENT MONUMENTS AS NOTED HEREON WILL BE PLACED ON THE BOUNDARY OF THE PLAT AND AT ALL CORNERS, ANGLE POINTS, AND ENDS OF ALL CURVES ON THE BOUNDARY AND ON THE LOTS IN THE SUBDIVISION TO BE KNOWN AS LA VISTA CITY CENTRE REPLAT FOUR, LOTS 1 THRU 3 BEING A REPLAT OF LOTS 13 AND OUTLOT A, LA VISTA CITY CENTRE, AND LOT 1, LA VISTA CITY CENTRE REPLAT THREE, SUBDIVISIONS, SURVEYED, PLATTED AND RECORDED IN THE SOUTHWEST QUARTER AND NORTHWEST QUARTER, TOGETHER WITH A PART OF TAX LOT 12 IN THE NORTHWEST QUARTER, ALL IN SECTION 14, TOWNSHIP 14 NORTH, RANGE 12 EAST OF THE 6TH P.M., CITY OF LA VISTA, SARPY COUNTY, NEBRASKA. SAID FINAL PLAT CONTAINS A CALCULATED AREA OF 201,887.80 SQUARE FEET OR 4.635 ACRES.

TERRY L. ROTHANZL  
NEBRASKA L.S. 607

DATE



FINAL PLAT

LA VISTA CITY CENTRE REPLAT FOUR  
LOTS 1 THRU 3

LA VISTA, NEBRASKA

olsson