

AGENDA ITEM 4B

**Zoning Map Amendment – Lots 1-3 Mayfair 2nd
Addition Replat Seven and Lot 2 Mayfair 2nd
Addition Replat Three (northeast of the intersection
of S 99th Street and Hillcrest Plaza) - Hubbell
Development Services, Inc.**



**CITY OF LA VISTA
PLANNING DIVISION
RECOMMENDATION REPORT**

CASE NUMBERS: PRZ23-0001;

FOR HEARING ON: APRIL 20, 2023
REPORT PREPARED ON: APRIL 12, 2023

I. GENERAL INFORMATION

A. APPLICANT(S):

Hubbell Development Services
Attn: Josh Vickery
9719 Giles Road
La Vista, NE 68128

B. PROPERTY OWNER:

One Mayfair Place LLC
12408 S 36th Street
Bellevue, NE 68005

Lazlo's La Vista Property Holdings LLC
Attn: Eric Schafer
729 Q Street
Lincoln, NE 68508

C. LOCATION: Generally located northeast of the intersection of 99th Street and Hillcrest Plaza.

D. LEGAL DESCRIPTION: Lots 1-3 Mayfair 2nd Addition Replat Seven and Lot 2 Mayfair 2nd Addition Replat Three.

E. REQUESTED ACTION(S): Approval of an amendment to the Official Zoning Map to rezone Lots 1-3 Mayfair 2nd Addition Replat Seven and Lot 2 Mayfair 2nd Addition Replat Three from C-1 Shopping Center Commercial and Gateway Corridor Overlay District (GWC) to R-3 High-Density Residential, Planned Unit Development Overlay District (PUD), and Gateway Corridor Overlay District (GWC).

F. EXISTING ZONING AND LAND USE: C-1 Shopping Center Commercial and Gateway Corridor District (Overlay District). This property is currently vacant.

G. PURPOSE OF REQUEST: Applicant is seeking to construct a multifamily development consisting of a mixture of multi-family apartment buildings, multi-plex residential buildings, and townhome-style residential units. The site plan, unit counts, conditions of operation, and other aspects of the proposed development will be

analyzed during the review processes related to the required PUD, CUP, and Replat actions described in Section IV (A) of this report.

H. **SIZE OF SITE:** Approximately 15.75 acres.

II. **BACKGROUND INFORMATION**

A. **GENERAL NEIGHBORHOOD/AREA LAND USES AND ZONING:**

<u>Direction From Subject Property</u>	<u>Future Land Use Designation</u>	<u>Current Zoning Designation</u>	<u>Surrounding Development</u>
North	Urban Medium Intensity Residential	R-1 Single-Family Residential	Mayfair Residential Subdivision
East	Urban High Intensity Residential	R-3 High-Density Residential, PUD, and Gateway Corridor District (Overlay District). C-1 Shopping Center Commercial and Gateway Corridor District (Overlay District).	Cedarhurst Senior Living Primrose Childcare
South	Urban Commercial	C-1 Shopping Center Commercial and Gateway Corridor District (Overlay District).	Culver's, Kathol P.C. office building, Swimtastic Swim School, Five Points Bank
West	Urban Medium Intensity Residential	R-1 Single-Family Residential	Mayfair Residential Subdivision

B. **RELEVANT CASE HISTORY:**

1. Mayfair 2nd Addition Replat Three was approved by City Council on September 19, 2006.
2. Mayfair 2nd Addition Replat Seven was approved by City Council on October 18, 2016.
3. On December 20, 2022 the City Council of the City of La Vista approved a Comprehensive Plan Future Land Use Map amendment in relation to the approval of the La Vista Land Use Plan and Market Study. The Future Land Use Map amendment changed the future land use designation of the

properties that are the subject of this rezoning request from Commercial to Urban High Intensity Residential.

C. APPLICABLE REGULATIONS:

1. Section 5.08 of the City of La Vista Zoning Ordinance – R-3 High Density Residential
2. Section 5.15 of the City of La Vista Zoning Ordinance – PUD Planned Unit Development District (Overlay District)
3. Section 5.17 of the City of La Vista Zoning Ordinance – Gateway Corridor District (Overlay District)

III. ANALYSIS

A. COMPREHENSIVE PLAN:

1. The Future Land Use Map of the La Vista Comprehensive Plan designates this property as Urban High Intensity Residential.
2. The proposed project will meet Policy Live-2.2 of the La Vista Comprehensive Plan which reads: “Promote the development of housing types and supportive programs for people of retirement age, allowing residents to age in place with access to daily services.” This policy directly promotes Goal 2 of the Live Long category of the Comprehensive Plan, which reads: “Maintain the balance of diverse, high-quality housing that appeals to people of varying backgrounds, incomes and abilities.”

B. OTHER PLANS: N/A.

C. TRAFFIC AND ACCESS:

1. The proposed development would have two driveway connections, one on 99th Street and another onto Hillcrest Plaza. Another connection, through an existing easement on the Cedarhurst Senior Living development property, provides access to Brentwood Drive.
2. A traffic impact analysis will be required as part of the PUD/CUP/Replat processes to determine the need for any traffic-related infrastructure investments.

D. UTILITIES:

1. The property has access to all necessary utilities.

E. PARKING REQUIREMENTS:

1. The minimum off-street parking stall requirements for the proposed development will be analyzed during the review process related to the required PUD/CUP/Replat actions.

IV. REVIEW COMMENTS:

- A. Beyond this Zoning Map Amendment, applications and approval of the following will need to occur for this development prior to the issuance of building permits and start of construction:
1. Planned Unit Development Site Plan;
 2. Conditional Use Permit for multiple-family dwellings;
 3. Replat;
 4. Subdivision Agreement;
 5. Building Design Review.

V. STAFF RECOMMENDATION – ZONING MAP AMENDMENT:

Staff recommends approval of the Zoning Map Amendment, subject to satisfaction of all applicable requirements, including without limitation, notice, hearing, and approval of a PUD Site Plan, Conditional Use Permit, and approval and recording of the final replat and subdivision agreement.

VI. ATTACHMENTS TO REPORT:

- A. Vicinity Map – Zoning Map Amendment
- B. Updated Zoning Map

VII. COPIES OF THE REPORT SENT TO:

- A. Josh Vickery, Hubbell Development Services
- B. Trevor Veskrna, Thompson, Dreessen & Dorner, Inc.
- C. Public Upon Request



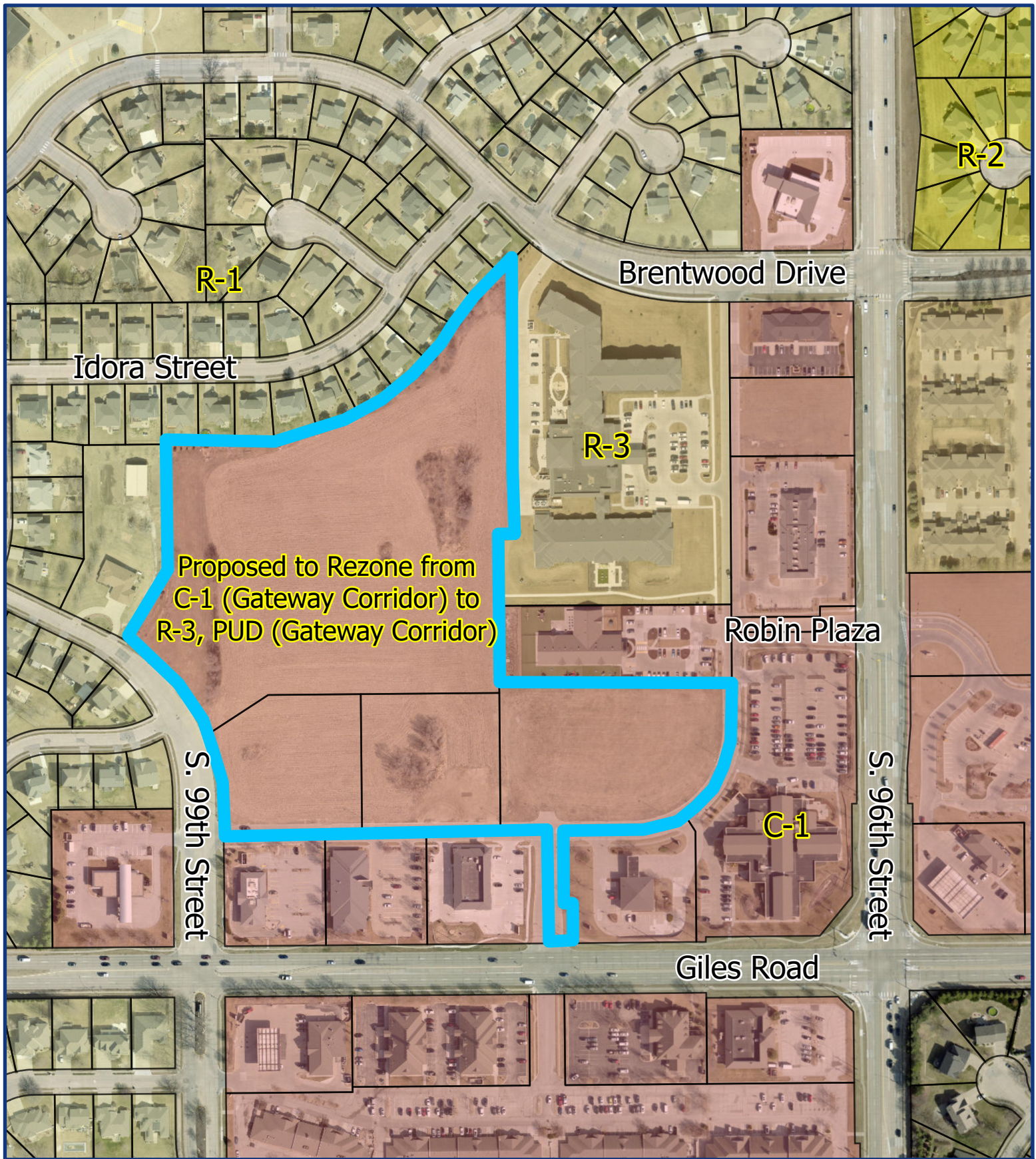
Prepared by: Deputy Community Development Director



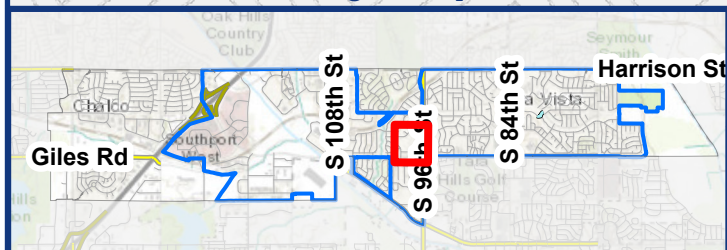
Community Development Director



Date



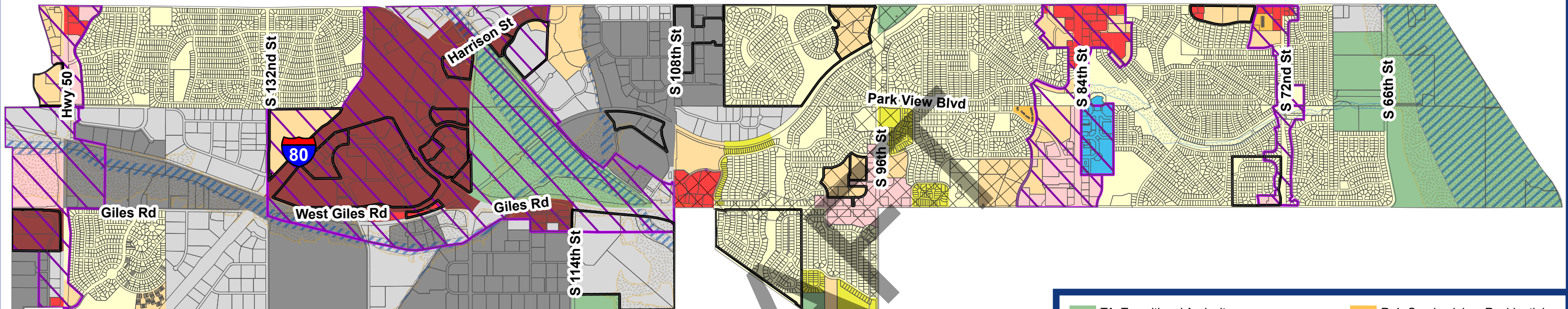
Vicinity Map - Hubbell Zoning Map Amendment Application



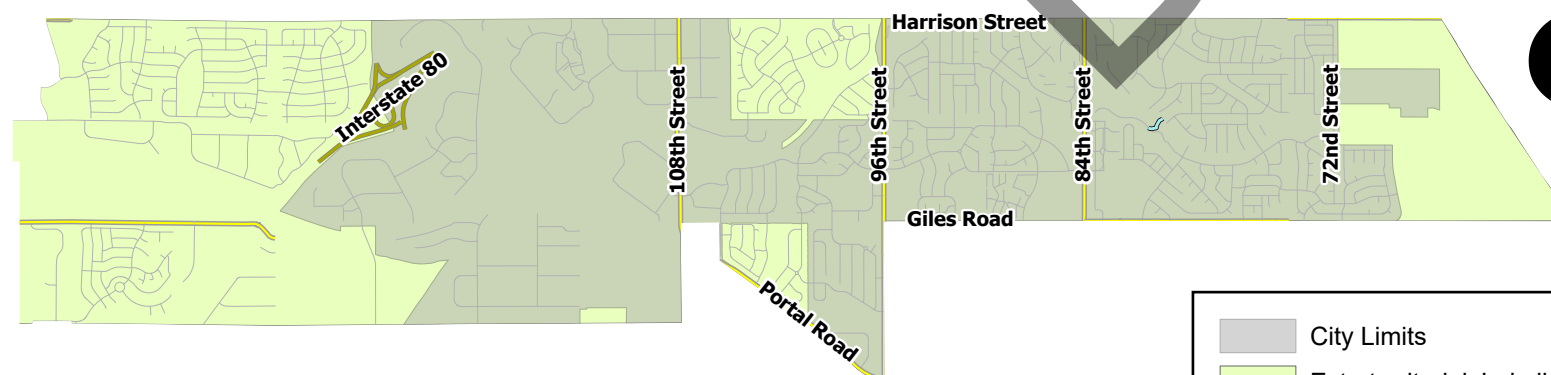
Legend

- Property Lines
- Rezoning Boundary





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|---|--|
| TA Transitional Agriculture | R-4 Condominium Residential |
| C-1 Shopping Center Commercial | PUD |
| C-2 General Commercial District | Special Corridor |
| C-3 Highway Commercial/Office Park District | Gateway Corridor |
| MU-CC Mixed Use City Centre | FW |
| I-1 Light Industrial | A - 100-Year Flood Zone |
| I-2 Heavy Industrial | AE - 100-Year Flood Zone, Detailed Study |
| R-1 Single-Family – Residential | 500-Year Flood Zone |
| R-2 Two-Family – Residential | Mask |
| R-3 High Density Residential | |



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|--|-------------------------------|
| | City Limits |
| | Extraterritorial Jurisdiction |

4/14/2023
Drawn By: CB



City of La Vista
Official Zoning Map
 Adopted December 18, 2018
 Updated _____, 2023
 Ordinance Number _____