

AGENDA ITEM 5A

**Planned Unit Development – Lot 3 Southport East
Replat Six; 8040 Eastport Parkway – Hausmann
Holdings, LLC**



**CITY OF LA VISTA
PLANNING DIVISION
RECOMMENDATION REPORT**

CASE NUMBERS: PPUD24-0001;

FOR HEARING OF: FEBRUARY 6, 2025
REPORT PREPARED ON: FEBRUARY 5, 2025

I. GENERAL INFORMATION

A. APPLICANT:

Hausmann Holdings, LLC
8885 Executive Woods Drive
Lincoln, NE 68512

B. PROPERTY OWNER:

Hausmann Holdings, LLC
8885 Executive Woods Drive
Lincoln, NE 68512

C. LOCATION: 8040 Eastport Parkway, located approximately southwest of the intersection of S. 123rd Plaza and Eastport Parkway.

D. LEGAL DESCRIPTION: Lot 3 Southport East Replat Six.

E. REQUESTED ACTION(S): Application for a Planned Unit Development Site Plan Amendment to alter the previously approved PUD Site Plan to prepare for development.

F. EXISTING ZONING AND LAND USE: C-3 Highway Commercial/Office Park District, Gateway Corridor District (Overlay District), Planned Unit Development Zoning Overlay; the property is currently vacant.

G. PURPOSE OF REQUEST: Authorize the construction of a new 2-story, approximately 15,000-square-foot office building for Hausmann Construction.

H. SIZE OF SITE: Approximately 1.838 acres.

II. BACKGROUND INFORMATION

A. EXISTING CONDITION OF SITE: The property is currently vacant with a gradual downward slope to the northeast.

B. GENERAL NEIGHBORHOOD/AREA LAND USES AND ZONING:

<u>Direction From Subject Property</u>	<u>Future Land Use Designation</u>	<u>Current Zoning Designation</u>	<u>Surrounding Development</u>
North	Regional Commercial	C-3 Highway Commercial / Office Park District with a Gateway Corridor Overlay (Overlay District), and a Planned Unit Development Overlay District.	Vacant property
East	Parks and Open Space	TA Transitional Agriculture Zoning District with a Gateway Corridor Overlay (Overlay District).	CHI Multi-Sport Complex
South	Regional Commercial	C-3 Highway Commercial / Office Park District with a Gateway Corridor Overlay (Overlay District), and a Planned Unit Development Overlay District.	Multi-tenant, commercial strip center containing Houston's Lounge, Beyond Golf, Jimmy Johns, among others.
West	Regional Commercial	C-3 Highway Commercial / Office Park District with a Gateway Corridor Overlay (Overlay District), and a Planned Unit Development Overlay District.	Vacant property

C. RELEVANT CASE HISTORY:

1. The plan for Southport East Replat Six was recorded on May 14, 2007.
2. The most current Planned Unit Development Site Plan for Southport East Replat Six, adopted by the City Council on August 7, 2007, depicts a 10,214 square foot commercial/office building on Lot 3 Southport East Replat Six.

D. APPLICABLE REGULATIONS:

1. Section 5.12 of the Zoning Regulations – C-3 Highway Commercial / Office Park District.
2. Section 5.15 of the Zoning Regulations – PUD Planned Unit Development District (Overlay District).
3. Section 5.17 of the Zoning Regulations – Gateway Corridor District (Overlay District).

III. ANALYSIS

A. COMPREHENSIVE PLAN:

1. The Future Land Use Map of the Comprehensive Plan designates the area for Regional Commercial development, in which the office use is consistent.
2. The proposed project supports the Comprehensive Plan Policy "Work 1-3" which reads: "Continue to market the City's existing business clusters, convention centers, hotels, and retail at Southport as well as quality of life factors that attract similar businesses" and the Work Hard Vision 6 "attract and maintain a range of large and small businesses within the community."

B. OTHER PLANS: N/A.

C. TRAFFIC AND ACCESS:

1. Access to the property will be provided through two full access driveways off of S. 123rd Plaza, as well as a full access connection from Port Grace Plaza.
2. Perimeter sidewalks and internal pedestrian connections and pathways will be constructed to ensure pedestrian safety in and around the site.

D. UTILITIES:

1. The property has access to sanitary sewer, water, gas, power, and communication utilities.

E. PARKING REQUIREMENTS:

1. Parking requirements for the development proposed for Lot 3 Southport East Replat Six are based on a ratio of 1 stall per 200 square feet of office building. Based on the 14,911 square-foot building proposed on Lot 3, a total of 75 stalls would be required. The PUD Site Plan depicts a total of 75 stalls on this lot, therefore meeting the minimum requirement.
2. There is an existing permanent reciprocal vehicular ingress and egress, parking, and sidewalk pedestrian easement granted to the owners, guests, and invitees of Lots 1 through 10 Southport East Replat Six. This cross-parking easement will help maximize parking availability in the area, as the businesses in the commercial strip center to the south are busier during non-office hours when this proposed building will not be heavily utilized.

F. LANDSCAPING:

1. The landscaping for this site will need to comply with the requirements of the Zoning Ordinance and of the Southport East Design Guidelines. The PUD Site Plan and Landscaping Plan are currently under review by the City's third-part design review architect. Substantial completion of this review must be obtained prior to building permit application.

IV. REVIEW COMMENTS:

- A. The designs for the proposed office building and the overall site are currently being reviewed through the City's Architectural Design Review process, and must be substantially complete prior to building permit application.
- B. Applicant has been made aware that development on this property will require FAA approval prior to the issuance of a building permit due to the proximity of the Millard Airport.
- C. The development will be required to meet the requirements for a Post Construction Storm Water Management Plan as per City regulations.
- D. A copy of the site plan package and a preliminary schedule of development for the PUD has been attached to this report.

V. STAFF RECOMMENDATION – PLANNED UNIT DEVELOPMENT SITE PLAN AMENDMENT:

Staff recommends approval of the PUD Site Plan Amendment for an office development on Lot 3 Southport East Replat Six, as the request is consistent with the Comprehensive Plan and the Zoning Ordinance.

VII. ATTACHMENTS TO REPORT:

- A. Vicinity Map
- B. Review & Response Letters
- C. Draft Building Elevation
- D. Draft PUD Site Plan map set
- E. Preliminary Schedule of Development

VIII. COPIES OF REPORT SENT TO:

- A. Erin Trofholz, Alley Poyner Macchietto Architecture
- B. Public Upon Request



Prepared by: Associate City Planner

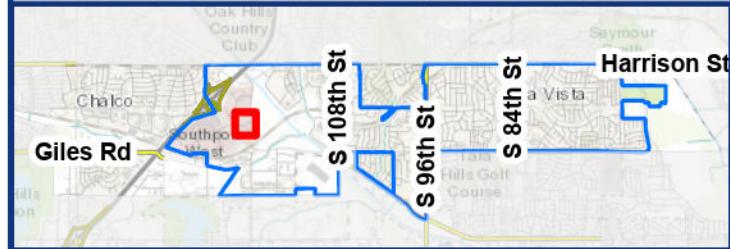

Community Development Director

2-5-25

Date



Planned Unit Development Amendment - Hausmann Holdings, LLC



Legend

- Property Lines
- PUD Amendment





December 9, 2024

Alley Poyner Macchietto Architecture
Attn: Erin Trofholz
1516 Cuming Street
Omaha, NE 68102

RE: Hausmann Construction Office Building Planned Unit Development
Initial Review Letter

Erin Trofholz,

We have reviewed the documents submitted for the above-referenced application. Based on the elements for consideration set forth in the applicable sections of the Zoning Ordinance, the City has the following comments:

1. Per Section 5.15.04.08, please identify which of the accessible parking spaces provided are considered and meet the requirements for van-accessible parking, per Section 7.08 of the La Vista Zoning Ordinance. Please include the dimensions for the access aisles serving the ADA parking stalls.
2. Per Section 5.15.05.02.2, please provide the proposed height of the building.
3. Per Section 5.15.05.02.5, please include the name of the street located south of the proposed development. Both S. 123rd Plz and Port Grace Plz are not public roads. Please remove the reference to public right of way on these streets.
4. Per Section 5.15.05.02.11, please depict any existing development within 200 feet of the lot on the PUD plan set.
5. Regarding Section 5.15.05.04, please include the calculations for the pre and post development 100 year events on the Post Construction Stormwater Management Plan Sheet (Sheet 5 of 6).

City Hall
8116 Park View Blvd.
La Vista, NE 68128-2198
402.331.4343 **P**
402.331.4375 **F**

Community Development
8116 Park View Blvd.
402.593.6400 **P**
402.593.6445 **F**

Library
9110 Giles Rd.
402.537.3900 **P**
402.537.3902 **F**

Police
7701 S. 96th St.
402.331.1582 **P**
402.331.7210 **F**

Public Works
9900 Portal Rd.
402.331.8927 **P**
402.331.1051 **F**

Recreation
8116 Park View Blvd.
402.331.3455 **P**
402.331.0299 **F**

6. Per Section 5.15.05.07, please include a preliminary building rendering with the PUD plan set.
7. Per section 5.15.05.09, please provide all applicable restrictive covenants and easements on the lot.
8. Is Hausmann intending to construct any monument signs on the property? If so, please include their location(s) and setback dimensions in the site plan.
9. The landscaping plan is currently under review by the City's third-party design review architect and shall comply with the Southport East Design Guidelines and Section 7.17 of the La Vista Zoning Ordinance. Comments or changes may be forthcoming.
10. The building design for the proposed office building shall comply with the Southport East Design Guidelines and the design review process shall be substantially complete prior to application for building permits.
11. A flagpole is noted in the PUD site plan. This flagpole shall comply with Section 4.15.03 of the La Vista Zoning Ordinance.
12. Please design and construct the ramps and sidewalks adjacent to the proposed, future roundabout in a manner consistent with the Southport East Design Guidelines. The timing of this roundabout is uncertain, and the ramps and sidewalks can be reconstructed as part of the roundabout construction if necessary. Please design the meandering sidewalk in such a way as to reduce potential conflict with the roundabout and right of way.
13. We recommend relocating the dumpster enclosure to the northeast corner of the property to move it further from the travelway edge and the entrance of the building, as noted in the attached redlined site plan. Please confirm that waste hauler truck routing and turning movements are acceptable to properly service the trash enclosure.
14. Please include a sidewalk ramp for the sidewalk on the west edge of the property that directs toward Lot 1 Southport East Replat 9, and confirm that the alignment does not conflict with the storm sewer inlet on the other side of the street, as noted in the attached redlined site plan.
15. The site plan notes a 15' building setback along S. 123rd Plaza and Port Grace Blvd. These are also considered front yards due to their fronting a street. The required front yard setback when parking is present in front of the building is 50' per Section 5.12.06. There do not appear to be conflicts with the building being in the required setback, but please change the noted setback dimensions along these street frontages to 50' as required per Section 5.12.06.

Please resubmit revised electronic copies of the PUD submittal to the City for further review. Please also provide a response letter that answers or acknowledges each of the comments contained in this letter. A timeline for review by the Planning Commission and City Council will be determined based on the timing of the resubmittal and the extent to which the issues noted this review have been sufficiently addressed. If you have any questions regarding these comments, please feel free to contact me at any time.

Thank you,



Cale Brodersen, AICP
Associate City Planner
City of La Vista
cbrodersen@cityoflavista.org
(402) 593-6400

CC:

Bruce Fountain, Community Development Director – City of La Vista
Chris Solberg, Deputy Community Development Director – City of La Vista
Pat Dowse, City Engineer – City of La Vista
Garrett Delgado, Engineer Assistant – City of La Vista

APMA

Memo

Date: 12/12/2024
Project: 23110 - Hausmann Omaha Office
Subject: Response to PUD Initial Review Letter

Comments:

1. Per Section 5.15.04.08, please identify which of the accessible parking spaces provided are considered and meet the requirements for van-accessible parking, per section 7.08 of the La Vista Zoning Ordinance. Please include the dimensions for the access aisles serving the ADA parking stalls.

Response: Van accessible stalls have been labeled and the access aisles have been dimensioned.

2. Per Section 5.15.05.02.2, please provide the proposed height of the building.

Response: The height of the building is 38'-2" and is noted in Section II, K, of the Planning & Zoning Application form.

3. Per Section 5.15.05.02.5, please include the name of the street located south of the proposed development. Both S. 123rd Plz and Port Grace Plz are not public roads. Please remove the reference to public right of way on these streets.

Response: Street labels have been updated.

4. Per Section 5.15.05.02.11, please depict any existing development within 200 feet of the lot on the PUD plan set.

Response: A 2022 aerial background image has been added to Sheet 1 to show existing development.

5. Per Section 5.15.05.04, please include the calculations for the pre and post development 100 year events on the Post Construction Stormwater Management Plan Sheet (Sheet 5 of 6).

Response: The 100 year event has been added to the table.

6. Per Section 5.15.05.07, please include a preliminary building rendering with the PUD plan set.

Response: A preliminary building rendering has been included with the revised submittal.

7. Per Section 5.15.05.09, please provide all applicable restrictive covenants and easements on the lot.

Response: Added easements to Sheet 1 of 6.

8. Is Hausmann intending to construct any monument signs on the property? If so, please include their locations(s) and setback dimensions on the site plan.

Response: No monument sign is planned.

9. The landscaping plan is currently under review by the City's third-party design review architect and shall comply with the Southport East Design Guidelines and Section 7.17 of the La Vista Zoning Ordinance. Comments or changes may be forthcoming.

Response: Acknowledged. We will review and respond to comments once they are received.

10. The building design for the proposed office building shall comply with the Southport East Design Guidelines and the design review process shall be substantially complete prior to application for building permits.

Response: Initial comments from the Design Review have been received. Many have been revised and are included in the sheets provided as part of the PUD Review process. Any outstanding items will be addressed prior to application for building permits.

11. A flagpole is noted in the PUD site plan. This flagpole shall comply with Section 4.15.03 of the La Vista Zoning Ordinance.

Response: Acknowledged.

12. Please design and construct the ramps and sidewalks adjacent to the proposed, future roundabout in a manner consistent with the Southport East Design Guidelines. The timing of this roundabout is uncertain, and the ramps and sidewalks can be reconstructed as part of the roundabout construction if necessary. Please design the meandering sidewalk in such a way as to reduce potential conflict with the roundabout and right of way.

Response: The sidewalk and ramp area has been revised.

13. We recommend relocating the dumpster enclosure to the northeast corner of the property to move it further from the travelway edge and the entrance of the building, as noted in the attached redline site plan. Please confirm the waster hauler truck routing and turning movements are acceptable to properly service the trash enclosure.

Response: Dumpster enclosure has been relocated to the northeast corner of the property.

14. Please include a sidewalk ramp for the sidewalk on the west edge of the property that directs toward Lot 1 Southport East Replat 9, and confirm that the alignment does not conflict with the storm sewer inlet on the other side of the street, as noted in the attached redline site plan.

Response: A ramp directed towards Lot 1 Southport East Replat 9 has been added. The alignment does not conflict with the storm sewer inlet on the other side of the street.

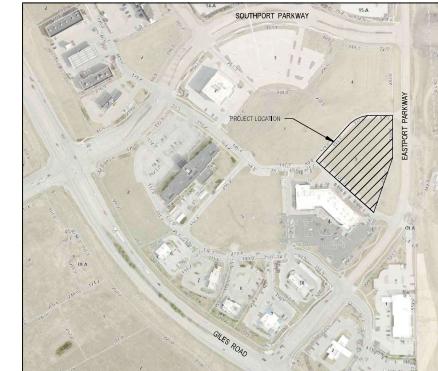
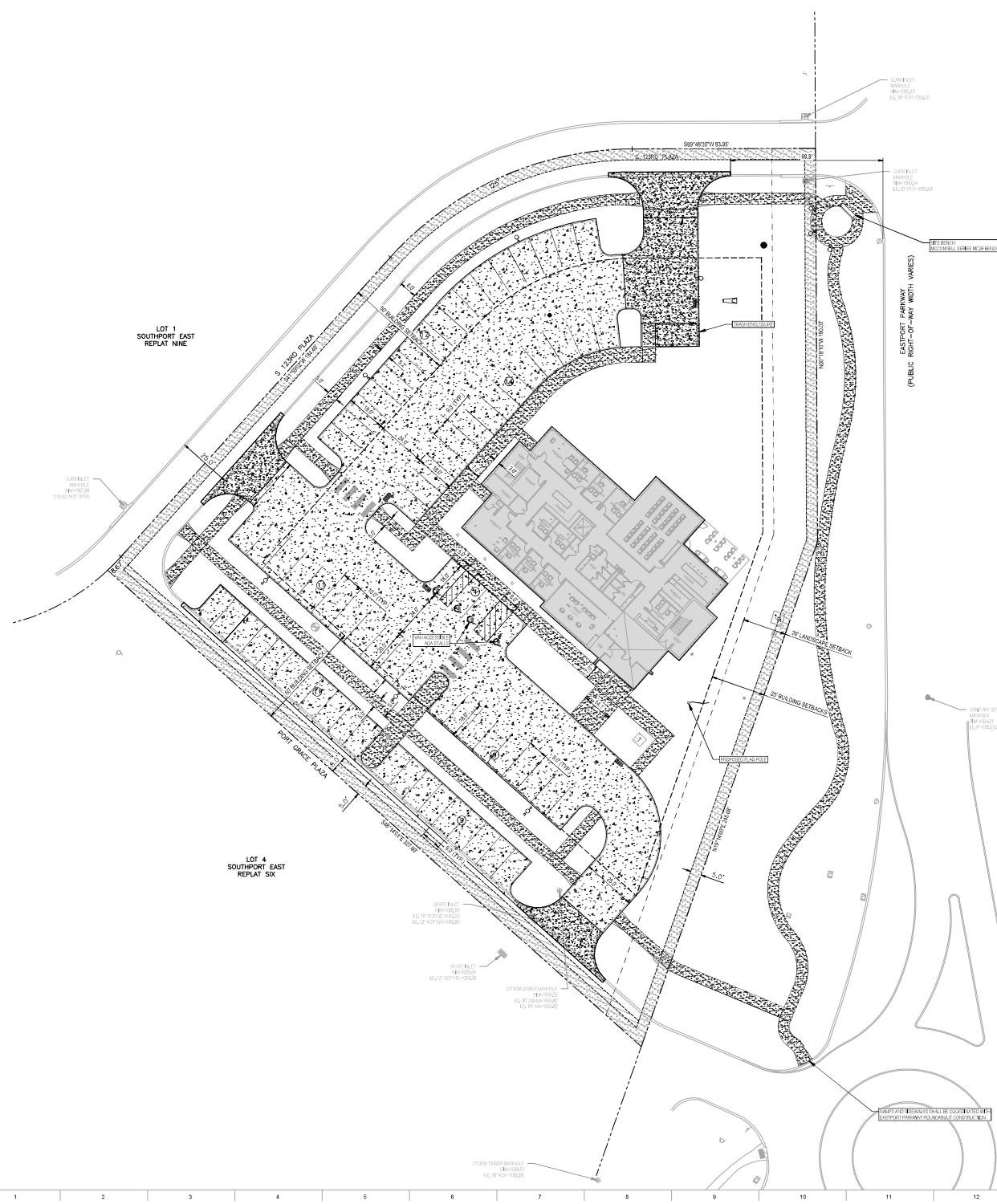
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Response: Building setbacks have been corrected.

END OF RESPONSE MEMO



APMA



VICINITY MAP

LOT 3, SOUTHPORT EAST REPLAT SIX, A SUBDIVISION IN SARPY COUNTY, NEBRASKA

LEGEND

PROPOSED 4" P.C.C. PAVEMENT WITH
INTERVAL TYPE "A" CURB

PROPOSED 7" P.C.C. PAVEMENT WITH
INTERVAL TYPE "A" CURB

PROPOSED 4" P.C.C. SIDEWALK
SIDEWALK IN R.O.W. SHALL BE 5" P.C.C.

PARKING COUNT

BUILDING SETBACK

LANDSCAPING SETBACK

EASEMENT GRANTED TO THE OMAHA PUBLIC
DISTRICT, OWEST COMMUNICATIONS AND ANY
CABLE TELEVISION PROVIDER AS NOTED IN THE
PLAT DEEDORATION OF SOUTHPORT EAST REPAIR

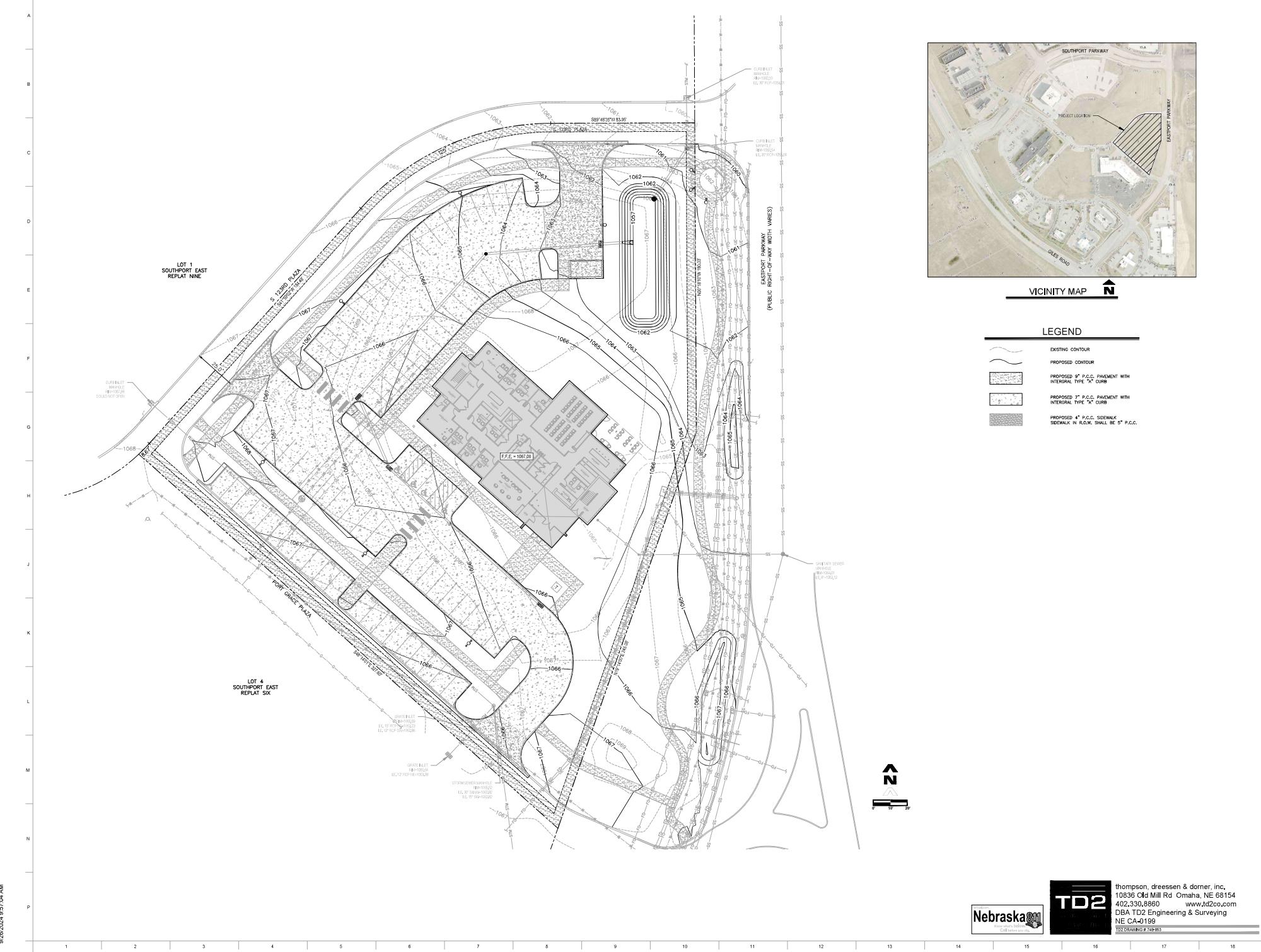
EASEMENT GRANTED TO THE METROPOLITAN
WATER DISTRICT FOR THE CONSTRUCTION OF
THE METROPOLITAN WATER TREATMENT PLANT.
PLAT DEEDORATION OF SOUTHPORT EAST REPAIR

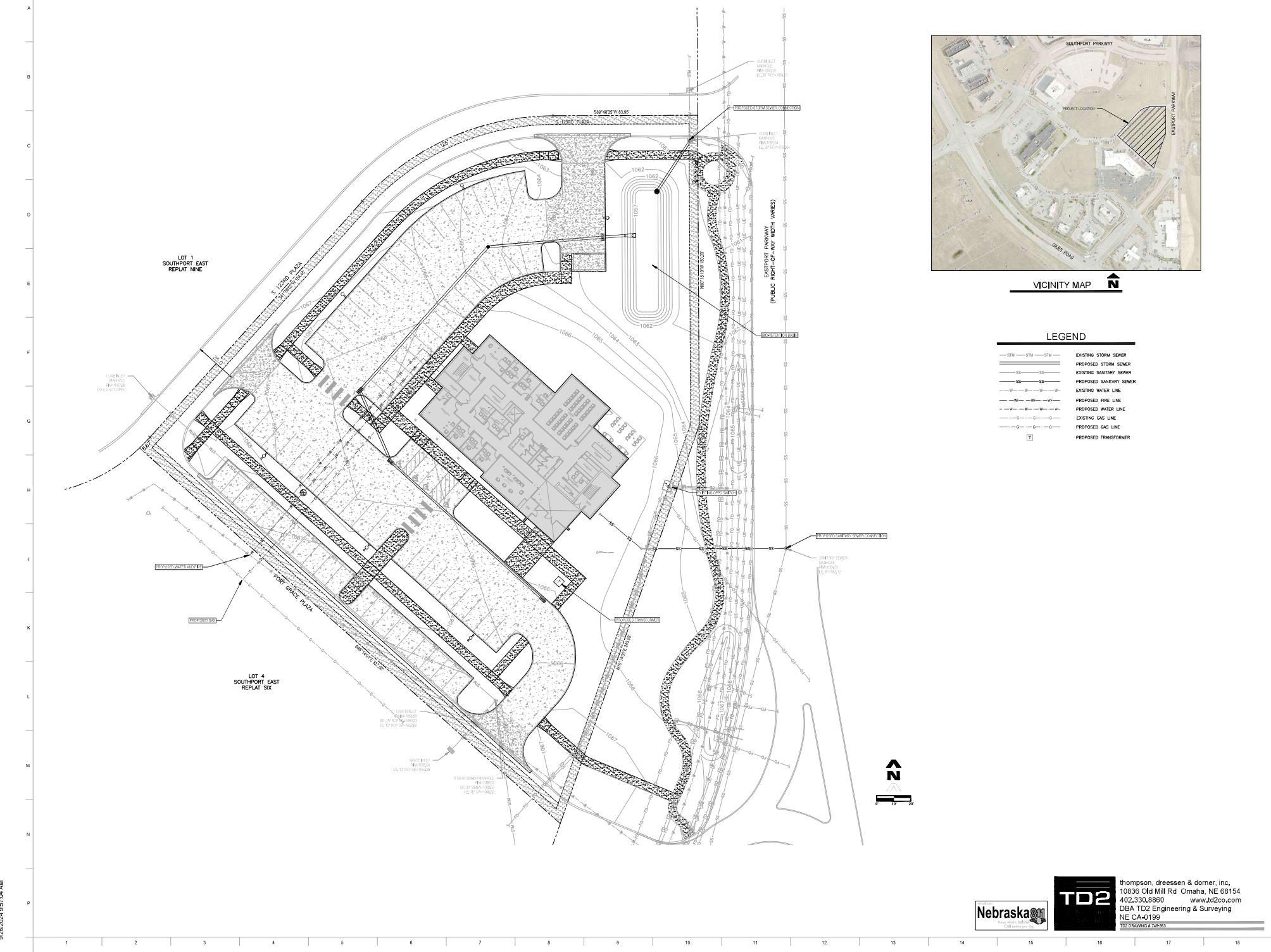
PARKING SUMMARY - REQUIRED				
USE	SF	REQUIREMENT	CALCULATION	REQUIRE STALLS
OFFICE	14911	1 STALL / 200 S.F.	(1 STALL/200 S.F.)*(14,911 S.F.) = 74.6 STALLS	75

PARKING SUMMARY	
STALL TYPE	STALLS
STANDARD STALLS	60
OVERSIZED STALLS	1
ADA STALLS	4
TOTAL PARKING	65

SITE STATISTICS								
LOT	ZONING	LOT SIZE (SF/AC)	MAX BUILDING HEIGHT (SF)	BUILDING COVERAGE (SF)	BUILDING COVERAGE (%)	PAVEMENT AREA (SF)	TOTAL IMPERVIOUS (SF)	TOTAL IMPERVIOUS (%)
3	C-3 (RUD) GATEWAY CORRIDOR DISTRICT	80,927 SF 1.84 AC	38.2	7,676	10%	43,350	51,028	64 %

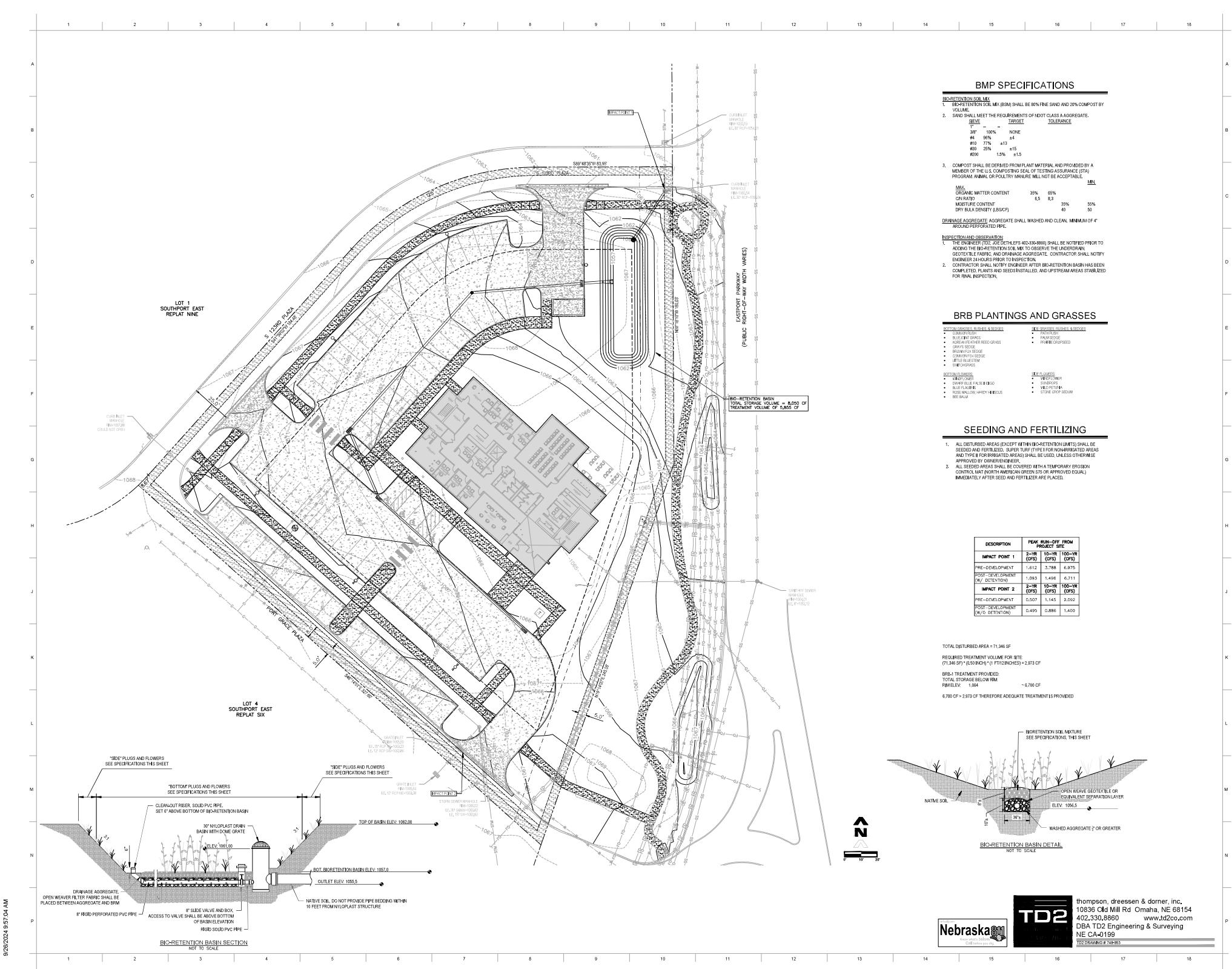






NOT FOR CONSTRUCTION

5 of 6





Construction Duration Overview:

Re: Proposed Construction Timelines for Hausmann
Construction's new LaVista Office

- November 2024 - Hausmann Holdings closed on property.
- Winter 2024/2025 – Complete design documents
- Spring 2025 – Apply for building permit
- June 2025 - Mobilize and begin construction.
- June / October 2025 – Foundations and Structure Erection
- Fall / Winter 2025 – Roofing and Building enclosure
- Winter/Spring 2026 – Interior Framing and MEP rough ins
- Spring 2026 – Site Paving
- Summer 2026 – Interior finishes complete
- Summer 2026 – Landscaping
- Fall 2026 – Building Occupancy

11627 Virginia Plaza, Suite 106
La Vista, NE 68128

402.979.8200
HAUSMANNCONSTRUCTION.COM