

AGENDA ITEM 4A

**Public Hearing for an amendment to Conditional
Use Permit – Casey's General Stores, Inc.**

**CITY OF LA VISTA
PLANNING DIVISION**

RECOMMENDATION REPORT

CASE NUMBER: 2016-CUP-02

FOR HEARING OF: April 21, 2016

Report Prepared on March 29, 2016

I. GENERAL INFORMATION

- A. APPLICANT:** Casey's General Store
- B. PROPERTY OWNER:** Casey's Retail Company
- C. LOCATION:** 9542 Giles Road
- D. LEGAL DESCRIPTION:** Lot 179 Southwind
- E. REQUESTED ACTION(S):** Amend the Conditional Use Permit to provide for two building additions and modifications to the site plan.
- F. EXISTING ZONING AND LAND USE:**
C-1 Shopping Center Commercial and Gateway Corridor District (Overlay District); the property contains one existing building which houses the convenience store and a canopy over six gas pumps.
- G. PROPOSED USES:** Owner wishes to continue operation of a convenience store with limited motor fuel sales, while expanding the use by providing for two building additions and modifications to the site plan.
- H. SIZE OF SITE:** 1.10 acres

II. BACKGROUND INFORMATION

- A. EXISTING CONDITION OF SITE:** The property has been developed and maintained in accordance with the existing Conditional Use Permit.
- B. GENERAL NEIGHBORHOOD/AREA LAND USES AND ZONING:**
 - 1. **North:** WalMart Neighborhood Market; C-1 Shopping Center Commercial and Gateway Corridor District (Overlay District)
 - 2. **East:** WalMart Neighborhood Market; C-1 Shopping Center Commercial and Gateway Corridor District (Overlay District)
 - 3. **South:** Single Family Residential; R-2 Single Family Residential (Medium Density) - Papillion
 - 4. **West:** Alegent Health Clinic; C-1 Shopping Center Commercial and Gateway Corridor District (Overlay District)

- C. **RELEVANT CASE HISTORY:** The original Special Use Permit was approved on December 18, 2001. An amendment to modify the Special Use Permit to a Conditional Use Permit and expand the hours of operation to 24 hours, was approved on March 18, 2014.

III. ANALYSIS

- A. **COMPREHENSIVE PLAN:** The Future Land Use Map of the Comprehensive Plan designates this property for commercial uses.
- B. **OTHER PLANS:** N/A
- C. **TRAFFIC AND ACCESS:**
1. Two access points currently exist on the property. One from 96th Street through an easement on the Walmart Neighborhood Market property. The other access is through a right-in/right-out on Giles Road via an easement on the Walmart Neighborhood Market property.
- D. **UTILITIES:** All utilities are available to the site.
- E. **PARKING REQUIREMENTS:**
1. The existing parking layout was reviewed at the time of initial development and a site plan depicting the parking was included as an exhibit to the Special Use Permit; the site plan did not change when it was converted to a Conditional Use Permit. The new site plan provides 16 striped parking stalls along the entrance to the convenience store. In addition to the existing 12 stalls alongside the pumps (allowed to count towards the requirement), the total parking spaces provided equals 28. The existing 2,720 square foot structure, combined with the 600 square foot addition, requires 17 parking stalls. The number of stalls provided exceeds the minimum requirements.
- F. **LANDSCAPING:**
1. This original landscaping plan has been modified based on changes to the site plan.

IV. REVIEW COMMENTS:

1. A site review determined that the existing facility is not in conformance with the existing landscaping plan. The existing landscaping will need to come into conformance through the building permit and inspection process.

V. **STAFF RECOMMENDATION:**


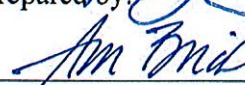
Approval of the Conditional Use Permit for Casey's General Store, conditional on the correction of the existing landscaping issues through the building permit process for the building additions, as the CUP amendment request is consistent with the Comprehensive Plan and the Zoning Ordinance.

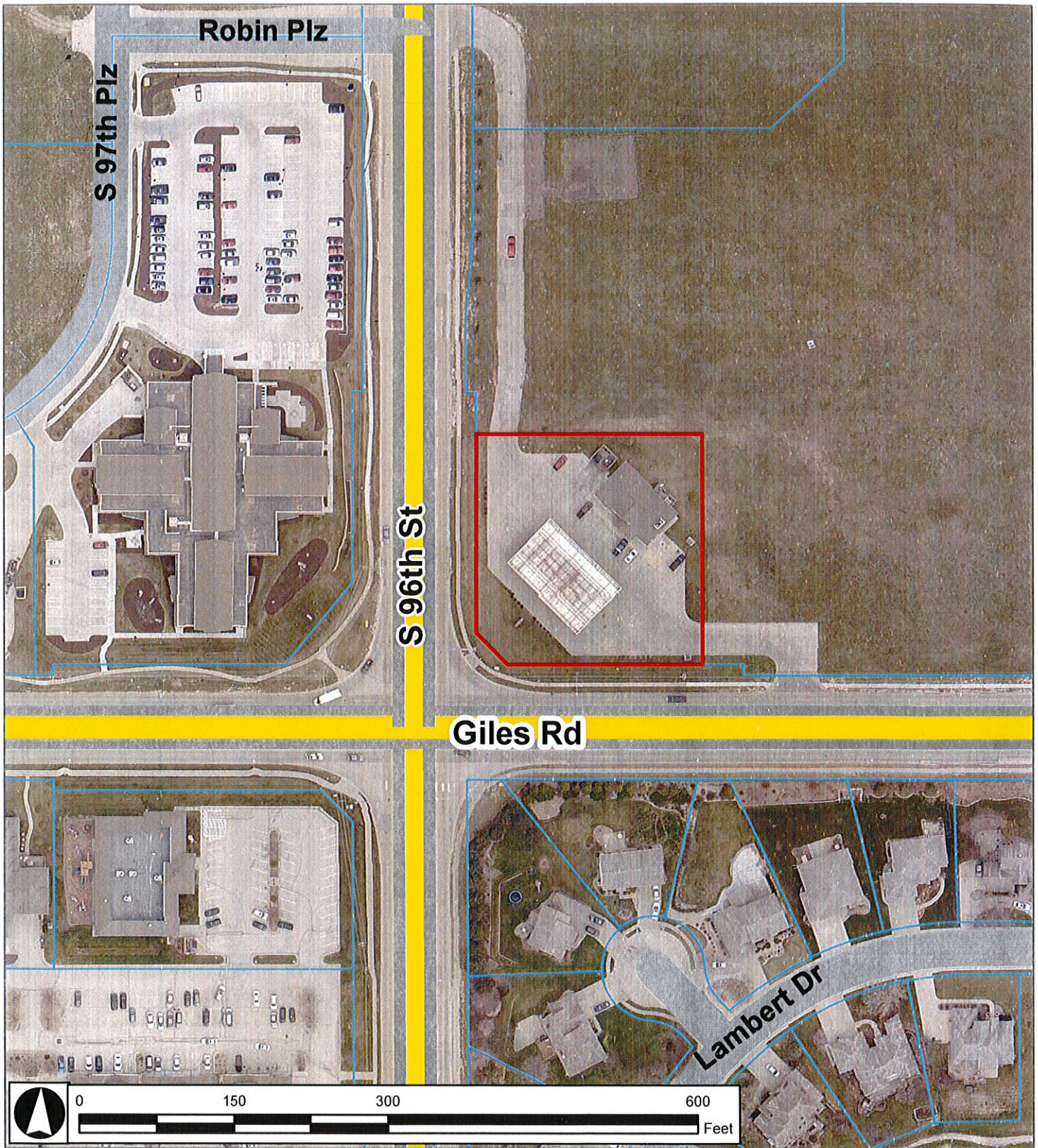
VI. **ATTACHMENTS TO REPORT:**

1. Vicinity Map
2. Draft CUP

VII. **COPIES OF REPORT TO:**

1. David Rachuy, Casey's Retail Company, Applicant
2. Elara Jondle, A. Leo Pelds Engineering Company; Project Contact
3. Public Upon Request

Prepared by: 
 4-13-16
Community Development Director Date



Project Vicinity Map



Casey's General Store - Amendment #2

04-13-2016
JMC





February 12, 2016

Elara Jondle
A Leo Pelds Engineering Company
2323 Dixon Street
Des Moines, IA 50316

RE: Conditional Use Permit Amendment
Casey's General Store
9542 Giles Road
Proposed Building Additions

Ms. Jondle:

Thank you for your submittal of the Casey's General Store CUP amendment request to allow for two building additions and some modifications to the parking lot for the current store located at 9542 Giles Road in La Vista. Our staff has reviewed the submittal and has provided the following comments:

1. The proposed trash enclosure location places it immediately adjacent to a customer sidewalk and forward from the face of the building. Relative to Article 6.05.01 it is recommended to move the trash enclosure back to the northwest side of the building and behind the front building line, keeping it out of the front yard as per Section 4.09 of the Zoning Ordinance.
2. Relative to Article 6.05.04, if the proposed modifications result in more than 5,000 square feet of increased impervious are, then it will be necessary to comply with Post Construction Storm Water Management requirements for treatment of the first half-inch of runoff and for no increase in 2-year peak flows above existing conditions. It does not appear that the impervious increase will be this large, but the applicant needs to submit data identifying the increase in impervious area above existing conditions.
3. Public Works has received public complaints about the condition of the pavement in the drive approach onto Giles Road. This is a shared drive approach with the Walmart Neighborhood Market. The applicant needs to review their access easement with the abutting property owner and pursue repairs to this entrance. This is relevant to Article 6.05.10 of the Zoning Ordinance.
4. The proposed site plan depicts the new cooler/freezer along the southwest exterior wall of the facility. However, the building elevations provided depict the new cooler in the existing ground equipment enclosure. Please clarify the location of the new cooler/freezer. Regardless of location, the cooler/freezer

City Hall
8116 Park View Blvd.
La Vista, NE 68128-2198
p: 402-331-4343
f: 402-331-4375

Community Development
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p: 402-331-4343
f: 402-331-4375

Fire
8110 Park View Blvd.
p: 402-331-4748
f: 402-331-0410

Golf Course
8305 Park View Blvd.
p: 402-339-9147

Library
9110 Giles Rd.
p: 402-537-3900
f: 402-537-3902

Police
7701 South 96th St.
p: 402-331-1582
f: 402-331-7210

Public Buildings & Grounds
8112 Park View Blvd.
p: 402-331-4343
f: 402-331-4375

Public Works
9900 Portal Rd.
p: 402-331-8927
f: 402-331-1051

Recreation
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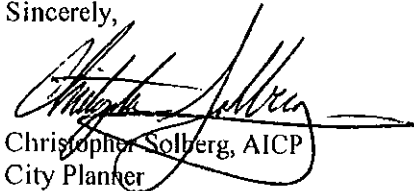
should be screened in similar fashion as the existing ground equipment enclosure as per Section III(I) of the Gateway Corridor Design Guideline.

5. The transformer on the east side of the property needs to be screened as well. This is typically completed with ornamental grasses, allowing for access by OPPD if necessary.

Please submit four copies of revised plans by February 19th in order to continue to be considered for the March Planning Commission meeting. If you cannot re-submit by this date, or additional changes are required after the next submittal, the application will be considered for the April Planning Commission meeting.

Should you have any questions please contact me at 331-4343.

Sincerely,

A handwritten signature in black ink, appearing to read "Christopher Solberg", is written over a horizontal line. The signature is fluid and cursive.

Christopher Solberg, AICP
City Planner

Cc: Ann Birch, Community Development Director
John Kottmann, City Engineer
Jeff Sinnett, Chief Building Official
File



February 12, 2016

Elara Jondle
A Leo Pelds Engineering Company
2323 Dixon Street
Des Moines, IA 50316

RE: Conditional Use Permit Amendment
Casey's General Store
9542 Giles Road
Proposed Building Additions

Ms. Jondle:

Thank you for your re-submittal of the plans for the Casey's General Store CUP amendment request to allow for two building additions and some modifications to the parking lot for the current store located at 9542 Giles Road in La Vista. Our staff has reviewed the re-submittal and has provided the following comments:

1. The proposed trash enclosure location places it immediately adjacent to a customer sidewalk and forward from the face of the building. Relative to Article 6.05.01 it the trash enclosure needs to move back to the northwest side of the building and behind the front building line, keeping it out of the front yard as per Section 4.09 of the Zoning Ordinance. Such a move will not have an enough of an impact on the impervious coverage change to need to comply Post Construction Storm Water Management Requirements.
2. The proposed site plan depicts the new cooler/freezer along the southeast exterior wall of the facility, and has been updated to show screening as requested. However, the building elevations provided are still incorrect, please adjust the building elevations to reflect the site plan.

In order for the CUP amendment to be considered for review at the March 17, 2016 Planning Commission meeting, revised documents will need to be provided for the Planning Commission packets. Please submit 10 full-size and 4 ledger-size (11"x17") copies (along with electronic copies) of the revised CUP documents by March 3, 2016 to ensure that the application stays on track for review by the Planning Commission.

If the revised documents have been resubmitted on time, the application will be on the March Planning Commission agenda. The Planning Commission will meet at 7:00pm on March 17th. Please have someone in attendance with a presentation prepared for the Commission.

Should you have any questions please contact me via email or at 402-331-4343.

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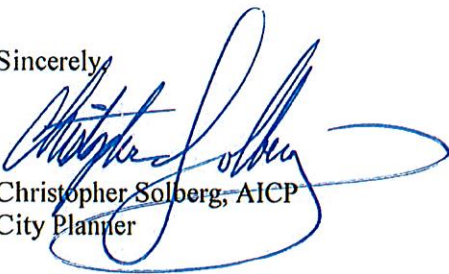
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Sincerely,

A handwritten signature in blue ink, appearing to read "Christopher Solberg", with a large, stylized flourish extending from the end of the name.

Christopher Solberg, AICP
City Planner

Cc: Ann Birch, Community Development Director
John Kottmann, City Engineer
Jeff Sinnett, Chief Building Official

City of La Vista Conditional Use Permit

Conditional Use Permit for Convenience Store with Limited Fuel Sales

This Conditional Use Permit issued this 17th day of May, 2016, by the City of La Vista, a municipal corporation in the County of Sarpy County, Nebraska ("City") to, Casey's Retail Company ("Owner"), pursuant to the La Vista Zoning Ordinance.

WHEREAS, Owner wishes to expand the building structure of a convenience store with limited motor fuel sales (and motor fuel storage and dispensing related to said sales) upon the following described tract of land within the City of La Vista zoning jurisdiction:

Lot 179, Southwind, a subdivision located in the SW ¼ of Section 15, Township 14 North, Range 12 East of the 6th P.M. Sarpy County, Nebraska.

WHEREAS, Owner has applied for an amendment to their conditional use permit to operate a convenience store with limited motor fuel sales (and motor fuel storage and dispensing related to said sales); and

WHEREAS, the Mayor and City Council of the City of La Vista are agreeable to the issuance of an amendment to the conditional use permit to Owner for such purposes, subject to certain conditions and agreements as hereinafter provided.

NOW, THEREFORE, BE IT KNOWN THAT subject to the conditions hereof, this conditional use permit is amended to allow the Owner to use the area designated on Exhibit "A" hereto for a convenience store with limited motor fuel sales (and motor fuel storage and dispensing related to said sales), said uses hereinafter being referred to as "Permitted Use or Use".

Conditions of Permit

The conditions to which the granting of this permit is subject are:

1. The rights granted by this permit are transferable and any variation or breach of any terms hereof shall cause permit to expire and terminate without the prior written consent of the City (amendment to permit) or unless exempted herein.
2. In respect to the proposed use:
 - a. The premises shall be developed and maintained in accordance with the CUP Site Plan ("Exhibit A"), Landscaping Plan ("Exhibit B"), and Building Elevations ("Exhibit C") as presented to the City Council on _____ and incorporated herein by this reference. Any modifications must be submitted to the Building Inspector for approval.
 - b. Hours of operation for convenience store will be 24 hours a day, seven days a week.
 - c. There shall be no storage, placement or display of goods, supplies or any other material, substance, container or receptacle outside of the convenience store, except as approved in writing by the City.

- d. The City acknowledges that the use will involve the construction, placement and maintenance of underground motor fuel storage tanks and gasoline dispensing pumps (permitted structures) on the premises. The structures shall be constructed, maintained and operated in a safe and responsible manner, and in accordance with any applicable laws, rules or regulations, including, but not limited to, applicable environmental or safety laws, as amended or in effect from time to time, and shall not cause, or create risk of injury or damage to, or loss of life, property or the environment. The owner shall make annual inspections of the premises and structures, and the operation thereof for any hazard or risk, including, but not limited to, those of an environmental or safety nature. The owner shall take immediate action to protect persons, property and the environment from any damage, injury or loss, or risk thereof, arising out of or resulting from any hazard or risk on the premises, including, but not limited to, hazard or risk involving the permitted structures, that is discovered or should be discovered (including, but not limited to, those of an environmental or safety nature) and to abate any hazard or risk and remove it from the premises in accordance with any applicable laws, rules or regulations, as amended or in effect from time to time.
 - e. Owner shall obtain all required permits from the City of La Vista and shall comply with any additional requirements as determined by the City Planner.
 - f. Owner shall comply (and shall ensure that all employees, invitees, suppliers, structures, appurtenances and improvements, and all activities occurring or conducted, on the premises at any time comply) with any applicable federal, state and/or local regulations, as amended or in effect from time to time, including, but not limited to, applicable environmental or safety laws, rules or regulations.
 - g. Owner hereby indemnifies the city against, and holds the City harmless from, any liability, loss, claim or expense whatsoever (including, but not limited to, reasonable attorney fees and court cost) arising out of or resulting from the acts, omissions or negligence of the Owner, his agents, employees, assigns, suppliers or invitees, including, but not limited to, any liability, loss, claim or expense arising out of or resulting from any violation on the premises of any environmental or safety law, rule or regulation.
3. In respect to the special commercial corridor building design criteria:
- a. Building Exterior
 - i. The reddish brown brick (per sample submitted) is approved. If another type of brick is preferred, a sample must be submitted for approval.
 - ii. The type of glass is noted and should be clear or tinted.
 - b. Gas Pump Canopy
 - i. The vertical canopy supports shall be clad with the same brick as the building.
 - ii. The standard height canopy is permitted provided that the lights underneath result in little or no glare.
 - c. Monument Sign
 - i. The reddish brown brick (per sample) is approved.
 - d. Trash Enclosure
 - i. The trash enclosure is acceptable. The three sides of the trash enclosures shall be constructed of the same brick as used on the building. Gate material on the fourth side shall be of material approved by the City.
 - e. Exterior Light Fixtures
 - i. Any exterior light fixtures used on this project shall be similar to the light fixtures at the new LaVista Public Library.
 - ii. All exterior light fixtures must be submitted for approval.
 - f. Landscaping
 - i. The landscaping plan as submitted (Exhibit B) is acceptable.

- g. Signage
 - i. All signs shall comply with the City's sign regulations.
- 4. The applicant's right to maintain the use as approved pursuant to these provisions shall be based on the following:
 - a. An annual inspection to determine compliance with the conditions of approval. The conditional use permit may be revoked upon a finding by the City that there is a violation of the terms of approval.
 - b. The use authorized by the conditional use permit must be initiated within one (1) year of approval and shall become void two (2) years after the date of approval unless the applicant has fully complied with the terms of approval.
 - c. All obsolete or unused structures and accessory facilities and any remaining environmental or safety hazard shall be abated and/or removed at owner's expense within twelve (12) months of cessation of the special use.
- 5. Notwithstanding any other provision herein to the contrary, this Permit, and all rights granted hereby, shall expire and terminate as to a permitted use hereunder upon the first of the following to occur:
 - a. Owner's abandonment of the Permitted Use. Non-use thereof for a period of twelve (12) months shall constitute a presumption of abandonment.
 - b. Cancellation, revocation, denial or failure to maintain any federal, state or local permit required for the Conditional Use.
 - c. Owner's construction or placement of a storage tank, structure or other improvement on the premises not specified in this permit.
 - d. Owner's breach of any other terms hereof and his failure to correct such breach within ten (10) days of City's giving notice thereof.
- 6. If the Permitted Use is not commenced within one (1) year from May 17, 2016, this Permit shall be null and void and all rights hereunder shall lapse, without prejudice to Owner's right to file for an extension of time pursuant to Section 11-710 of the La Vista Municipal Code.
- 7. In the event of the owner's failure to promptly remove any safety or environmental hazard from the premises, or the expiration or termination of this permit and the owner's failure to promptly remove the permitted structures or any remaining environmental or safety hazard, the City may, at its option (but without any obligation to the owner or any third party to exercise said option) cause the same to be removed at owner's cost (including, but not limited to, the cost of any excavation and earthwork that is necessary or advisable) and the Owner shall reimburse the city the costs incurred to remove the same. Owner hereby irrevocably grants the City, its agents and employees the right to enter the premises and to take whatever action as is necessary or appropriate to remove the structures or any environmental or safety hazards in accordance with the terms of this permit, and the right of the City to enter the premises as necessary or appropriate to carry out any other provision of this permit.
- 8. If any provision, or any portion thereof, contained in this agreement is held to be unconstitutional, invalid, or unenforceable, the remaining provisions hereof, or portions thereof, shall be deemed severable, shall not be affected, and shall remain in full force and effect.

Miscellaneous

The conditions and terms of this Permit shall be binding upon Owner, his successors and assigns.

1. Delay of City to terminate this Permit on account of breach of Owner of any of the terms hereof shall not constitute a waiver of City's right to terminate, unless it shall have expressly waived said breach and a waiver of the right to terminate upon any breach shall not constitute a waiver of the right to terminate upon a subsequent breach of the terms hereof, whether said breach be of the same or different nature.
2. Nothing herein shall be construed to be a waiver or suspension of, or an agreement on the part of the City to waive or suspend, any zoning law or regulation applicable to the premises except to the extent and for the duration specifically authorized by this permit.
3. Any notice to be given by City hereunder shall be in writing and shall be sufficiently given if sent by regular mail, postage prepaid, addressed to the Owner as follows:

Contact Name and Address: Jill Reams-Widder
EPA Dept.
Casey's General Stores, Inc.
P.O. Box 3001
One Convenience Blvd.
Ankeny, IA 50021-8045

Effective Date:

This Permit shall take effect upon the filing hereof with the City Clerk a signed original hereof.

THE CITY OF LA VISTA

By _____
Douglas Kindig, Mayor

Attest:

Pam Buethe, CMC
City Clerk
CONSENT AND AGREEMENT

The undersigned does hereby consent and agree to the conditions of this permit and that the terms hereof constitute an agreement on the part of the undersigned to fully and timely perform each and every condition and term hereof, and the undersigned does hereby warrant, covenant and agree to fully and timely perform and discharge all obligations and liabilities herein required by Owner to be performed or discharged.

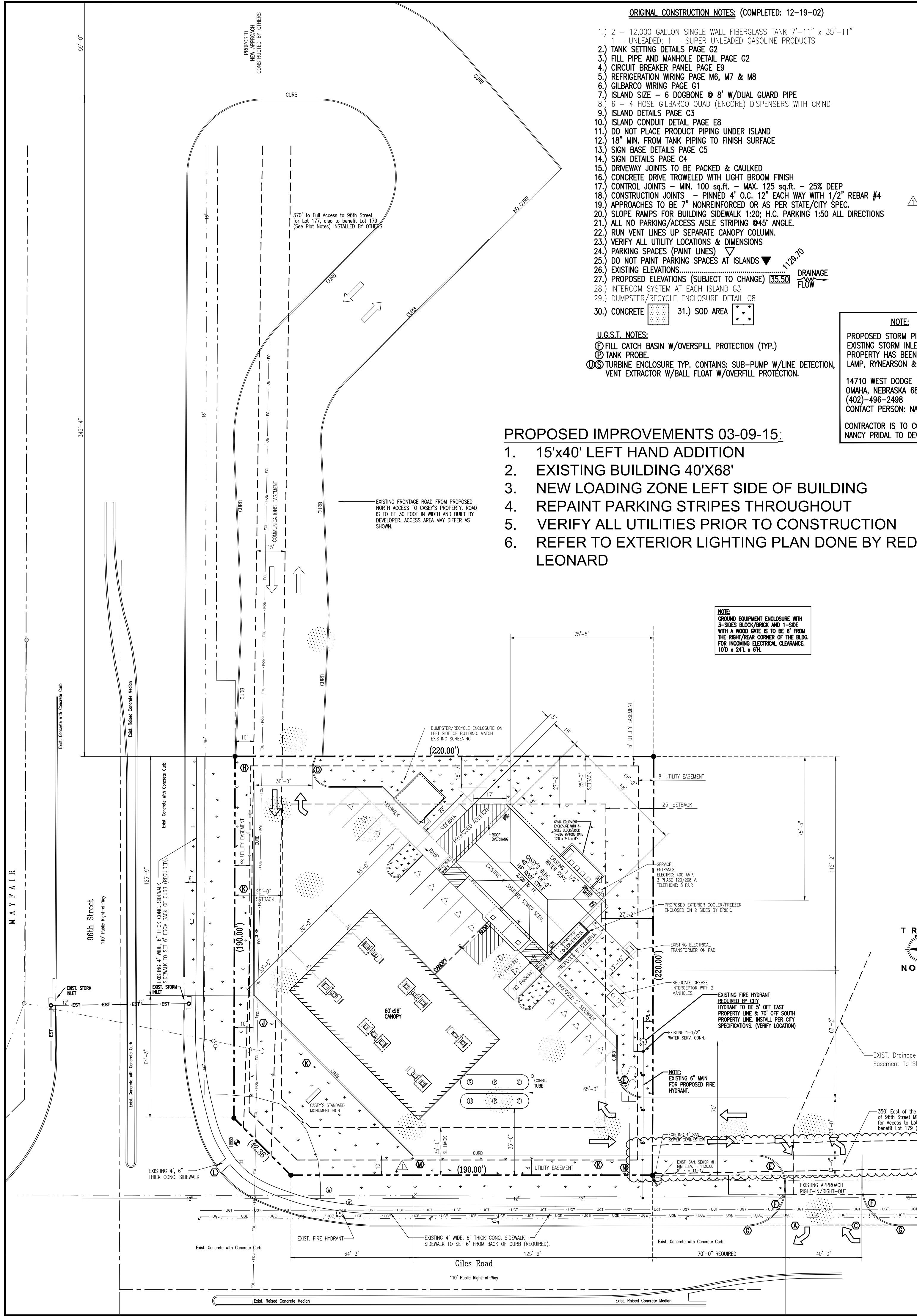
Owner:

By: _____

Title: _____

Date: _____

Exhibit A
CUP Site Plan



- ORIGINAL CONSTRUCTION NOTES: (COMPLETED: 12-19-02)
- 2 - 12,000 GALLON SINGLE WALL FIBERGLASS TANK 7'-11" x 35'-11"
 - 1 - UNLEADED; 1 - SUPER UNLEADED GASOLINE PRODUCTS
 - 2) TANK SETTING DETAILS PAGE G2
 - 3) FILL PIPE AND MANHOLE DETAIL PAGE G2
 - 4) CIRCUIT BREAKER PANEL PAGE E9
 - 5) REFRIGERATION WIRING PAGE M6, M7 & M8
 - 6) GILBARCO WIRING PAGE G1
 - ISLAND SIZE - 6 DOGBONE @ 8' W/DUAL GUARD PIPE
 - 8 - 4 HOSE GILBARCO QUAD (ENCORE) DISPENSERS WITH CRIND
 - 9) ISLAND DETAILS PAGE C3
 - 10) ISLAND CONDUIT DETAIL PAGE E8
 - 11) DO NOT PLACE PRODUCT PIPING UNDER ISLAND
 - 12) 18" MIN. FROM TANK PIPING TO FINISH SURFACE
 - 13) SIGN BASE DETAILS PAGE G5
 - 14) SIGN DETAILS PAGE C4
 - 15) DRIVEWAY JOINTS TO BE PACKED & CAULKED
 - 16) CONCRETE DRIVE TROWELED WITH LIGHT BROOM FINISH
 - 17) CONTROL JOINTS - MIN. 100 sq.ft. - MAX. 125 sq.ft. - 25% DEEP
 - 18) CONSTRUCTION JOINTS - PINNED 4" O.C. 12" EACH WAY WITH 1/2" REBAR #4
 - 19) APPROACHES TO BE 7" NONREINFORCED OR AS PER STATE/CITY SPEC.
 - 20) SLOPE RAMPS FOR BUILDING SIDEWALK 1:20; H.C. PARKING 1:50 ALL DIRECTIONS
 - 21) ALL NO PARKING/ACCESS AISLE STRIPING @45° ANGLE.
 - 22) RUN VENT LINES UP SEPARATE CANOPY COLUMN.
 - 23) VERIFY ALL UTILITY LOCATIONS & DIMENSIONS
 - 24) PARKING SPACES (PAINT LINES)
 - 25) DO NOT PAINT PARKING SPACES AT ISLANDS
 - 26) EXISTING ELEVATIONS.
 - 27) PROPOSED ELEVATIONS (SUBJECT TO CHANGE)
 - 28) INTERCOM SYSTEM AT EACH ISLAND G3
 - 29) DUMPSTER/RECYCLE ENCLOSURE DETAIL C8
 - 30) CONCRETE
 - 31) SOD AREA

NOTE:
PROPOSED STORM PIPE & INVERTS TO EXISTING STORM INLET EAST OF CASEY'S PROPERTY HAS BEEN DESIGNED BY LAMP, RYNEARSON & ASSOCIATES.
14710 WEST DODGE ROAD, SUITE 100
OMAHA, NEBRASKA 68154-2029
(402)-496-2498
CONTACT PERSON: NANCY PRIDAL, P.E.
CONTRACTOR IS TO CONTACT NANCY PRIDAL TO DEViate FROM PLAN.

NOTE:
1. Storm sewer pipe shall have pipe bedding per detail, this sheet.
2. Storm sewer trench backfill shall be compacted to a dry density not less than 95 percent of maximum dry density, at a moisture content from 4 percent below to 4 percent above optimum moisture content. Maximum dry density and optimum moisture content shall be determined in accordance with ASTM D 698.
3. Seed disturbed areas outside property line.

LEGAL DESCRIPTION:

Lot 179, in SOUTHWIND, a subdivision, in Sarpy County, Nebraska, Legal Description and Easements shown herein as per FIRST AMERICAN TITLE INSURANCE COMPANY Commitment for Title Insurance, Commitment No. C01-1757 Effective Date: March 8, 2001 at 8:00 A.M. Issued through SECURITY LAND TITLE & ESCROW COMPANY Commitment No. C01-1757 SCHEDULE B - SECTION 2, SPECIAL EXCEPTIONS - reference the following items:

9. Statement regarding Sanitary and Improvement District No. 200 of said county, filed May 8, 1998, as Instrument No. 98-011645 of the records of Sarpy County.

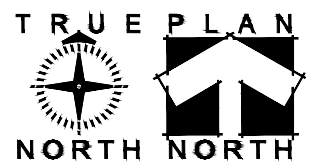
NOTE: This land lies within the Boundaries of Sanitary and Improvement District No. 200. Please contact the Clerk of Sanitary and Improvement District as Special Assessments may be assessed, but not certified to in the Office of the Treasurer of said county.

10. Metropolitan Utilities District Notice of water main filed January 16, 1976 in Book 49 at Page 26 of the Miscellaneous Records of Sarpy County, Nebraska.

11. Easement granted to Northern Natural Gas Company dated February 21, 1951, filed August 23, 1951 in Book 15 at Page 44 of the Miscellaneous Records of Sarpy County, Nebraska. Assigned to Northern Natural Gas Company by instrument dated ad of December 31, 1990, filed January 7, 1991 as Instrument No. 91-00203, Sarpy County Records. Modification and Amendment of Easement Grant dated August 17, 1998, filed October 7, 1998 as Instrument No. 98-028330, Sarpy County Records. Agreement dated September 25, 1998, filed November 13, 1998 as Instrument No. 98-32350, Sarpy County Records. Easement described is outside of the area surveyed.

12. Easements granted for utilities by Plat and Dedication filed October 6, 1998 as Instrument No. 98-28248, Sarpy County Records, over, through, under and across a five foot wide strip of land abutting the front and side boundary lot lines, and eight foot wide strip of land abutting the rear boundary lines of all interior lots and a sixteen foot wide strip of land abutting the rear boundary lines of all exterior lots, with provision for said sixteen foot wide easement to be reduced to eight feet. Easements as shown on the Plat survey of Southwind.

13. Easement for Communication Cables to SID No. 200 dated November 16, 1998, filed November 9, 1998 as Instrument No. 98-31835 Sarpy County Records.



AL-101 Site Layout Plan
1:30

PROJECT: CASEY'S GENERAL STORE
ADDRESS: 96TH & GILES ROAD
OWNER: CASEY'S GENERAL STORES, INC.
ONE CONVENIENCE BLVD.
ANKENY, IOWA 50021-8045
CONTACT PERSON: KEVIN SCHULZE
515-965-6100
LAND SURVEYOR: LAMP, RYNEARSON & ASSOCIATES
14710 WEST DODGE ROAD, SUITE 100
OMAHA, NEBRASKA 68154-2029
402-496-2498

TABULATION BOX:
SIZE OF PARCEL: 47,950.21 SQ. FT.
GROSS FLOOR AREA OF BLDG: 2,720 SQ. FT.
GROSS AREA OF CANOPY: 5,760 SQ. FT.
PERCENT OF SITE COVERED BY BLDG: 5%
PERCENT OF SITE COVERED BY GREEN AREA: 33%
PERCENT OF SITE COVERED BY PARKING AREA: 57%
PROJECTED NUMBER OF EMPLOYEES: 4 FULL-TIME, 6 PART-TIME
NUMBER OF PARKING SPACES REQUIRED: 13
NUMBER OF PARKING SPACES PROVIDED: 15 (10x20, 1 HANDICAP (16'x20'))

CODE REQUIREMENTS: BUILDING CODE NARRATIVE
OCCUPANCY "M": MERCANTILE
CONSTRUCTION TYPE: V-N
SEISMIC ZONE: 1
HEIGHT AND NUMBER OF STORES: 23'-3 5/8" - 1 STORY
OCCUPANT LOAD: 31
FLOOR AREA: 40'-0" x 68'-0" = 2,720 SQ. FT.

CODE REQUIREMENTS: CANOPY
OCCUPANCY: "S" - FUEL DISPENSING STATION
CONSTRUCTION TYPE: I-H
FLOOR AREA: 60'-0" x 96'-0" = 5,760 SQ. FT.
OCCUPANT LOAD: 28 - (VARIES), [1-PER 200 SQ. FT.]

APPLICANT'S NAME: CASEY'S GENERAL STORES
PRESENT LAND USE: VACANT
PROPOSED LAND USE: CONVENIENCE STORE WITH GASOLINE SALES
PRESENT ZONING: "C1"
PROPOSED LOT SIZE: 47,950.21 SQ. FT.

NOTE:
PROPOSED SIDEWALK'S AROUND PROPERTY SHALL BE 4' IN WIDTH AND 6" THICK. SIDEWALK IS TO BE SET 6 FEET FROM THE BACK OF THE CURB LINE. FOLLOW ALL CITY SPEC'S ON INSTALLATION.

UTILITY NOTES:

- This survey does not show any hidden or covered service and/ or utility lines and no responsibility or liability is assumed by the surveyor for the failure to show said lines even though they may exist.
- The approximate location of the underground utilities shown on this drawing (if any) are as per information given to us by the utility involved. Before digging in this area call "One Call" 344-3565, for field location of these utilities.

BENCHMARK:

T.B.M Chiseled Square on base of Traffic Signal in the Northeast corner of 94th Street and Giles Road. ELEVATION = 1136.07

Storm sewer curb inlet manhole at the northeast corner of 96th and Giles Road.

Manhole is on the east side of 96th Street at 4 feet north of the end of return, 23 feet northwest of a power guy pole and 42 feet south of an information sign.

ELEVATION = 1135.98

FLOOD ZONE:

Zoned "C" areas of minimal flooding: as illustrated in FLOOD INSURANCE RATE MAP

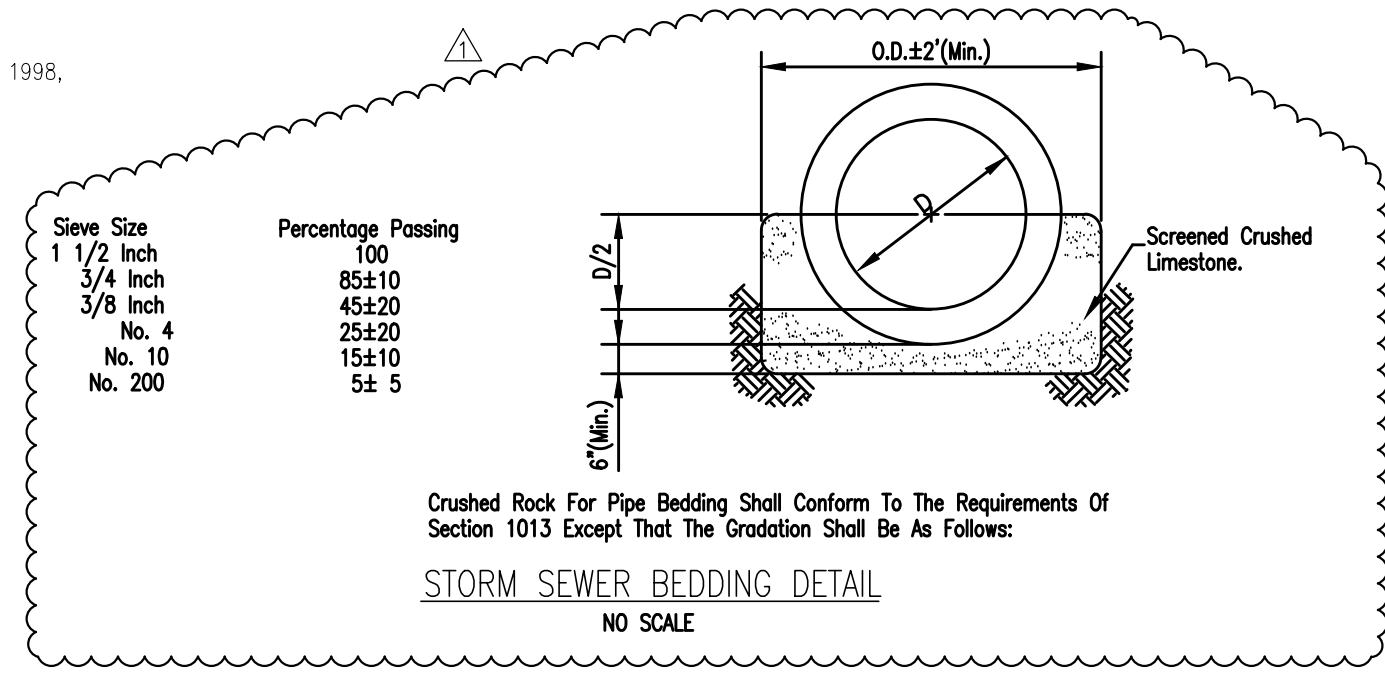
City of La Vista, Nebraska, Sarpy County

COMMUNITY-PANEL NUMBER 310192 0005 B

Effective Date: January 16, 1980

NOTES:

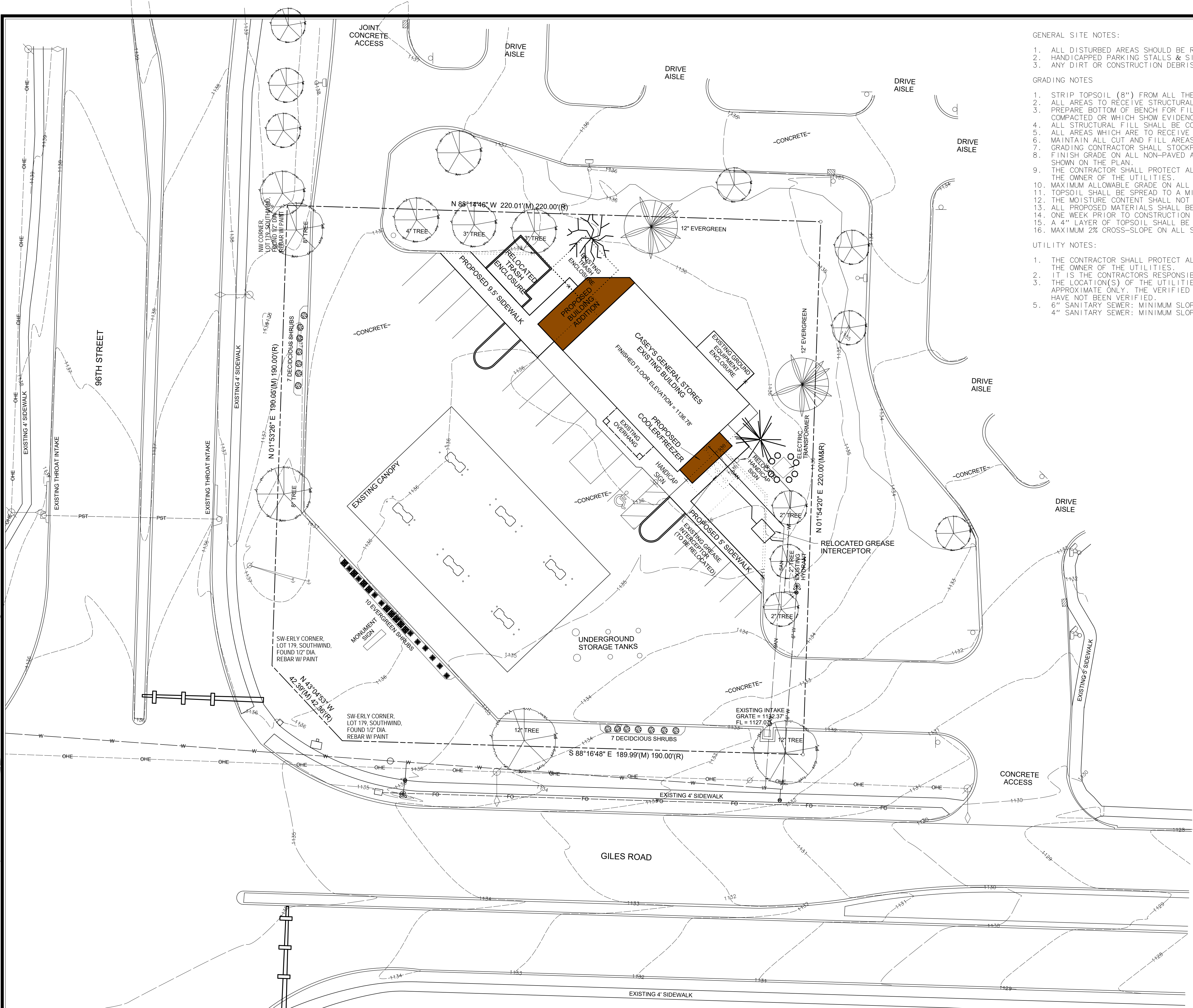
Speed Limit of 96th Street, North of Giles Road is 45 Miles per Hour.
Speed Limit of 96th Street, South of Giles Road is 35 Miles per Hour.
Speed Limit of Giles Road, East of 96th Street is 35 Miles per Hour.
Speed Limit of Giles Road, West of 96th Street is 45 Miles per Hour.
There are No Schools or Churches within 1/2 mile of the surveyed area.



BLDG. TO HAVE STANDARD SIGNAGE
SITE TO HAVE A "MONUMENT SIGN"
CANOPY COLUMNS BRICK ENCLOSED

CASEY'S CONSTRUCTION DIVISION One Convenience Blvd., P.O. Box 3001, Ankeny, Ia. 50021 515-965-6100	
PROJECT: La Vista, NE #2454 9542 Giles Road (G-Remodel-Hip Roof-Side Box)	REVISIONS: 09-15-15 02-16-16 03-11-16
DRAWING INFORMATION: DRAWN BY: D. RACHUY CHECKED BY: _____	SITE PLAN AL-101-2

Exhibit B
Landscaping Plan



GENERAL SITE NOTES:

1. ALL DISTURBED AREAS SHOULD BE RESTORED BY SODDING.
2. HANDICAPPED PARKING STALLS & SIGNS SHALL BE PROVIDED PERSUANT TO THE STATE CODE.
3. ANY DIRT OR CONSTRUCTION DEBRIS SPILLED ONTO ADJACENT PROPERTIES OR RIGHT OF WAYS SHALL BE PROMPTLY REMOVED.

GRADING NOTES

1. STRIP TOPSOIL (8") FROM ALL THE AREAS WHICH ARE TO BE FILLED OR CUT FOR BORROW.
2. ALL AREAS TO RECEIVE STRUCTURAL FILL SHALL BE BENCHMARKED.
3. PREPARE BOTTOM OF BENCH FOR FILL BY DISKING TO A DEPTH OF 4 INCHES AND COMPACT. ANY LOCALIZED AREAS WHICH CANNOT BE SATISFACTORILY COMPACTED OR WHICH SHOW EVIDENCE OF PUMPING ACTION SHALL BE UNDERCUT AND RECOMPACTED WITH ON-SITE FILL MATERIALS.
4. ALL STRUCTURAL FILL SHALL BE COMPACTED TO A DENSITY THAT IS NOT LESS THAN 95% STANDARD PROCTOR.
5. ALL AREAS WHICH ARE TO RECEIVE PAVING SHALL HAVE THE TOP 12 INCHES DISKED AND COMPACTED TO 95% STANDARD PROCTOR DENSITY.
6. MAINTAIN ALL CUT AND FILL AREAS TO ACCOMMODATE SURFACE DRAINAGE.
7. GRADING CONTRACTOR SHALL STOCKPILE TOPSOIL FOR SHOULDERING.
8. FINISH GRADE ON ALL NON-PAVED AREAS SHALL BE WITHIN 0.20 FEET AND PAVED AREAS SHALL BE WITHIN 0.10 FEET OF THE PROPOSED GRADES SHOWN ON THE PLAN.
9. THE CONTRACTOR SHALL PROTECT ALL UTILITIES AND STRUCTURES. ANY DAMAGE SHALL BE REPAIRED BY THE CONTRACTOR TO THE SATISFACTION OF THE OWNER OF THE UTILITIES.
10. MAXIMUM ALLOWABLE GRADE ON ALL PROPOSED SLOPES IS 3:1.
11. TOPSOIL SHALL BE SPREAD TO A MINIMUM THICKNESS OF 6 INCHES ON ALL DISTURBED AREAS.
12. THE MOISTURE CONTENT SHALL NOT DEVIATE FROM THE OPTIMUM BY MORE THAN 2% IN STRUCTURAL FILL.
13. ALL PROPOSED MATERIALS SHALL BE APPROVED BY THE CITY OF LA VISTA.
14. ONE WEEK PRIOR TO CONSTRUCTION THE CONTRACTOR SHALL NOTIFY THE CITY OF LA VISTA.
15. A 4" LAYER OF TOPSOIL SHALL BE RESPREAD FROM THE STOCKPILE ON-SITE TO PVIOUS SURFACES THAT WERE DISTURBED DURING CONSTRUCTION.
16. MAXIMUM 2% CROSS-SLOPE ON ALL SIDEWALKS.

UTILITY NOTES:

1. THE CONTRACTOR SHALL PROTECT ALL UTILITIES AND STRUCTURES. ANY DAMAGE SHALL BE REPAIRED BY THE CONTRACTOR TO THE SATISFACTION OF THE OWNER OF THE UTILITIES.
2. IT IS THE CONTRACTORS RESPONSIBILITY TO CONTACT UTILITY COMPANIES PRIOR TO CONNECTION OR DISCONNECTION OF A SERVICE LINE.
3. THE LOCATION(S) OF THE UTILITIES SHOWN IN THE PLANS ARE BASED ON LIMITED INVESTIGATION TECHNIQUES AND SHOULD BE CONSIDERED APPROXIMATE ONLY. THE VERIFIED LOCATIONS/ELEVATIONS APPLY ONLY AT THE SURFACE FEATURES SHOWN. INTERPOLATIONS BETWEEN THESE POINTS HAVE NOT BEEN VERIFIED.
5. 6" SANITARY SEWER: MINIMUM SLOPE = 1.00%
- 4" SANITARY SEWER: MINIMUM SLOPE = 2.00%

OWNER:

CASEY'S RETAIL COMPANY
PO BOX 3001
ANKNEY, IA 50021
PROJECT CONTACT: DAVID RACHUY
PH: (515) 965-6100

ENGINEER/LAND SURVEYOR:

A. LEO PELDS ENGINEERING COMPANY
2323 DIXON STREET
DES MOINES, IOWA 50316
PROJECT CONTACT: ELARA JONDLE
PH: (515) 265-8196

SITE ADDRESS:

9542 Giles Road
La Vista, NE 68128

ZONING:

C-1 - SHOPPING CENTER COMMERCIAL

ADJOINING ZONING:

C-1 - SHOPPING CENTER COMMERCIAL

SITE USE:

THE EXISTING USE IS A CONVENIENCE STORE WITH GASOLINE SALES.
THE PROPOSED USE IS A CONVENIENCE STORE WITH GASOLINE SALES.

BUILDING SETBACKS:

50' FRONT YARD
10' SIDE YARD
25' REAR YARD

BUILDINGS:

EXISTING BUILDING - 2,809 sq.ft.
PROPOSED BUILDING ADDITION - 535 sq.ft.
PROPOSED COOLER/FREEZER ADDITION - 172 sq.ft.

BUILDING HEIGHT:

TO MATCH EXISTING

PAVING:

THE PARKING LOT SHALL BE 6" THICK P.C.C.

PARKING:

1 SPACE PER 200 SQUARE FEET G.F.A. = 3,516/200 = 17.6 = 18 SPACES REQUIRED
28 TOTAL PARKING SPACES ARE PROVIDED, 16 PARKING STALLS AND 12 FUELING PUMP STALLS.

OPEN SPACE & IMPERVIOUS AREA

EXISTING	PROPOSED
15,760 SQ.FT. GREEN SPACE = 32.9%	17,087 SQ.FT. GREEN SPACE = 35.6%
32,199 SQ.FT. IMPERVIOUS = 67.1%	30,872 SQ.FT. IMPERVIOUS = 64.4%

SIGN:

A SIGN PERMIT WILL BE REQUIRED FOR ANY ADDITIONAL SIGNAGE.

DISTURBED AREAS:

ALL DISTURBED AREAS SHALL BE SODDED.
THE DISTURBED AREA FOR THIS SITE IS LESS THAN 1 ACRE, THEREFORE
A NPDES PERMIT IS NOT REQUIRED.

LEGAL DESCRIPTION:

LOT 179, SOUTHWIND, A SUBDIVISION AS SURVEYED, PLATTED AND RECORDED IN SARPY COUNTY, NEBRASKA.

PROPOSED DECIDUOUS TREES:

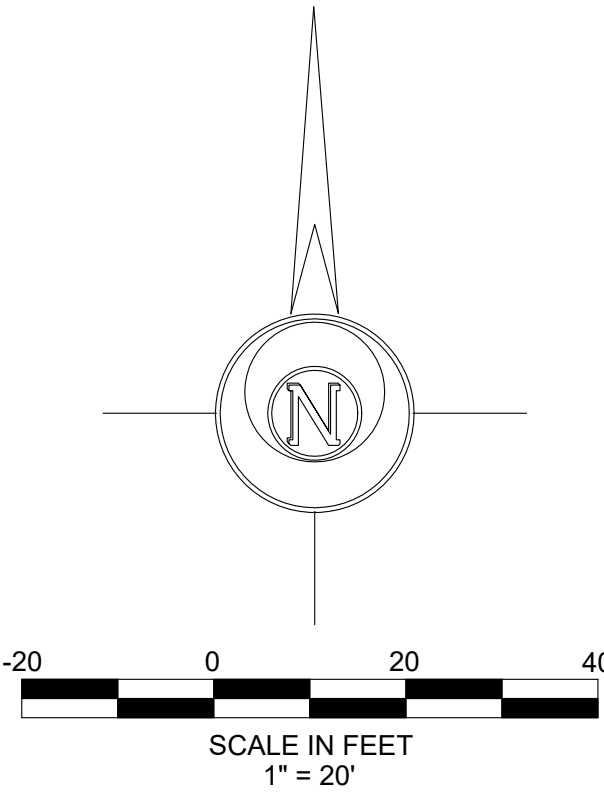
SYMBOL	#	COMMON NAME (BOTANICAL NAME)	SIZE
	1	Common Hackberry (Celtis occidentalis)	3" Caliper B&B

PROPOSED EVERGREEN TREES:

SYMBOL	#	COMMON NAME (BOTANICAL NAME)	SIZE
	1	Colorado Spruce (Picea pungens)	8' Tall B&B

PROPOSED SHRUBS:

SYMBOL	#	COMMON NAME (BOTANICAL NAME)	SIZE
	9	Match Existing Species	12" Tall
	8	Foerster's Feather Reed Grass (Calamagrostis x acutiflora 'Karl Foerster')	18" Tall



EXISTING UTILITIES NOTE:
THE LOCATIONS OF THE EXISTING UTILITIES SHOWN
HEREON ARE APPROXIMATE. THEY HAVE BEEN PLOTTED
FROM AVAILABLE SURVEYS AND/OR RECORDS. THE
CONTRACTOR IS RESPONSIBLE TO INSURE THAT ANY
EXISTING UTILITIES (SHOWN OR NOT SHOWN) ARE
NOT DAMAGED DURING CONSTRUCTION. DIGGERS
HOTLINE OF NEBRASKA CALL (1-800-331-5666).

DISCLAIMER:
THIS DRAWING IS BEING MADE AVAILABLE BY A LEO PELDS ENGINEERING COMPANY (A.L.P.E.C.) FOR USE ON THIS PROJECT IN ACCORDANCE WITH
A.L.P.E.C.'S AGREEMENT FOR PROFESSIONAL SERVICES. A.L.P.E.C. ASSUMES NO RESPONSIBILITY OR LIABILITY (CONSEQUENTIAL OR OTHERWISE)
FOR ANY USE OF THESE DRAWINGS (OR ANY PART THEREOF) EXCEPT IN ACCORDANCE WITH THE TERMS OF SAID AGREEMENT.

LEGEND:

STANDARD SYMBOLS:

●	IRON ROD OR PIPE FOUND
○	CALCULATED CORNER
△	SECT. COR. MONUMENT FOUND
▲	SECT. COR. MONUMENT CALC.
⊙	POWER POLE
⊗	LIGHT POLE
F.F.	FINISHED FLOOR

+/-

⊗	N.T.S.
⊗	H.M.A.

MORE OR LESS
FENCE LINE
FIRE HYDRANT
SANITARY SEWER MANHOLE
STORM SEWER MANHOLE
VALVE
SPOT ELEVATION (@ x)
NOT TO SCALE
HOT MIX ASPHALT

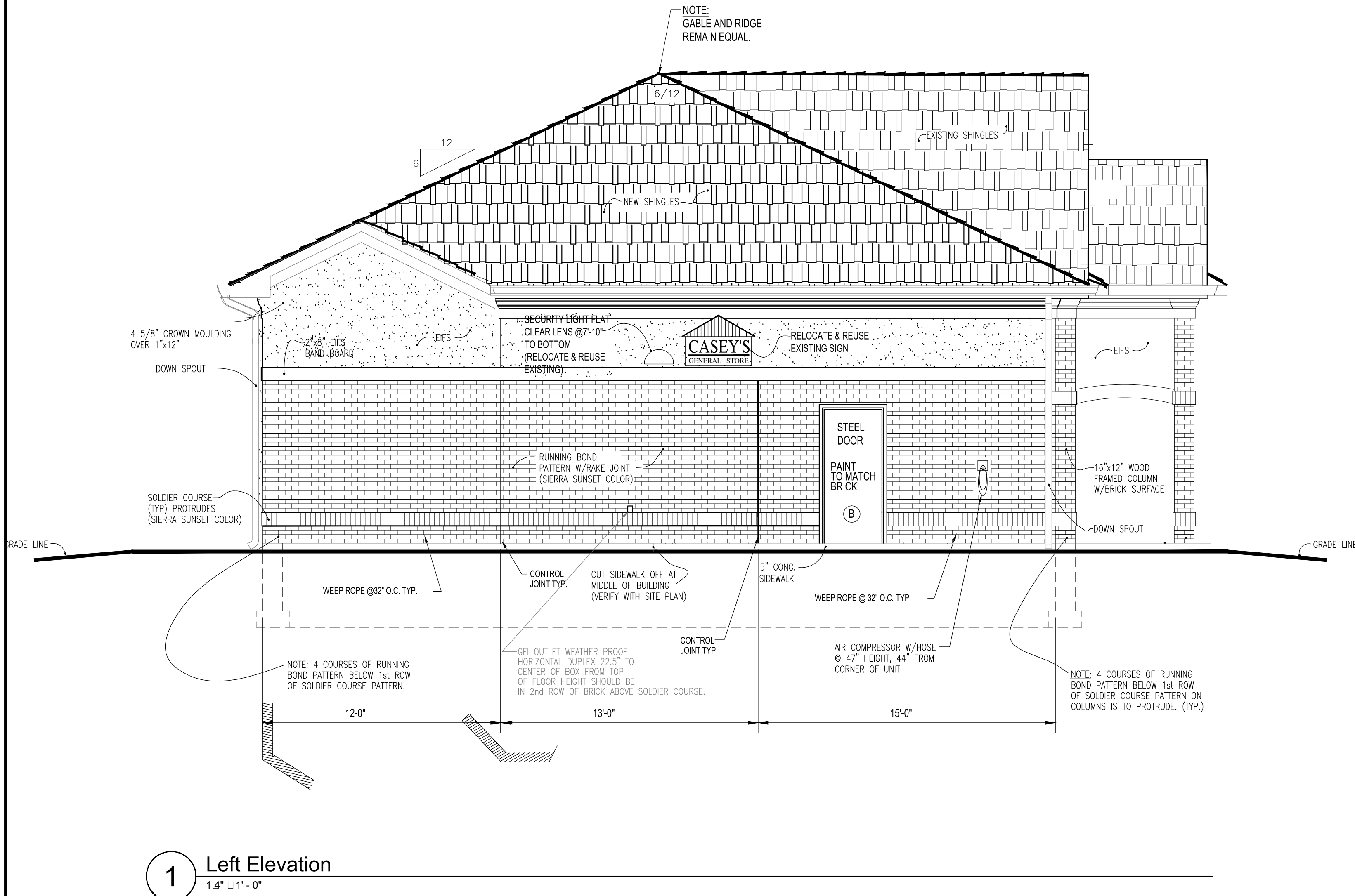
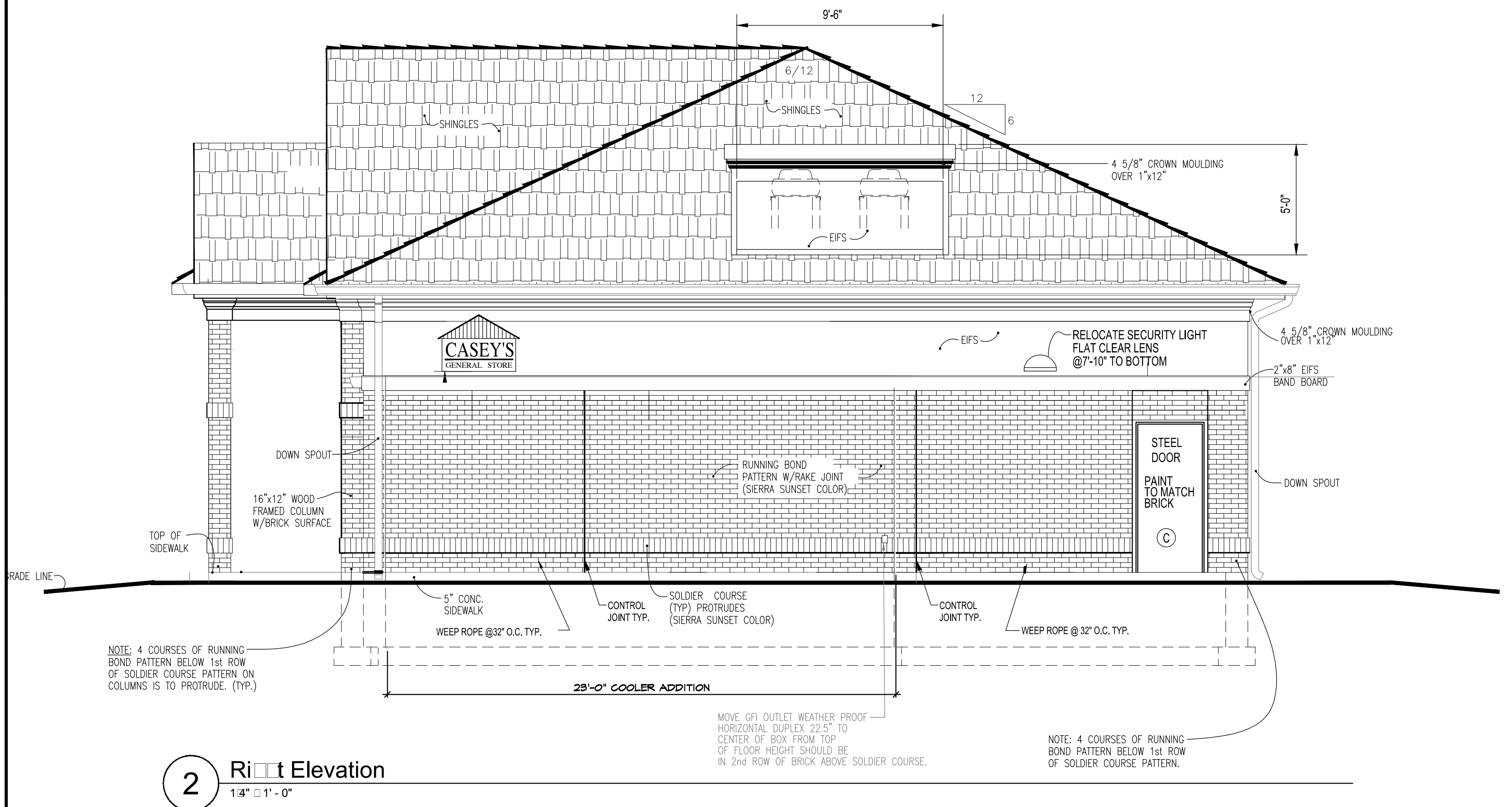
P.C.C.
xxx
W
GAS
SAN
ST
UGE/T
OHE/T
CATV

PORTLAND CEMENT CONCRETE
UTILITY LINE OR PIPE
WATER
GAS
SANITARY SEWER
STORM SEWER
UNDERGROUND ELEC. / TEL.
OVERHEAD ELEC. / TEL.
CABLE TELEVISION

Casey's General Stores
9542 Giles Road
La Vista, NE

Finished Floor Elevation = 1136.78' (NAVD 88)			
DATE:	DRAWN BY:	SCALE:	DRAWING NO.:
01-04-2016	E. Jondle	1" = 20'	03-14-2016 16-001
FILE PATH:		Site Plan	
S:\scj			

Exhibit C
Building Elevations

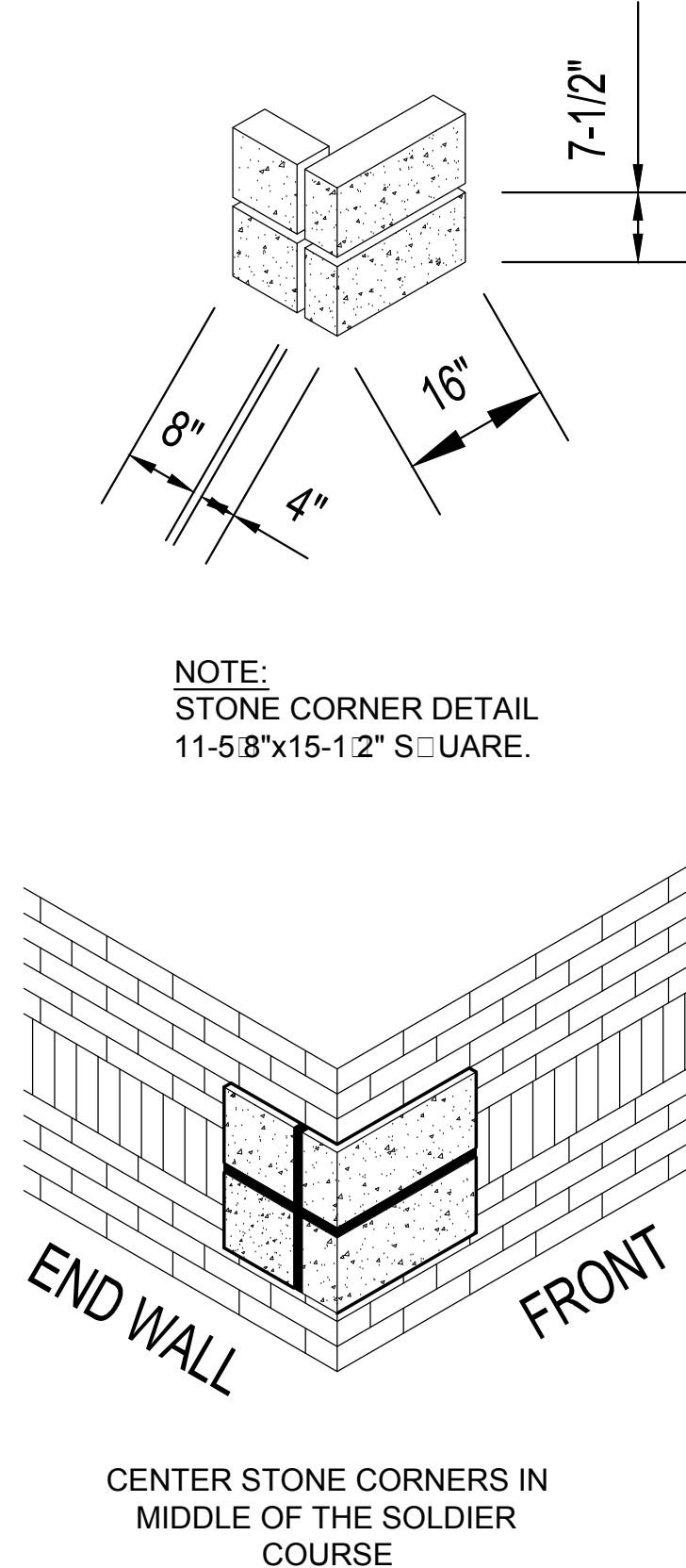
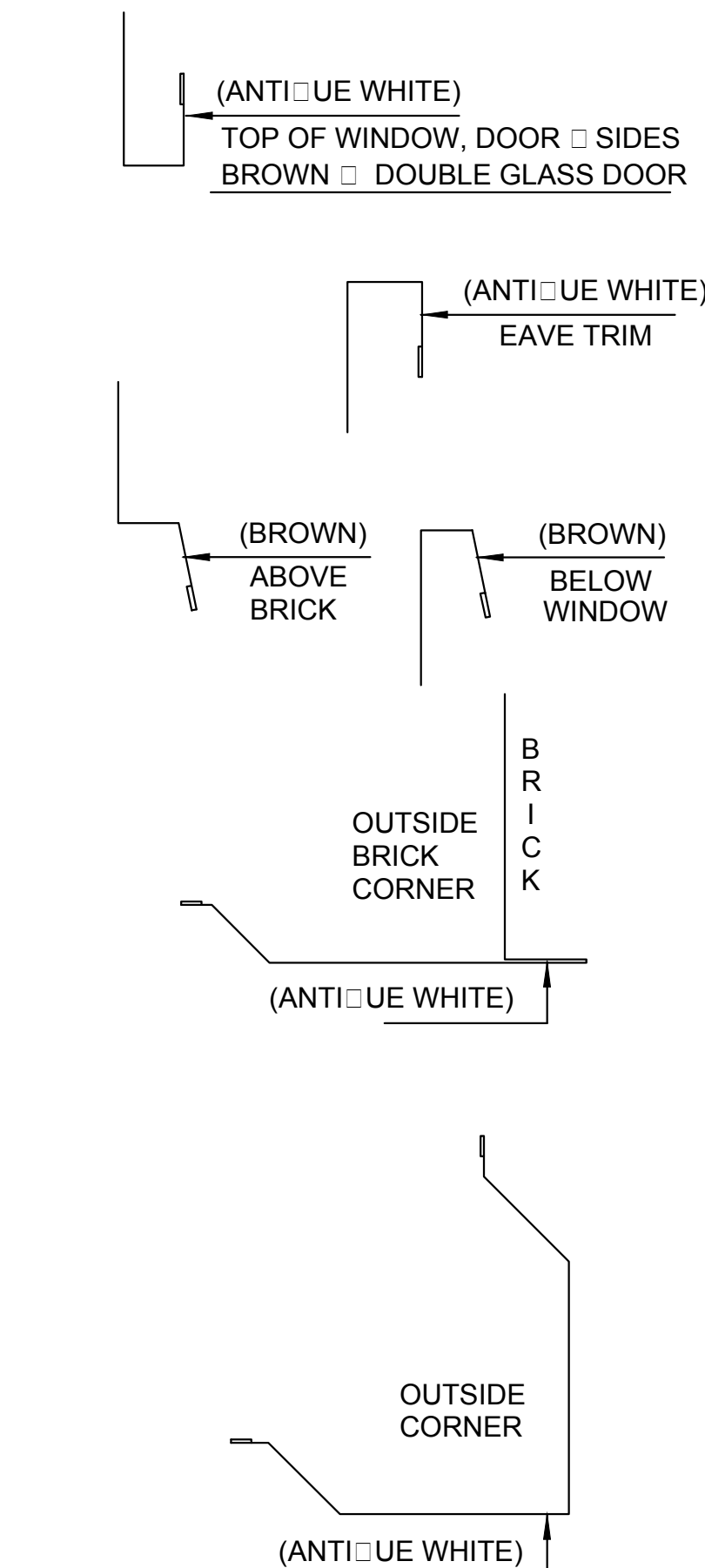


Keyed Construction Notes

- ALL WINDOWS AND DOORS INCLUDING FRAMES ARE TO BE PROTECTED DURING CONSTRUCTION.
- ROPE AND CAULK BLDG. SIDEWALKS.
- CONTRACTOR IS TO FOLLOW STEEL BLDG. MANUFACTURING PLANS REGARDING FLASHING.
- CASEY'S GENERAL STORE CONSTRUCTION SUPERVISOR TO DETERMINE IF SIDE FACADE IS TO REMAIN ON STORES CURRENTLY CONTAINING 3-SIDED FACADE.
- VERTICAL CONTROL JOINTS, USE 1/2" BACKER ROD WITH SONNEBORN NPI (REWOOD TAN) CAULKING, (SUPPLIED BY OWNER IF APPLICABLE).
- CAULK ALL EXTERIOR DOORS, WINDOWS & TOP OF FACADE NEXT TO BRICK WITH (MEDIUM BRONZE) CAULKING.

General Notes

- 602 PARAPET CAP FLASHING SUBSTRATE: 3/4" PLYWOOD (NOT TREATED)
- 603 SHEATHING BOARD: 1/2" EXTERIOR O.S.B. (OR E=UAL) STAGGER JOINTS.
- 604 WOOD STUD FRAMED WALL, 2x4 OR 2x6 AS INDICATED IN SECTIONS
- 605 TRIPLE 2x TOP PLATES (NOT TREATED)
- 606 WOOD TRUSS: NOMINAL 2x TRUSS FRAMES @ 24" O.C., DESIGNED BY MANUFACTURER
- 611 BRICK IN RUNNING BOND PATTERN, OVER AIR INFILTRATION BARRIER OVER 1/2" EXTERIOR O.S.B.
- 02 BATT INSULATION: FRICTION FIT INSULATION 6" R-20
- 06 ROOF DECK AND INSULATION: 1/2" 1/4" INSUL-FOAM OVER ROOF SHEATHING, COVERED WITH 1/4" DENS DECK (R-30)
- 0 BATT INSULATION: 1/2" BATT INSULATION UNDER ROOF DECK. (R-30)
- 15 CAP FLASHING: TWO PART MODULAR COPING SYSTEM MANUFACTURED BY W.P. HICKMAN, INSTALL OVER PARAPET DURO-LAST ROOF MEMBRANE PER MANUFACTURING INSTRUCTIONS. EXTEND OVER BRICK AND SEAL.
- 16 MEMBRANE ROOFING: MEMBRANE, 50 MILL WHITE, DIRECT APPLY TO OSB TOP SHEET OF SIP (NOTE: 08), HEAT WELD ALL SEAMS; FOLLOW ALL MANUFACTURER'S INSTALLATION INSTRUCTIONS AND PROVIDE MIN. 15 YR. WARRANTY.
- 17 PARAPET FLASHING: COVER PARAPET NAILER WITH PVC MEMBRANE FLASHING, ROLL OVER BACK EDGE, CONTINUE DOWN VERTICAL FACE AND LAP OVER MEMBRANE ROOF PER MANUFACTURING INSTRUCTIONS, HEAT WELD ALL SEAMS.



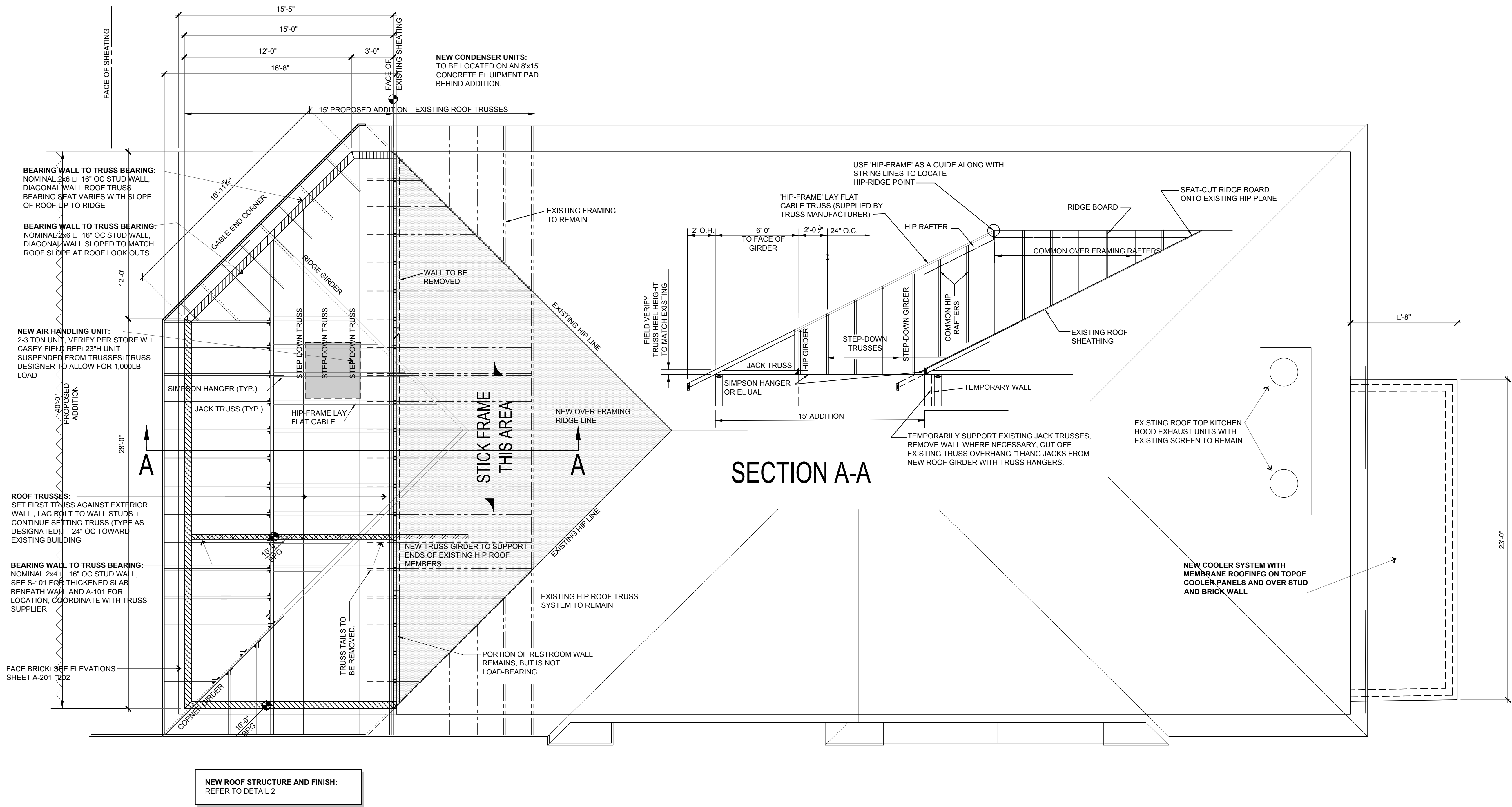
4 Steel Flashing Details

5 Corner Stone Detail

<div>CASEY'S General Store</div>		
CASEY'S CONSTRUCTION DIVISION One Convenience Blvd., P.O. Box 3001, Ankeny, Ia. 50021 515-965-6100		
PROJECT: 9542 GILES ROAD LA VISTA, NEBRASKA "G" STYLE STORE HIP ROOF ADDITION	APPROVED: 1-12-16 03-03-16	DRAWING INFORMATION: EXTERIOR ELEVATIONS
DRAWING INFORMATION: CONSTRUCTION DIVISION		
DRAWN BY: RICH AYERS	CHECKED BY:	
		A-202

General Construction Notes

- 1. REFER TO SHEET A-101 FOR FLOOR PLAN
- 2. REFER TO SHEET S-101 FOR FOOTING & FOUNDATION PLAN



1 Roof Truss Plan
1/4" = 1' - 0"

CASEY'S CONSTRUCTION DIVISION One Convenience Blvd., P.O. Box 3001, Ankeny, Ia. 50021 515-965-6100			
PROJECT: 9542 GILES ROAD LA VISTA, NEBRASKA "G" STYLE STORE HIP ROOF ADDITION	ESTABLISHED: 1-12-16 REVISED BY: 03-03-16	DRAWING INFORMATION ROOF TRUSS PLAN & PROFILES	
DRAWING INFORMATION CONSTRUCTION DIVISION DRAWN BY: RICH AYERS		CHECKED BY:	
		S-102	