

**CITY OF LA VISTA
PLANNING DIVISION**

RECOMMENDATION REPORT

CASE NUMBER: 4C

FOR HEARING OF: July 17, 2008

Report Prepared on July 8, 2008

I. GENERAL INFORMATION

- A. APPLICANT:** Omaha Metro Gymnastics, Eric Lilla
- B. PROPERTY OWNER:** Elite Builders, Inc., Brian Torczon.
- C. LOCATION:** 12305 Cary Circle
- D. LEGAL DESCRIPTION:** Papio Valley 1 Business Park, Lot 6
- E. REQUESTED ACTION(S):** Open a business for Omaha Metro Gymnastics, which would provide for an indoor recreational facility as conditionally permitted I-2 Zone District in the City of La Vista Zoning Ordinance.
- F. EXISTING ZONING AND LAND USE:**
I-2 Heavy Industrial, Gateway Corridor Overlay District, and Floodplain Overlay District; the property contains one existing building which houses seven bays of miscellaneous industrial uses and a newly constructed building of equivalent size.
- G. PROPOSED USES:** The Conditional Use Permit would allow for indoor recreation, specifically gymnastics for ages 9 months to 18 years; birthday parties; and a pro shop in a 9,000 sq ft unit within a 37,500 sq ft building.
- H. SIZE OF SITE:** 4.5 acres

II. BACKGROUND INFORMATION

- A. EXISTING CONDITION OF SITE:** The property contains two buildings which have tenant bays for industrial flex space. The newly constructed building has not passed its final inspection so it does not have a certificate of occupancy yet. A substantial portion of the property (approximately the southern half of the lot) is within the 100-year floodplain.
- B. GENERAL NEIGHBORHOOD/AREA LAND USES AND ZONING:**
 - 1. **North:** Papio Valley 1 Business Park; I-2 Light Industrial
 - 2. **East:** Papio Valley 1 Business Park; I-2 Light Industrial

3. **South:** Sarpy County Industrial Park; I-1 Heavy Industrial
4. **West:** Papio Valley 1 Business Park; I-2 Heavy Industrial

C. RELEVANT CASE HISTORY: None

III. ANALYSIS

- A. COMPREHENSIVE PLAN:** The Future Land Use Map of the Comprehensive Plan designates this property for industrial uses.
- B. OTHER PLANS:** Building plans are currently under review for the second building, in which the proposed indoor recreation facility is proposed.
- C. TRAFFIC AND ACCESS:**
 1. Access would be from an existing drive providing egress / ingress to Cary Circle. Two access points currently exist on the property. The plans need to be updated to show the access on the eastside of the property.
 2. Pedestrian access is provided by a perimeter sidewalk.
- D. UTILITIES:** All utilities are available to the site.
- E. PARKING REQUIREMENTS:**
 1. Parking requirements would follow the minimum needed for a recreational facility. Sixteen spaces exist on-site now, which are shared by seven different tenants (20 existing spaces are shown on the plan, and this needs to be corrected).
 2. Around 45 new spaces are planned for the new building under construction. These spaces will be shared by various tenants. *Note: the proposed minimum parking requirement for a recreation facility is one space per four occupants.*
- F. LANDSCAPING:** Plans show neither perimeter landscaping (trees or shrubs), nor parking lot interior landscaping. Existing landscaping is complete on site, so the plans should show the locations and species of trees, shrubs and other plantings.

IV. REVIEW COMMENTS:

1. Parking needs to be adequate for all tenants on the premises. The proposed parking area in the rear of the building is currently graveled, which would not be adequate for the city's parking standards. Any approved parking areas would need to be paved and striped.
2. 480 sq. feet of interior parking lot landscaping is required. This can be in the form of islands or "bump outs" into the parking lot from the perimeter

landscaping or from landscaping around the building. Landscaping requirements apply to the property owner to obtain a Certificate of Occupancy.

3. The plans do not delineate the 9,000 sq. feet of space Omaha Gymnastics will be leasing. Plans need to be revised to show this. An as-built plan should also be used, instead of the old grading plans.

V. STAFF RECOMMENDATION:

Continuance of the Conditional Use Permit for Omaha Metro Gymnastics until the following information can be reviewed by City Staff and Planning Commission:

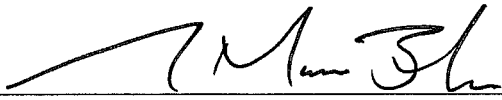
1. The applicant shall demonstrate that the business can provide the necessary number of parking spaces without negatively impacting the parking required for future or existing tenants on the premises.
2. A landscape plan shall be submitted to the City of La Vista for review and approval. This plan shall show existing and proposed landscaping. Proposed landscaping shall be installed per the approved plan.
3. As-built plans shall be submitted to show tenant bays, accesses, existing parking, and the bay(s) used for indoor recreation shall be highlighted for the conditional use permit exhibit.

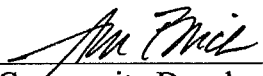
VI. ATTACHMENTS TO REPORT:

1. Vicinity Map
2. Draft CUP
3. Applicant's written proposal
4. Grading Plan, Site Utility Plan, and Site Paving Plan
5. City Engineer's Report

VII. COPIES OF REPORT TO:

1. Eric Lilla, Applicant
2. Brian Torczon, Owner
3. Larry Jobeun, Primary Contact
4. Doug Dreesen, TD2
5. Public Upon Request


Prepared by:


Community Development Director

7-10-08

Date

City of La Vista Conditional Use Permit

Conditional Use Permit for Indoor Recreational Facility (Omaha Metro Gymnastics)

This Conditional Use Permit issued this _____ day of _____, 2008, by the City of La Vista, a municipal corporation in the County of Sarpy County, Nebraska ("City") to, Elite Builders, Inc. ("Owner"), pursuant to the La Vista Zoning Ordinance.

WHEREAS, Owner wishes to construct and operate an indoor recreational facility upon the following described tract of land within the City of La Vista zoning jurisdiction:

Lot 6, Papio Valley 1 Business Park located in the NE ¼ Section 19, Township 14 North, Range 12 East of the 6th P.M. Sarpy County, Nebraska, located at 12305 Cary Circle (units ???).

WHEREAS, Owner has applied for a conditional use permit for the purpose of locating and operating a indoor recreational facility; and

WHEREAS, the Mayor and City Council of the City of La Vista are agreeable to the issuance of a conditional use permit to the owner for such purposes, subject to certain conditions and agreements as hereinafter provided.

NOW, THEREFORE, BE IT KNOWN THAT subject to the conditions hereof, this conditional use permit is issued to the owner to use the area designated on Exhibit "A" hereto for an indoor recreational facility, said use hereinafter being referred to as "Permitted Use or Use".

Conditions of Permit

The conditions to which the granting of this permit is subject are:

1. The rights granted by this permit are transferable and any variation or breach of any terms hereof shall cause permit to expire and terminate without the prior written consent of the City (amendment to permit) or unless exempted herein.
2. In respect to the Permitted Use:
 - a. A site plan showing the property boundaries of the tract of land and easements, proposed structures, parking, access points, and drives shall be provided to the City and attached to the permit as "Exhibit B".
 - b. Hours of operation for said indoor recreational facility will generally be from _____ Monday through Friday and from _____ on the weekends.
 - c. There will be approximately _____ employees for the Permitted Use.
 - d. There shall be no storage, placement or display of goods, supplies or any other material, substance, container or receptacle outside of the indoor rec. facility, except trash receptacles and those approved in writing by the City.
 - e. There shall not be any outside storage of materials. All trash receptacles, benches and planters shall be placed on property and securely fastened to building or concrete. Trash dumpsters shall be placed with a trash enclosure of six feet in height.
 - f. There shall not be any on-street parking permitted on Cary Circle.
 - g. Off-street parking shall be provided for the Permitted Use and the number of parking spaces shall be

adequate to accommodate the patrons and guests of the Permitted Use without negatively impacting or limiting the number of parking spaces for other existing or future tenants.

- h. Landscaping requirements from Section 7.17 of the City of La Vista Zoning Ordinance shall be satisfied and maintained by the property owner.
 - i. Owner shall obtain all required permits from the City of La Vista and shall comply with any additional requirements as determined by the Chief Building Official, including, but not limited to, building, fire, and ADA.
 - j. Owner shall comply (and shall ensure that all employees, invitees, suppliers, structures, appurtenances and improvements, and all activities occurring or conducted, on the premises at any time comply) with any applicable federal, state and/or local regulations, as amended or in effect from time to time, including, but not limited to, applicable environmental or safety laws, rules or regulations.
 - k. Owner hereby indemnifies the City against, and holds the City harmless from, any liability, loss, claim or expense whatsoever (including, but not limited to, reasonable attorney fees and court cost) arising out of or resulting from the acts, omissions or negligence of the owner, his agents, employees, assigns, suppliers or invitees, including, but not limited to, any liability, loss, claim or expense arising out of or resulting from any violation on the premises of any environmental or safety law, rule or regulation.
3. The applicant's right to maintain the use as approved pursuant to these provisions shall be based on the following:
 - a. An annual inspection to determine compliance with the conditions of approval. The conditional use permit may be revoked upon a finding by the City that there is a violation of the terms of approval.
 - b. The use authorized by the conditional use permit must be initiated within one (1) year of approval and shall become void two (2) years after the date of approval unless the applicant has fully complied with the terms of approval.
 - c. All obsolete or unused structures, accessory facilities or materials with an environmental or safety hazard shall be abated and/or removed at owner's expense within twelve (12) months of cessation of the conditional use.
4. Notwithstanding any other provision herein to the contrary, this permit, and all rights granted hereby, shall expire and terminate as to a permitted use hereunder upon the first of the following to occur:
 - a. Owner's abandonment of the permitted use. Non-use thereof for a period of twelve (12) months shall constitute a presumption of abandonment.
 - b. Cancellation, revocation, denial or failure to maintain any federal, state or local permit required for the Use.
 - c. Owner's breach of any other terms hereof and his failure to correct such breach within ten (10) days of City's giving notice thereof.
5. If the permitted use is not commenced within one (1) year from _____, 2008, this Permit shall be null and void and all rights hereunder shall lapse, without prejudice to owner's right to file for an extension of time pursuant to the La Vista Zoning Ordinance.
6. In the event of the owner's failure to promptly remove any safety or environmental hazard from the premises, or the expiration or termination of this permit and the owner's failure to promptly remove any permitted materials or any remaining environmental or safety hazard, the City may, at its option (but without any obligation to the owner or any third party to exercise said option) cause the same to be removed at owner's cost (including, but not limited to, the cost of any excavation and earthwork that is necessary or advisable) and the owner shall reimburse the City the costs incurred to remove the same. Owner hereby irrevocably grants the City, its agents and employees the right to enter the premises and to take whatever action as is necessary or appropriate to remove the structures or any environmental or safety hazards in accordance with the terms of this permit, and the right of the City to enter the premises as necessary or appropriate to carry out any other provision of this permit.

7. If any provision, or any portion thereof, contained in this agreement is held to be unconstitutional, invalid, or unenforceable, the remaining provisions hereof, or portions thereof, shall be deemed severable, shall not be affected, and shall remain in full force and effect.

Miscellaneous

The conditions and terms of this permit shall be binding upon owner, his successors and assigns.

1. Delay of City to terminate this permit on account of breach of owner of any of the terms hereof shall not constitute a waiver of City's right to terminate, unless it shall have expressly waived said breach and a waiver of the right to terminate upon any breach shall not constitute a waiver of the right to terminate upon a subsequent breach of the terms hereof, whether said breach be of the same or different nature.
2. Nothing herein shall be construed to be a waiver or suspension of, or an agreement on the part of the City to waive or suspend, any zoning law or regulation applicable to the premises except to the extent and for the duration specifically authorized by this permit.
3. Any notice to be given by City hereunder shall be in writing and shall be sufficiently given if sent by regular mail, postage prepaid, addressed to the owner as follows:

Contact Name and Address: Eric Lilla
Omaha Metro Gymnastics
13820 P Street
Omaha, NE 68128
(402) 505-7600

Brian Torczon
Elite Builders, Inc.
8007 S. 103rd Street
La Vista, NE 68128
(402) 306-0834

Effective Date:

This permit shall take effect upon the filing hereof with the City Clerk a signed original hereof.

THE CITY OF LA VISTA

By _____
Douglas Kindig, Mayor

Attest:

Pam Buethe
City Clerk

CONSENT AND AGREEMENT

The undersigned does hereby consent and agree to the conditions of this permit and that the terms hereof constitute an agreement on the part of the undersigned to fully and timely perform each and every condition and term hereof, and the undersigned does hereby warrant, covenant and agree to fully and timely perform and discharge all obligations and liabilities herein required by owner to be performed or discharged.

Owner:

By: _____

Title: _____

Date: _____

Omaha Metro Stars Gymnastics

It is the mission of OMSG to touch the lives of children of all ages and abilities, helping them to gain self-esteem and physical well-being through participation in the sport of gymnastics. According to the President's Council on Physical Fitness and Sports more than 13 percent of children between the ages of 2 and 5 are overweight. This figure rises to 19 percent for children ages 6 to 11. This lack of physical fitness can lead to a lifetime of health problems including diabetes, heart disease, and high cholesterol. In order to maintain the physical well-being of our young children, the National Association of Sports and Physical Education recommends infants, toddlers, and pre-schoolers should engage in at least 60 minutes of physical activity daily. Gymnastics is an excellent source of physical activity because it incorporates all areas of the body and also promotes the cognitive growth of a child. It is the goal of Omaha Metro Stars Gymnastics to improve the physical well-being of young children through the sport of gymnastics.

Omaha Metro Stars Gymnastics offers quality gymnastics instruction to children ages 9 months through 18 years of age. Through lesson plans created to meet the specific needs of young children, we intend to foster their physical, emotional, and social growth through gymnastics. All lesson plans are designed by a licensed occupational therapist and focus on developmental progression proven to encourage success in motor development.

Omaha Metro Stars strives to provide a safe and exciting environment to introduce children to the world of gymnastics. Research demonstrates that children learn best through exploration. Through our specially designed classes, young children have the opportunity to explore their bodies and the environment around them. Our focus is on the development of basic motor skills, balance, coordination, confidence, and social interaction. Each of our recreational classes targets a specific age group enabling lesson plans to cater to the developmental level of the children. In the descriptions that follow, the goals and target audience of each class is outlined.

1. Little Dippers

Little Dippers classes are for boys and girls who have met the developmental milestone of walking up to 3 years. Children will learn basic positions, simple tumbling skills, and explore gymnastics equipment. An adult is required to attend with each child. The ratio of this class is 7:1.

2. Big Dippers

Big Dippers classes are for boys and girls ages 2.5 through 4 years. Children will learn basic positions, tumbling skills, and motor coordination. Children are encouraged to attend this class independently. The ratio for this class is 5:1.

3. Shooting Stars

Shooting Stars classes are for boys and girls ages 4 and 5 years. Children will learn basic positions, more advanced tumbling skills, and motor coordination. Children will attend this class independently. The ratio of this class is 6:1.

4. Super Novas

Super Nova classes are for boys ages 5 through 7 years. Children will learn basic positions, gymnastics skills on each apparatus specific to men's gymnastics, and motor coordination. Children will attend this class independently. The ratio of this class is 6:1.

5. Shining Stars

Shining Stars classes are for girls ages 5 through 7 years. Children will learn basic positions, gymnastics skills on each apparatus specific to women's gymnastics, and motor coordination. Children will attend this class independently. The ratio of this class is 6:1.

6. Beginner, Intermediate, and Advanced Classes

Beginner, Intermediate and Advanced Classes are offered for girls and boys ages 7 and up. Classes are determined by gender and ability level. Specific skills must be mastered in order to move from Beginner to Intermediate and from Intermediate to Advanced. Movement is based up periodic testing of skills. The ratio of each class will be 7:1.

7. Tumbling Specific

Tumbling classes are offered for girls and boys ages 6 and up. Children are placed into classes by age with one class offered for children ages 6 – 9 years and 9 years and older. Classes focus specifically on tumbling skills and utilize the floor exercise apparatuses exclusively. The ration of each class will be 7:1.

8. Non Competitive Cheer

Non-competitive cheer classes are offered for children ages 6 and up. This class focuses on cheerleading fundamentals including tumbling, basic cheers, jumps, and dance. This class does not perform in the community or at competitions but is designed to offer children an introduction to the sport of cheerleading.

9. Special Stars

Special Stars classes are for boys and girls ages 3 through 12 years who present with differing abilities. Children are given the opportunity to explore their bodies and the environment despite physical or mental challenges. This class is taught by an occupational therapist trained in physical and cognitive disabilities.

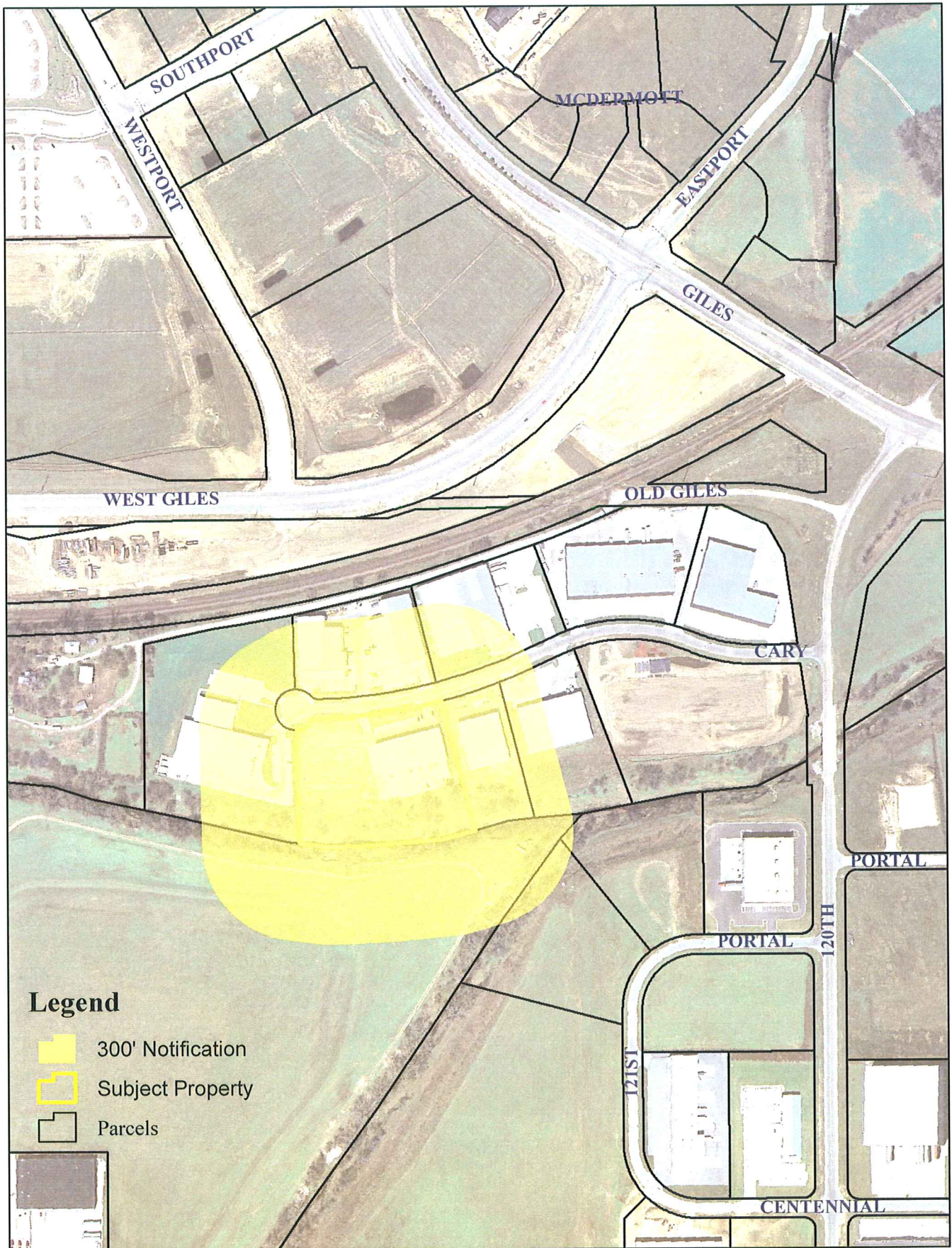
Children are placed in classes by age. As the child gains gymnastics experience and becomes familiar with the curriculum they progress through the program. It is essential to continually address the child's needs based not only on age, but also on the child's ability. It is up to the discretion of the instructors if a child is to progress based upon ability rather than age. It is important to continue to challenge every child in order to retain their interest in the program. Classes maintain low ratios to provide individualized instruction.

In addition to the aforementioned classes, other products and services that are offered include birthday parties and the OMSG pro-shop. Birthday parties provide an exciting party experience for up to 18 children. Parties at OMSG are a unique experience due to our structure and attention to detail. Parties include one hour of gymnastics instruction during which children learn over 20 simple gymnastics skills. Following the instruction children engage in parachute games and then utilize their new skills in an obstacle course. Families also have 30 minutes for refreshments and opening presents in our party room. Birthday parties include exclusive use of our facility, qualified instructors, all paper products, personalized invitations, and a parachute decorated by party guests.

The pro-shop is a designated area used to offer products related to gymnastics, including apparel and small gifts. Examples include leotards, t-shirts, shorts, items with OMSG logos, gymnastics accessories, and gymnastics equipment for home use. Students will find all necessary items for participation as well as items to display their pride in the sports of gymnastics and cheerleading.

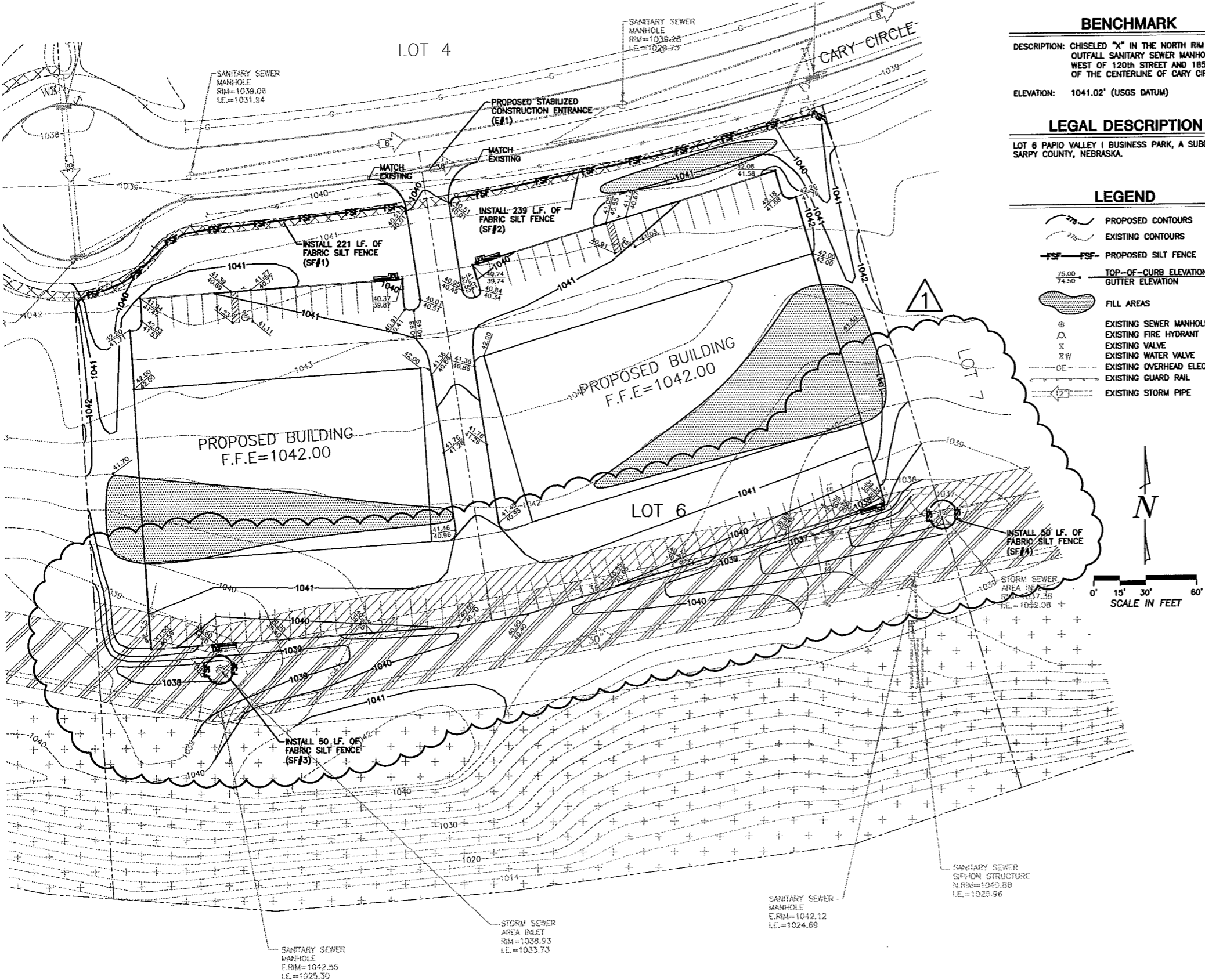
OMSG's hours of operation are from 10 am – 12 pm on Tuesdays, Wednesdays, and Thursdays, where we teach several pre-school gymnastics classes. We are open Monday through Friday from 4 pm – 8 pm where we teach the majority of our school-age students. We also offer classes on Saturdays between 8 am and 12 pm, and our birthday parties take place on Saturdays between 1 pm and 5 pm.

Vicinity Map



0 250 500
Feet

LOT 6, PAPIO VALLEY



BENCHMARK

DESCRIPTION: CHISELED "X" IN THE NORTH RIM OF THE
OUTFALL SANITARY SEWER MANHOLE 100'±
WEST OF 120th STREET AND 185'± SOUTH
OF THE CENTERLINE OF CARY CIRCLE.

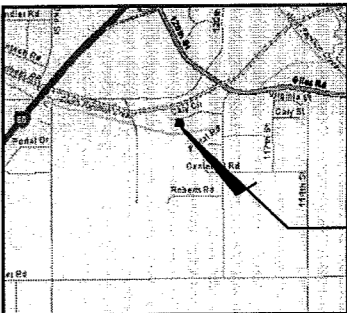
ELEVATION: 1041.02' (USGS DATUM)

LEGAL DESCRIPTION

LOT 6 PAPIO VALLEY 1 BUSINESS PARK, A SUBDIVISION IN
SARPY COUNTY, NEBRASKA.

LEGEND

- PROPOSED CONTOURS
- EXISTING CONTOURS
- PROPOSED SILT FENCE
- TOP-OF-CURB ELEVATION
GUTTER ELEVATION
- FILL AREAS
- EXISTING SEWER MANHOLE
- EXISTING FIRE HYDRANT
- EXISTING VALVE
- EXISTING WATER VALVE
- EXISTING OVERHEAD ELECTRICAL LINE
- EXISTING GUARD RAIL
- EXISTING STORM PIPE



VICINITY MAP

GRADING NOTES

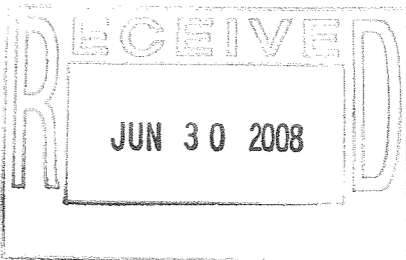
1. THE PROPOSED CONTOURS SHOWN ON THE GRADING PLAN REPRESENT TOP OF PAVEMENT IN PAVED AREAS AND FINISH GRADE IN LANDSCAPED AREAS. GRADE SHALL GRADUALLY TAPER OVER SPOT ELEVATIONS IN A GENTLE SWEEPING CURVE (NO SHARP BREAK IN PLANE OF PAVING ALLOWED.)
2. ELEVATIONS SHOWN ARE REFERENCED TO U.S.G.S. DATUM. ADD 1000 TO SPOT ELEVATIONS.
3. THE CONTRACTOR SHALL VERIFY ALL UTILITY LOCATIONS IN THE FIELD PRIOR TO THE START OF CONSTRUCTION OPERATIONS. THE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR ANY DAMAGE TO EXISTING PROPERTY, UTILITIES, AND STRUCTURES, AND WILL REPAIR AT HIS/HER OWN EXPENSE. THE CONTRACTOR SHALL HAVE ALL EXISTING UTILITIES FIELD LOCATED IN THE FIELD PRIOR TO CONSTRUCTION THROUGH THE "ONE CALL" SYSTEM.
4. ALL DEBRIS RESULTING FROM CONSTRUCTION OPERATIONS SHALL BE HAULED OFF THE SITE AND PROPERLY AND LEGALLY DISPOSED OF. (NO PAY ITEM).
5. EXISTING CONTOURS ARE SHOWN AT 1 FOOT INTERVALS AND PROPOSED CONTOURS ARE AT 1 FOOT INTERVALS.
6. SPREAD A MINIMUM OF 4 INCH THICK TOPSOIL LAYER IN AREAS TO BE LANDSCAPED ON SITE.
7. CONTRACTOR TO PROVIDE WIND AND WATER EROSION CONTROL AS REQUIRED. CONTRACTOR SHALL TAKE PRECAUTIONS TO PREVENT SILT-LADEN RUNOFF FROM ENTERING STORM SEWER AND RUNNING ONTO ADJACENT PROPERTY. REMOVE MUD AND SILT FROM ADJACENT PUBLIC AND PRIVATE PROPERTY IMMEDIATELY AFTER ANY SPILLAGE. EROSION CONTROL SHALL BE MAINTAINED THROUGHOUT THE ENTIRE CONSTRUCTION PERIOD. ALL EROSION CONTROL EFFORTS SHALL BE CONSIDERED SUBSIDIARY TO THE ITEMS FOR WHICH PAYMENT IS BEING MADE. THIS INCLUDES REMOVAL OF ACCUMULATED SEDIMENT FROM SILT FENCES.
8. COORDINATE GRADING WITH THE WORK OF ALL OTHER TRADES AND IN PARTICULAR THE STORM SEWER CONSTRUCTION.
9. THE CONTRACTOR SHALL BE RESPONSIBLE TO COMPLY WITH ALL OSHA REGULATIONS IN THE PROSECUTION OF THE WORK UNDER THIS CONTRACT.
10. FOR PAVEMENT DIMENSIONS REFER TO SHEET 4
11. VERIFY ELEVATION AT ALL OUTSIDE DOOR LOCATIONS WITH ARCHITECTURAL PLANS.

CALL BEFORE YOU DIG

DIGGERS HOTLINE
of
NEBRASKA



Statewide
1-800-331-5666
Metro Omaha
344-3565



| | | | | |
|----------|-------------|-----------|-------------|-----------|
| AS SHOWN | MAR 29 2005 | DWG | DSD | 6-27-08 |
| Scale: | Date: | Drawn By: | Checked By: | Reviewed: |

| | |
|---------------------|--|
| LOT 6, PAPIO VALLEY | |
| GRADING PLAN | |
| ELITE BUILDERS INC. | |

2 THOMPSON, DREESSEN & DORNER, INC.
Consulting Engineers & Land Surveyors
10836 OLD MILL ROAD OMAHA, NEBRASKA 68154
PHONE: 402.330.8860 FAX: 402.330.5866 EMAIL: TD2MAIL@TD2CO.COM
WEBSITE: WWW.TD2CO.COM

1402-108

SHEET 1 OF 5

EARTHWORK SPECIFICATIONS

GENERAL

- Scope. Furnish all labor, materials, and equipment necessary to complete the work which includes but is not limited to the following:
 - Strip topsoil and vegetation and stockpile for redistribution.
 - Four inches of topsoil will be stockpiled and redistributed when grading is completed.
 - In areas to accept fill, the top 8 to 12 inches of the ground surface should be scarified and recompact.
 - Install piping for slope drain.
 - Place controlled fills utilizing on-site excavation in the specified locations and to the required lines and elevations. Adjust moisture content as necessary to meet compaction requirements.
 - Provide positive drainage through use of berms and swales as necessary. Provide wind and water erosion control, including silt fences and sediment traps. Maintain sediment traps and silt fences throughout the construction period.
 - Remove unsuitable material from the site.
 - Backfill pavement, Respread topsoil, fine grade, seed and install erosion blanket where required.
- Staking. Construction staking shall be provided by the contractor.

EXECUTION

- General: Prior to undertaking the work the Contractor shall become thoroughly familiar with the site, with site conditions, and the sequence of work that will be necessary.
- Stripping. The Contractor shall remove the existing vegetation and then strip the topsoil, crushed rock, and organic material to a depth of not less than four inches across the entire work area shown. The Owner reserves the right to adjust the depth of stripplings based on observations at the time of construction. All strippling shall be completed before any other work is commenced.
- Placement of Controlled Fills. All exposed cut surfaces shall be proof-rolled prior to placement of fill materials. Controlled fill shall be in accordance with the moisture and density requirements set forth elsewhere in these specifications.
- Fill Material. Fill material is suitable on-site cohesive soil that is non-swelling which has a liquid limit not greater than 45, a plasticity index not greater than 25, and a fraction passing the #200 sieve of not less than 80 percent. The material shall be free from brush, excessive moisture, sod, frozen or perishable material, debris, rubble, and organic matter.
 - Selected fill material shall be placed in layers which shall not exceed eight inches (8") in loose thickness. Each layer shall be spread evenly and shall be thoroughly blade-mixed during the spreading to ensure uniformity of material in each layer.
 - Adjust moisture content.
 - After each layer has been placed, mixed and spread evenly, it shall be thoroughly compacted to meet requirements specified.
 - The controlled fill operation shall continue in lifts until the fill has been brought to grade.
 - No fill material shall be placed, spread or rolled while it is frozen or thawing.
- Fill Compaction Requirements. All fill and backfill placed on the site shall be compacted to a dry density of at least 80% of the maximum dry density as determined by ASTM D-1557, Modified Proctor. Moisture content of all compacted fill and backfill and all subgrade under floor slabs and pavement shall not be more than 2% below or 5% above the optimum moisture content.
- Water and Moisture Control.
 - Unfavorable Weather:
 - Do not place, spread, or compact any fill during unfavorable weather conditions.
 - Remove and replace or otherwise correct all work which is damaged as a result of weather or water related factors or does not meet the specifications at no expense to the Owner.
 - Site Management:
 - Provide suitable berms and channels to control or direct water to sediment basins and as may be necessary to prevent erosion, flooding, or other damage to the site, adjacent property, and the work.
 - Soil Moisture Content: When the moisture content of soil proposed for use as compacted fill material is more than the limit specified, it shall not be used unless and until the moisture content has been reduced to the acceptable amount. When the moisture content is below the limit specified, appropriate amounts of water shall be added and blended uniformly throughout the material. Soils having moisture contents above or below the specified limits shall not be incorporated into the work.
- Cleanup
 - Clean and repair silt fences.
 - Leave entire job site clean and smooth with no areas that will pond run-off.

Exhibit "B" CONSTRUCTION SCHEDULE & PHASING NOTES

| ACTIVITY | SCHEDULE |
|---|--|
| Install all erosion control features needed and shown on the plans such as Stabilized Construction Entrances, Silt Basins, Riser Pipes, Outlet Pipes, Silt Traps, Silt Fences, Diversions, Terraces, Etc. | Prior to any stripping of existing vegetation or grading |
| Proceed with stripping of existing vegetation and grading in accordance with the grading plan but disturbing no more at one time than is necessary. | After install all erosion control features needed and shown on the plans. Furthermore, INSPECTOR approval must be obtained before the start of any stripping of existing vegetation and grading. |
| Temporary seeding or mulching | After placement of topsoil or when work is scheduled to cease for more than 14 days |
| Permanent seeding | After completion of paving and utilities in affected area |
| Removal of erosion control features | Erosion control features may not be removed until 75% of the upstream area has been fully developed. Full development shall mean installation of pavements, buildings, utilities, landscaping, and fully established permanent seeding. Furthermore, INSPECTOR approval must be obtained before removal of any erosion control features. |

Exhibit "C" STANDARD FEATURE DETAILS

CITY OF OMAHA EROSION & SEDIMENT CONTROL MANUAL

| FIGURE | NAME |
|--------|---|
| 2-1 | Hay Bale Silt Check |
| 2-2 | Fabric Silt Fence |
| 2-3 | Gravel Curb Inlet Sediment Filter |
| 2-4 | Stabilized Construction Entrance |
| 2-7 | Standard Sediment Basin 1 |
| 2-8 | Standard Sediment Basin 2 |
| 2-9 | Excavated Earth Outlet Sediment Trap |
| 2-10 | Pipe Outlet Sediment Trap |
| 2-11 | Stone Outlet Sediment Trap |
| 2-15 | Riser Base Detail Sediment Basin |
| 2-19 | Typical Cross Section For Broad base and Backslope Terraces |
| 2-20 | Typical Cross Section For Narrow base and Flat Channel Terraces |
| 3-1 | Cross Section Details Diversion |

CONSTRUCTION SEQUENCE

The following items are listed in chronological order that the work is expected to occur and any substantial deviations shall be approved by the Engineer.

- Construct stabilized construction accesses.
- Install erosion devices.
- Perform clearing and grubbing operations.
- Strip and stockpile topsoil.
- Perform excavation and fill.
- Respread topsoil.
- Clean and/or repair silt fences.
- Perform permanent seeding.

EROSION CONTROL NOTES

- All project procedures and materials shall conform to the following City of Omaha publication and any additions thereto:
 - City of Omaha Erosion & Sediment Control Manual
 - City of Omaha Best Management Practices for Construction Sites: Cunningham, Standing Bear, and Zorinsky Lake Watersheds
- The CONTRACTOR must comply with all noise and dust control ordinances of the City of Omaha.
- The CONTRACTOR shall notify of utility companies 48 hours before work is started to verify utility locations (One Call 344-3585).
- Barriercodes shall conform to Omaha Public Works "Barriercode Standards, Specifications, Methods & Materials", and/or the "Manual on Uniform Traffic Control Devices".
- The CONTRACTOR shall be responsible to comply with all OSHA regulations in the prosecution of work under this contract.
- The APPLICANT will apply for the STATE OF NEBRASKA Grading Permit. The CONTRACTOR shall check with the ENGINEER for STATE OF NEBRASKA approval of the STATE OF NEBRASKA Grading Permit before starting work. No work may begin until the permit has been received and the CONTRACTOR must comply with the terms of the permit.
- The APPLICANT and INSPECTOR shall cooperate with the City of Omaha in regard to the construction activities so as to minimize the potential for erosion.
- The CONTRACTOR shall cooperate with the APPLICANT and INSPECTOR in regard to the construction activities so as to minimize the potential for erosion.
- The CONTRACTOR shall monitor perimeter silt fencing and install additional silt fencing if necessary or as directed by the INSPECTOR.
- The CONTRACTOR shall periodically remove accumulated sediment from sediment traps, sediment basins, behind silt fences, and all other erosion control measures that store sediment if necessary or as directed by the INSPECTOR.
- The CONTRACTOR shall build stabilized construction entrances. The CONTRACTOR shall monitor all stabilized construction entrances and maintain the entrance as needed or as directed by the INSPECTOR. The CONTRACTOR shall not use any other access to the site nor allow others to use alternate access points.
- All erosion control features shall be kept in working order. The CONTRACTOR shall repair all damages caused by soil erosion and construction equipment at or before the end of each working day or as directed by the INSPECTOR.
- Erosion control features may not be removed until 75% of the area has been fully developed. Full development shall mean installation of pavements, buildings, storm sewers, landscaping, and seeding.
- The CONTRACTOR shall be responsible for providing containment dikes or other protective measures around all on-site fueling and chemical storage areas.
- In the event of a release of oil or hazardous substance, the CONTRACTOR shall comply with the requirements of the Nebraska Department of Environmental Quality for notification, containment, investigation, remedial action and disposal.
- For dust control the CONTRACTOR shall use any of the following measures or a combination if necessary:
 - tank truck or other such equipment spread water on striped areas.
 - Tank truck or other such equipment to spread water on haul roads.
 - Decrease vehicular speed on haul roads.
- As directed by the INSPECTOR.
- Diversion berms and level terraces shall be constructed as shown on the plans and as necessary to properly control sediment erosion and protect adjacent properties. Diversions and Level terraces shall be in place at the end of each working day, at any time that rain is forecast, and as directed by the INSPECTOR.
- After 14 days of work stoppage in an area at least 1 acre in size, the contractor shall perform crop seeding, temporary seeding or permanent seeding shall be completed. Seeding shall be in accordance with the requirements of Section 4.0 of the City of Omaha Soil Erosion and Sediment Control Manual.

Exhibit "D" EROSION CONTROL FEATURES MAINTENANCE SCHEDULE

The following Erosion Control Features Maintenance Schedule has been provided. The INSPECTOR shall perform the inspections. The CONTRACTOR shall also perform all needed maintenance. Furthermore, all erosion control features requiring maintenance may not be listed below. The CONTRACTOR and INSPECTOR must reform their respective duties on all erosion control features that are not listed below as well.

- Silt Fence - Silt fence should be inspected weekly and after major rain events to ensure that the device is functioning properly. Remove sediment from behind fence when the depth of sediment has built up to one-third the height of the fence above grade. Inspect the base of the fence to ensure that no gaps have developed and re-trench as necessary. Inspect fence posts to ensure that they are properly supporting the fence. Straighten, reset and add posts if necessary. If filter fabric is ripped, damaged or deteriorated, replace it in accordance with the original specifications and details.
- Stabilized Construction Entrance - Inspections should be made weekly and after rainfall events to ensure that the device is functioning properly. When sediment or mud has clogged the void spaces between the stones or mud is being tracked onto the public roadway the aggregate pad must be washed down or replaced. Runoff from the wash down operation shall not be allowed to drain directly off site without first flowing through another erosion control features to control off-site sedimentation. Periodic re-grading or the addition of new stone may be required to maintain the efficiency of the installation.
- Sediment Basin - Periodically inspect sediment basin to ensure that facility if functioning properly. Clean out sediment and dispose of properly when the sediment storage volume is 4/5 full. Clean or replace filter stone when stone becomes clogged with sediment or facility will no longer drain properly. Check outlet of spillway barrel and downstream toe of dam to ensure that water is not flowing under the dam or along the outside edge of the spillway pipe. Check downstream channel, overflow channel for erosion and gullies, and repair as needed.
- Temporary Diversions - Inspect diversions weekly or immediately after rainfall events. Particular attention must be paid to areas where sediment builds up in the channel, areas where vehicles have crossed or caused damage, areas where the ridge begins to erode, and any areas where flow overtops the ridge. Sediment in the channel shall be promptly removed and damaged areas of the ridge shall be stabilized by appropriate methods. Methods of stabilization may include the following or any combination of the following: netting, mulching, temporary seeding, or the flattening of the side slopes. Diversions to be left in place for more than 30 days should be stabilized by establishing temporary ground cover.
- Curb Inlet Protection - Curb inlet protection should be inspected weekly and after major rain events to ensure that the device is functioning properly. Remove sediment from the storage area when the depth of sediment has built up to one-half of the storage depth. If de-watering of the storage volume is not occurring, clean or replace the filter stone. Clean the filter stone surface the first few times by raking. Repeated sediment build-up will require filter stone replacement.
- Erosion Control Matting - Inspect the erosion control matting installations after all rainfall events to ensure that the facilities are functioning properly and have not been displaced by runoff. Particular attention must be paid to the upstream ends of channel linings and slope protection, as well as the joints between adjacent mats. Repair any damaged areas promptly and replace any displaced matting. Additional staking may be required on steeper slopes and in channel bottoms.
- Grass Lined Channels - During the vegetation establishment period, inspect channels after every rain event. Check for erosion and sediment buildup and repair as needed. After establishment of vegetation, periodically check channel for damage. Particular attention must be given to side slopes, embankments at pipe inlets and outlets, and condition of the vegetative stabilization. Vegetated channels require maintenance for weed control, possible mowing, sediment removal, and fill development.

TEMPORARY SEEDING SPECIFICATIONS

- TEMPORARY SEEDING MUST BE USED IN GRADED OR CLEARED AREAS THAT ARE SUBJECTED TO EROSION FOR A PERIOD OF 14 DAYS OR LONGER. THE SEEDING SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF SECTION 4 OF THE CITY OF OMAHA "SOIL EROSION AND SEDIMENT CONTROL MANUAL". SEE TABLE 4-2 BELOW FOR COVER CROP AND TEMPORARY SEEDING MIXTURES, RATES AND TIME TABLES.

| TIME OF YEAR | SPECIES | SEEDING RATE |
|-------------------|---|--|
| MAR. 15 - MAY 15 | SPRING OATS BARLEY PERENNIAL REGRESS ORCHARD GRASS | 2 BU/AC 2 BU/AC 30 - 40 LBS/AC 20 - 25 LBS/AC |
| MAY 15 - JULY 15 | GRAIN SORGHUM (DRILLED) GORAGE SORGHUM (DRILLED) HYBRID SUDAN GRASS FOXTAIL MILLET | 10 - 20 LBS/AC 10 - 20 LBS/AC 20 - 30 LBS/AC 15 - 25 LBS/AC |
| JULY 16 - OCT. 15 | SPRING OATS BARLEY | 2 BU/AC 2 BU/AC |
| AUG. 15 - OCT. 15 | WINTER WHEAT WINTER RYE | 1.5 BU/AC 1.5 BU/AC |
| OCT. 15 - MAR. 15 | NO PLANTING, CONSIDER USING MULCHES. | |

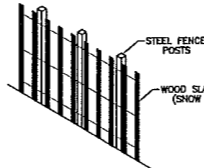
*OTHER SEEDINGS AS RECOMMENDED BY QUALIFIED AGRONOMISTS OR SOIL CONSERVATIONISTS.

- THIS SEEDING IS TO BE PERFORMED AS SOON AS THE GRADING IS COMPLETED AND TOPSOIL HAS BEEN RESPAID.

- FERTILIZER SHALL BE APPLIED AT THE RATE OF 30 POUNDS EACH OF NITROGEN AND PHOSPHOROUS PER ACRE.

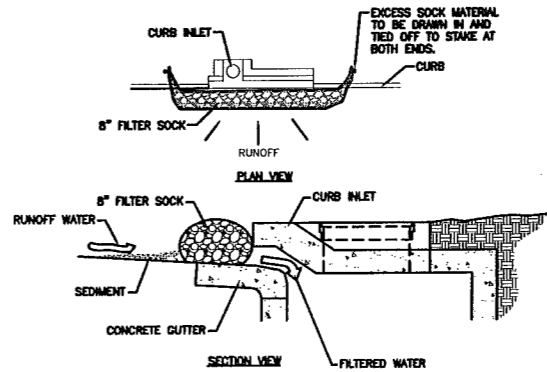
PERMANENT SEEDING SPECIFICATIONS

- PERMANENT SEEDING SHALL BE ALFALFA.
- FERTILIZER SHALL BE APPLIED AT THE RATE OF 30 POUNDS EACH OF NITROGEN AND PHOSPHOROUS PER ACRE.

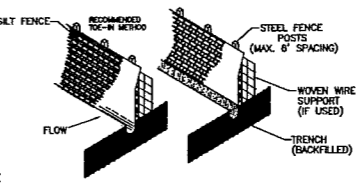


PICKET FENCE WIND BREAK
NO SCALE

- NOTES:
- CONCRETE SHALL BE 2500 P.S.I. 28 DAY COMPRESSIVE STRENGTH.
 - CORRUGATED METAL PIPE SHALL BE GALVANIZED AND INSTALLED WITH COUPLING BANDS - MINIMUM GAGE SHALL BE PER SCHEDULE.
 - THE RISER SHALL BE PERFORATED WITH 1" DIAMETER HOLES AT 6" SPACING HORIZONTALLY AND VERTICALLY. RISER.
 - ALL JUMP JOINTS SHALL BE MADE WITH GASKET COUPLING BANDS.

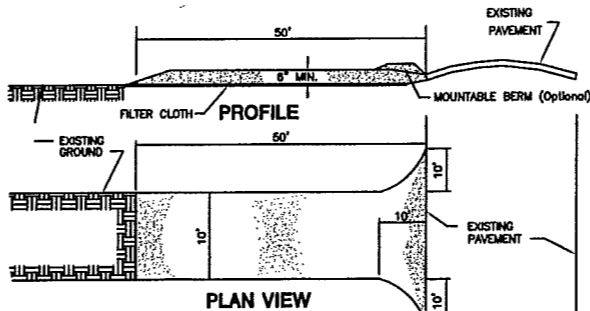


CURB INLET SEDIMENT FILTER
NOT TO SCALE



SILT FENCE
NO SCALE

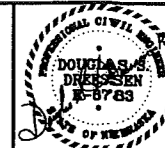
- NOTES:
- FENCE POSTS SHALL BE STEEL, STUDDED T POSTS WEIGHING AT LEAST 1.25 POUNDS PER FOOT. POSTS SHALL BE 5 FOOT LONG AND DRIVEN 2 FEET INTO THE GROUND.
 - WOVEN WIRE FENCE IS OPTIONAL AT THE CONTRACTOR'S DISCRETION. FILTER FABRIC SHALL BE MWAF 100X OR SHALL BE AN EQUIVALENT PRODUCT MEETING THE STANDARDS OF THE CITY OF OMAHA EROSION CONTROL MANUAL, 1993 EDITION.
 - FABRIC SHALL BE TIED INTO THE GROUND IN A MINIMUM 6" WIDE BY 6" DEEP TRENCH AND THE TRENCH SHALL BE BACKFILLED. FABRIC SHALL BE ATTACHED TO STEEL FENCE POSTS WITH TWO WIRE TIES AT EACH POST.



CONSTRUCTION SPECIFICATIONS

- Stone Size - Use 2" stone, or reclaimed or recycled concrete equivalent
- Length - As required, but not less than 50 feet (except on a single residence lot where a 30 foot minimum length would apply).
- Thickness - Not less than six (6) inches.
- Width - Ten (10) foot minimum, but not less than the full width at points where ingress or egress occurs.
- Filter Cloth - Will be placed over the entire area prior to placing of stone. Filter will not be required on a single family residence lot.
- Surface Water - All surface water flowing or diverted toward construction entrances shall be piped across the entrance. If piping is impractical, a mountable berm with 5:1V slopes will be permitted.
- Maintenance - The entrance shall be maintained in a condition which will prevent tracking or flowing of sediment onto public rights-of-way. This may require periodic top dressing with additional stone as conditions demand and repair and/or cleanout of any measures used to trap sediment. All sediment spilled, dropped, washed or tracked onto public rights-of-way must be removed immediately.
- Washing - Wheels shall be cleaned to remove sediment prior to entrance onto public rights-of-way. When washing is required, it shall be done on an area stabilized with stone and which drains into an approved sediment trapping device.
- Periodic inspection and needed maintenance shall be provided after each rain.

STABILIZED CONSTRUCTION ENTRANCE
NO SCALE



| | | | | |
|----------|-------------|-----------|-------------|-----------|
| AS SHOWN | MAR 29 2005 | RSH | DSD | 6-27-08 |
| scale: | date: | drawn by: | checked by: | revision: |

LOT 6, PAPIO VALLEY

ELITE BUILDERS INC.

GRADING PLAN DETAILS

2 THOMPSON, DRESSEN & DORNER, INC.
Consulting Engineers & Land Surveyors
10836 OLD MILL ROAD OMAHA, NEBRASKA 68154

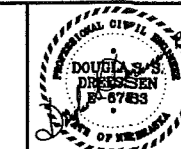
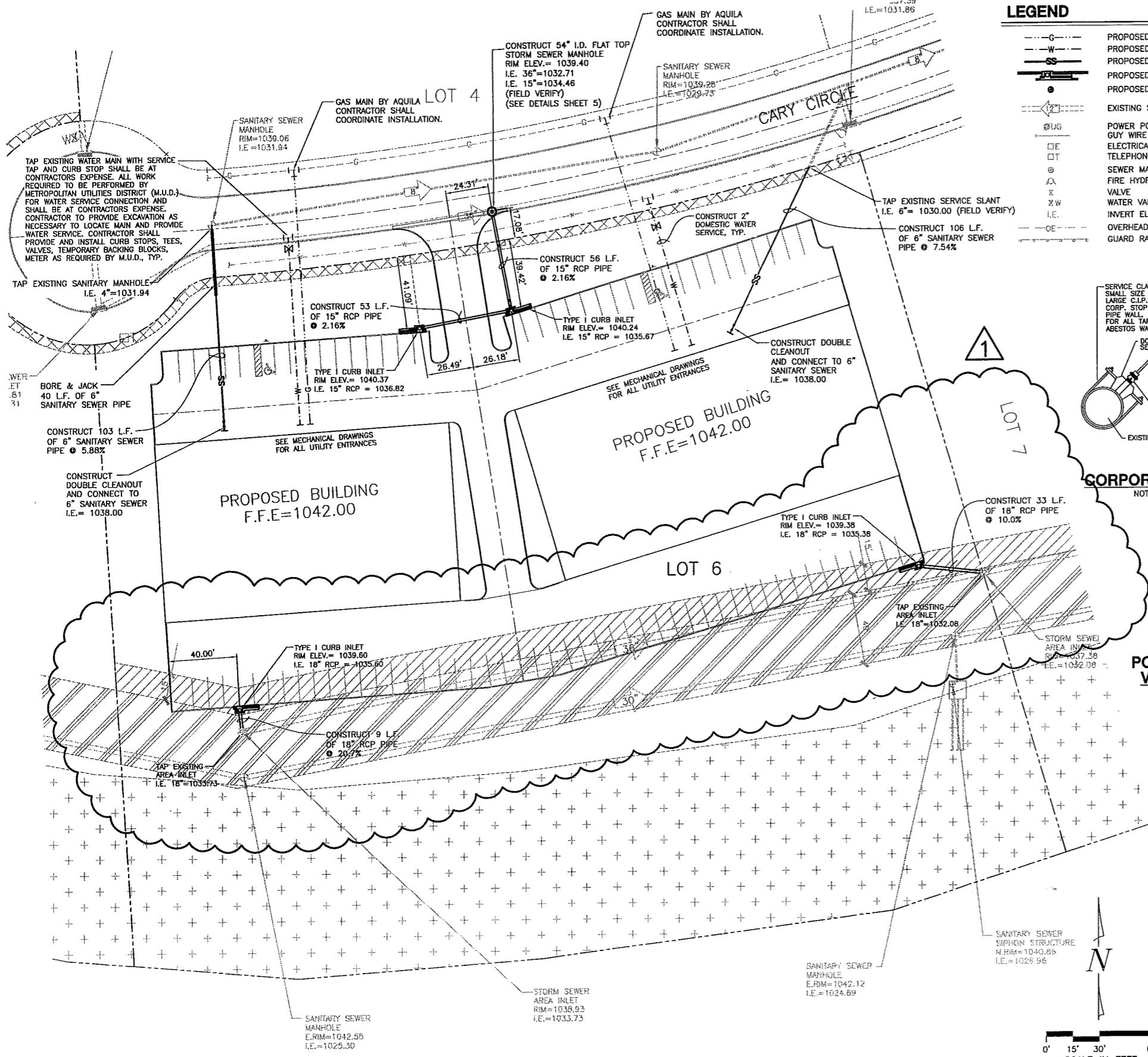
PHONE: 402.330.5866 FAX: 402.330.8860
EMAIL: TD2MAIL@TD2CO.COM
WEBSITE: WWW.TD2CO.COM



1402108SITE6-27-08.DWG

1402-108

SHEET 2 OF 5



| | | | | |
|----------|-------------|------|------------|----------|
| AS SHOWN | MAR 29 2005 | RSB | DSD | 6-27-08 |
| DATE | DATE | FROM | CHECKED BY | REVISION |

LOT 6, PAPIO VALLEY

SITE UTILITY PLAN

ELITE BUILDERS INC.

2 THOMPSON, DREESSEN & DORNER, INC.

Consulting Engineers & Land Surveyors

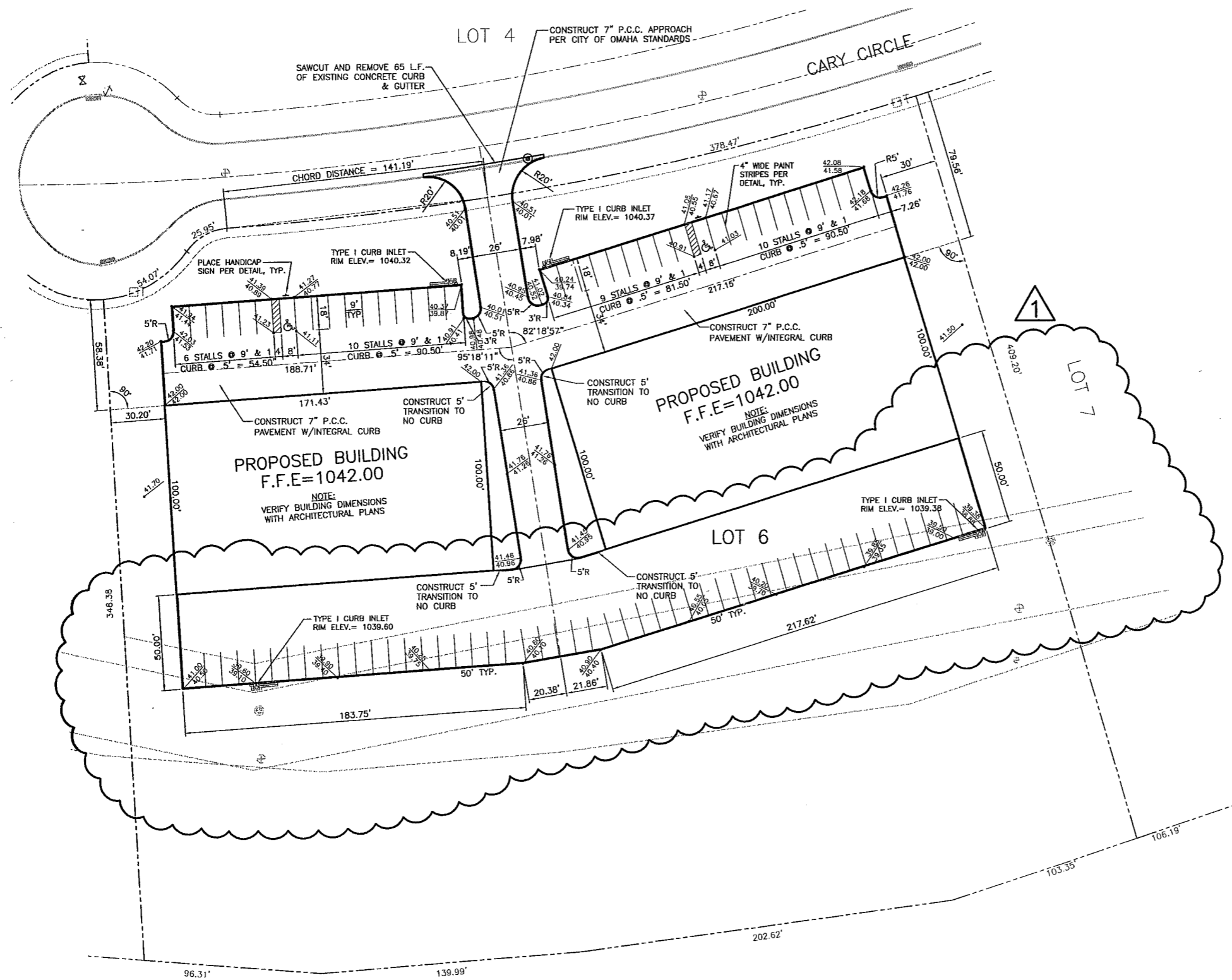
10836 OLD MILL ROAD OMAHA, NEBRASKA 68154

PHONE: 402.330.8860 FAX: 402.330.5866 EMAIL: TD2MAIL@TD2CO.COM

WEBSITE: WWW.TD2CO.COM

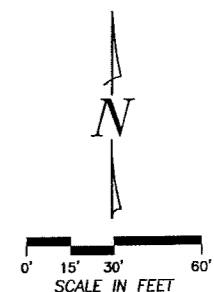
1402-108

SHEET 3 OF 5



PAVING NOTES

1. THE CONTRACTOR SHALL VERIFY ALL UTILITY LOCATIONS IN THE FIELD PRIOR TO THE START OF CONSTRUCTION OPERATIONS. THE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR ANY DAMAGE TO EXISTING PROPERTY, UTILITIES, AND STRUCTURES, AND WILL REPAIR AT HIS OWN EXPENSE. THE CONTRACTOR SHALL HAVE ALL EXISTING UTILITIES FIELD LOCATED IN THE FIELD PRIOR TO CONSTRUCTION THROUGH THE "ONE CALL" SYSTEM.
2. DIMENSIONS SHOWN ARE TO EDGE OF SLAB, BACK OF CURB, OR FACE OF BUILDING AS APPLICABLE. CONTRACTOR SHALL VERIFY DIMENSIONS WITH OWNER AND ARCHITECT BEFORE BEGINNING CONSTRUCTION.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ALL BARRICADES, FLAGMEN, AND TRAFFIC CONTROL DURING CONSTRUCTION OPERATIONS. NO SEPARATE PAYMENT WILL BE MADE FOR TRAFFIC CONTROL.
4. SEE ARCHITECTURAL SPECIFICATIONS AND DRAWINGS FOR LANDSCAPING REQUIREMENTS.
5. ALL RADII ARE 5 FOOT UNLESS OTHERWISE DIMENSIONED.
6. COORDINATE WORK WITH ALL OTHER TRADES.
7. THE CONTRACTOR SHALL BE RESPONSIBLE TO COMPLY WITH ALL OSHA REGULATIONS IN THE PROSECUTION OF THE WORK UNDER THIS CONTRACT.
8. THE CONTRACTOR SHALL ADJUST ALL UTILITIES TO FINISHED PAVEMENT GRADE AS REQUIRED. (NO PAY ITEM)
9. VERIFY ALL ELEVATIONS AT ALL OUTSIDE DOOR LOCATIONS WITH ARCHITECT TO PREVENT FROST HEAVE DAMAGE.
10. ALL CONCRETE FOR P.C.C. PAVEMENT SHALL BE L6AE (AIR-ENTRAINED) PER CITY OF OMAHA STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, LATEST EDITION.
11. WATER REDUCING ADMIXTURES SHALL NOT BE USED UNLESS APPROVED BY THE ENGINEER.
12. CONCRETE PAVEMENT SHALL BE CURED USING A WHITE PIGMENTED LIQUID MEMBRANE FORMING CURING COMPOUND THAT HAS BEEN APPROVED BY THE CITY OF OMAHA. MINIMUM RATE OF APPLICATION SHALL BE 200 SQ. FEET PER GALLON IF A MECHANICAL POWER SPRAYER IS USED, AND 100 SQ. FEET PER GALLON IF A HAND SPRAYER IS USED.
13. SEE SPECIFICATIONS FOR COMPACTION AND FILL REQUIREMENTS UNDER PAVING AND WALK AREAS.
14. SEE SPECIFICATIONS FOR PAVING TEST REQUIREMENTS.
15. WHEEL CHAIR RAMPS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE MOST CURRENT CITY OF OMAHA STANDARD PLATE 1-82.
16. GRADES SHALL GRADUALLY TAPER SHARP OVER SPOT ELEVATIONS IN A GENTLE SWEEPING CURVE (NO SHARP BREAK IN PLANE OF PAVING ALLOWED) ELEVATION ARE REFERENCED TO U.S.G.S. DATUM.



2 THOMPSON, DREESSEN & DORNER, INC.
 Consulting Engineers & Land Surveyors
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 PHONE: 402.330.8860 FAX: 402.330.5966 EMAIL: TD2MAIL@TD2CO.COM
 WEBSITE: WWW.TD2CO.COM

LOT 6, PAPIO VALLEY

ELITE BUILDERS INC.

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SHEET 4 OF 5

AS SHOWN
MAR 29 2005
RSH
DSD
6-27-08

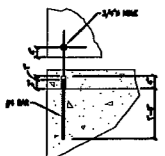
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Date:
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Checked By:
Revised:

Scale:
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Drawn By:
Checked By:
Revised:

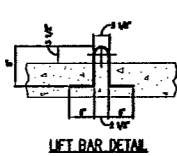
| BAR | SHAPE | NO. | SIZE | LENGTH | BAR | SHAPE | NO. | SIZE | LENGTH |
|-------------------|-------|-----|------|--------|-----|-------|------|--------|--------|
| A | 1 | 1 | 1/2" | 10'-0" | G | 1 | 1/2" | 10'-0" | 10'-0" |
| B | 2 | 2 | 1/2" | 10'-0" | H | 1 | 1/2" | 10'-0" | 10'-0" |
| C | 3 | 3 | 1/2" | 10'-0" | I | 1 | 1/2" | 10'-0" | 10'-0" |
| D | 4 | 4 | 1/2" | 10'-0" | J | 1 | 1/2" | 10'-0" | 10'-0" |
| E | 5 | 5 | 1/2" | 10'-0" | K | 1 | 1/2" | 10'-0" | 10'-0" |
| F | 6 | 6 | 1/2" | 10'-0" | L | 1 | 1/2" | 10'-0" | 10'-0" |
| UFT SEE DETAIL | 1 | 1 | 1/2" | 10'-0" | M | 1 | 1/2" | 10'-0" | 10'-0" |
| ANCHOR SEE DETAIL | 1 | 1 | 1/2" | 10'-0" | N | 1 | 1/2" | 10'-0" | 10'-0" |

| PIPE DIA. | CONCRETE CURB | CONCRETE CURB |
|-----------|---------------|---------------|
| 12" | 3.200 | .034 |
| 15" | 3.416 | .034 |
| 18" | 3.512 | .034 |
| 24" | 3.703 | .034 |

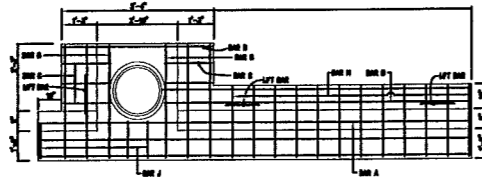
** ADD .383 CU. YDS. CONC. FOR ONE FOOT INCREASE OF "X"



ANCHOR BAR DETAIL



LIFT BAR DETAIL



REINFORCED CONCRETE COVER

- NOTES:
1. ALL CONCRETE SHALL BE FURROW OR SMOOTH.
 2. ALL EXPOSED EDGES OF CONCRETE SHALL BE CHAMFERED.
 3. THE CONCRETE CURB MAY BE CAST IN PLACE OR PRECAST, WITH LT. WT. RING & COVER PER DETAILS.
 4. REINFORCING STEEL SHALL BE DEFORMED BARS. THE MINIMUM COVERING MEASURED FROM THE FACE OF CONCRETE TO THE SURFACE OF ANY REINFORCING BAR SHALL BE 1 1/2 INCHES.
 5. FOR INLET BLOCKOUT DETAILS, SEE SHEET.
 6. D & X ARE DESIGNED FOR INLET 18" W/7" THICK PAVEMENT. INCREASE D 1" FOR EVERY 1" INCREASE OF PAVEMENT THICKNESS.
 7. CONTRACTOR SHALL USE A CUTTER DESIGN TEMPLATE TO ASSURE PROPER INLET OPENING. CONTRACTOR SHALL FURNISH A TEMPLATE OR ONE AS APPROVED BY THE ENGINEER. SEE CITY OF OMAHA STANDARD PLATE NO. 721.

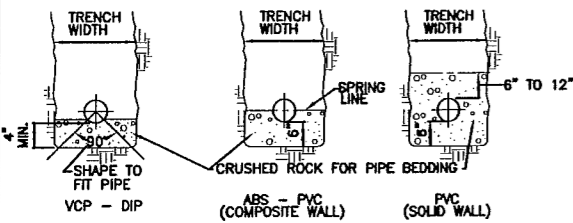
TYPE I CURB INLET DETAIL

NO SCALE

TRENCH WIDTH: MINIMUM = PIPE O.D. PLUS 1'-4" SEE SECTION 701.04
MAXIMUM = PIPE O.D. PLUS 2'-0"

BACKFILL: SEE SECTION 701.08

UNSTABLE TRENCH: SEE SECTION 701.05.03C



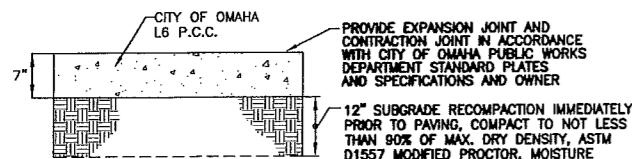
- NOTES:
1. CRUSHED ROCK FOR PIPE BEDDING SHALL CONFORM TO THE REQUIREMENTS OF THE STANDARD SPEC. EXCEPT THAT THE GRADATIONS SHALL BE AS FOLLOWS:

| SLEEVE SIZE | PERCENTAGE PASSING |
|-------------|--------------------|
| 3/4 INCH | 100 |
| 3/8 INCH | 60 ± 15 |
| NO. 4 | 30 ± 15 |
| NO. 10 | 15 ± 10 |
| NO. 200 | 5 ± 5 |

2. CRUSHED ROCK FOR MINIMUM PIPE BEDDING SHALL BE INCLUDED IN THE UNIT PRICE BID FOR THE APPLICABLE TYPE OF SEWER.

MINIMUM BEDDING TYPES

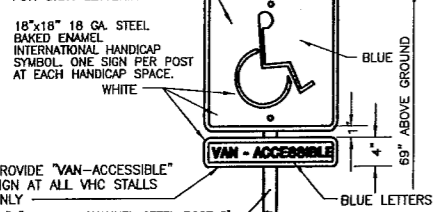
NO SCALE



7" CONCRETE PAVEMENT

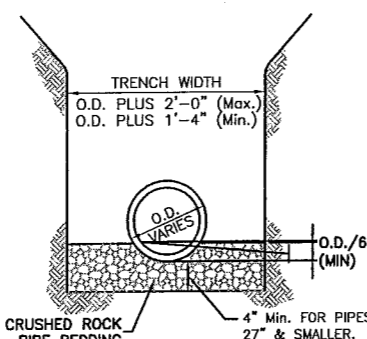
NO SCALE

SEE ARCHITECTURAL PLANS FOR SIGN LETTERING



HANDICAP SIGN

NO SCALE



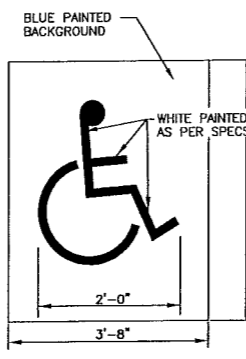
STORM SEWER PIPE BEDDING

NO SCALE

ALL R.C.P. STORM SEWER SHALL BE BEDDED WITH CRUSHED ROCK AS SHOWN. CRUSHED ROCK FOR BEDDING SHALL CONFORM TO SECTIONS 1013 AND 1035.09. MEASUREMENT AND PAYMENT SHALL NOT BE MEASURED AND PAID FOR SEPARATELY BUT SHALL BE INCLUDED IN THE BID ITEMS FOR STORM SEWER PIPE.

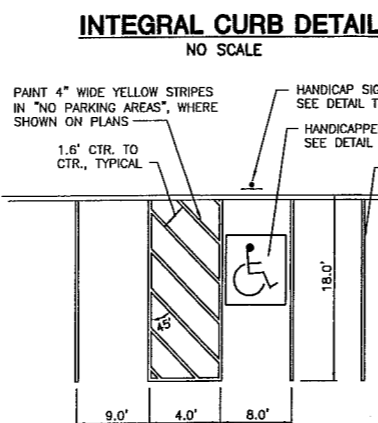
STORM SEWER BEDDING DETAIL

NOT TO SCALE



HANDICAP SYMBOL

NO SCALE

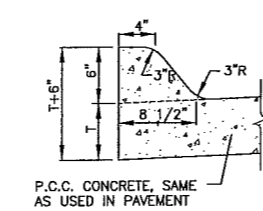


HANDICAP STRIPING DETAIL

NOT SCALE

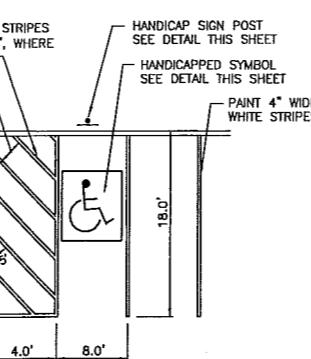
BEDDING DETAIL (UNSTABLE TRENCH)

NOT TO SCALE



INTEGRAL CURB DETAIL

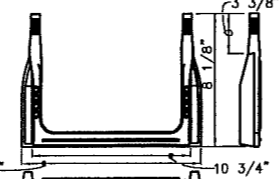
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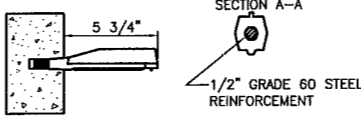
HANDICAP STRIPING DETAIL

NOT SCALE

CAST IRON MANHOLE STEP



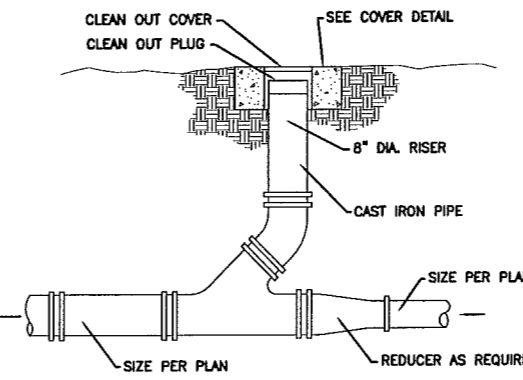
COPOLYMER POLYPROPYLENE PLASTIC



ALTERNATE MANHOLE STEP

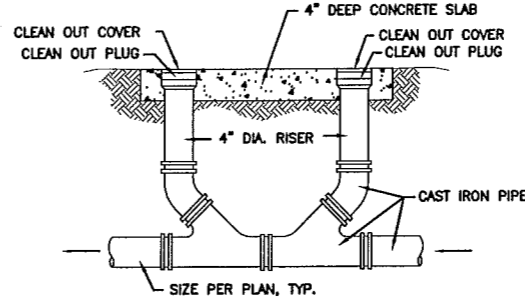
MANHOLE STEP DETAIL

NO SCALE



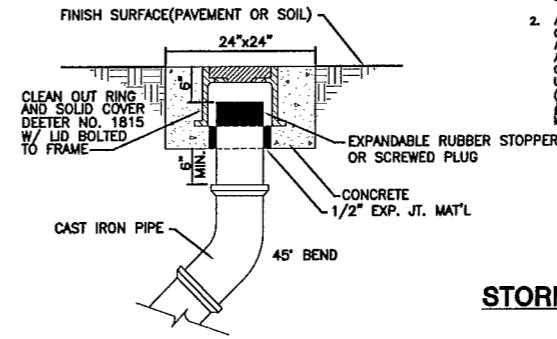
CLEAN OUT DETAIL

NO SCALE



DOUBLE CLEANOUT DETAIL

NO SCALE

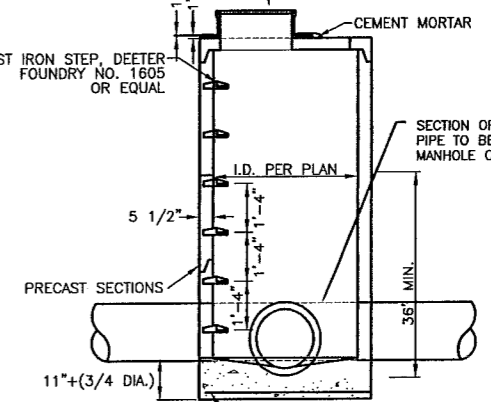


CLEAN OUT COVER DETAIL

NO SCALE

HEAVY DUTY, NON-ROCKING RING & SOLID COVER, DEETER FOUNDRY NO. 1102 OR 1931

CAST IRON STEP, DEETER FOUNDRY NO. 1605 OR EQUAL



FLAT TOP STORM SEWER MANHOLE DETAIL

NO SCALE

TRENCH WIDTH: MINIMUM = PIPE DIA. + 24". SEE SECTION 701.03(C)

BACK FILL: SEE SECTION 701.03(R) & (S) UNSTABLE TRENCH: SEE SECTION 701.03(C)

| NOMINAL PIPE DIAMETER (INCHES) | RIGID PIPE MIN. DEPTH (INCHES) | FLEXIBLE PIPE MIN. DEPTH (INCHES) |
|--------------------------------|--------------------------------|-----------------------------------|
| ≤ 12 | 4** | 6 |
| ≤ 30 | 6 | 6*** |
| ≤ 60 | 12 | 12*** |
| > 60 | 18 | N/A |

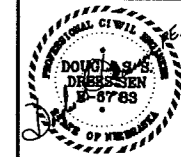
** SEE ASTM C1479 FOR MINIMUM DEPTH FOR PCC PIPE.
*** OR ONE-FOURTH (1/4) OF THE DIAMETER, WHICHEVER IS GREATER.

1. RIGID PIPE INCLUDES BUT IS NOT LIMITED TO PCC, DUCTILE IRON, VITRIFIED CLAY, FIBERGLASS, AND PVC TRUSS. FLEXIBLE PIPE IS DEFINED AS ANY PIPE HAVING A PIPE STIFFNESS OF ONE HUNDRED FIFTY-THREE (153) POUNDS PER INCH PER INCH OR LESS. FLEXIBLE PIPE INCLUDES BUT IS NOT LIMITED TO CORRUGATED STEEL, CORRUGATED ALUMINUM, SOLID WALL PVC, CORRUGATED PVC, AND PROFILE WALL PVC. THE ENGINEER SHALL DETERMINE WHETHER A PIPE MATERIAL NOT LISTED IS RIGID OR FLEXIBLE.
2. AGGREGATE BEDDING MATERIAL SHALL CONSIST OF RECYCLED PCC, CRUSHED Limestone, QUARTZITE, OR DOLMITE MEETING THE REQUIREMENTS FOR CLASS 15 COARSE AGGREGATE AS DEFINED BY ASTM C33. STANDARD SPECIFICATION FOR CONCRETE AGGREGATES. THE AGGREGATE SHALL CLASSIFY AS A WELL-GRADED GRAVEL, POORLY GRADED GRAVEL, WELL GRADED GRAVEL WITH SAND, OR A POORLY GRADED GRAVEL WITH SAND WHEN CLASSIFIED USING ASTM D2487, STANDARD CLASSIFICATION OF SOILS FOR ENGINEERING PURPOSES (UNIFIED SOIL CLASSIFICATION SYSTEM). THE MAXIMUM AMOUNT OF MATERIAL PASSING A #200 (75 UM) STANDARD SIEVE SHALL BE EIGHT (8) PERCENT AND THE NOMINAL MAXIMUM SIZE SHALL CONFORM TO THE REQUIREMENTS OUTLINED IN THE TABLE BELOW.

| NOMINAL PIPE DIAMETER (INCHES) | NOMINAL MAXIMUM SIZE |
|--------------------------------|----------------------|
| ≤ 18 | 3/4" |
| ≤ 60 | 1 1/2" |
| > 60 | 2" or 3" |

STORM & SANITARY SEWER PIPE BEDDING DETAIL

NOT TO SCALE



| | | | | |
|----------|-------------|-----------|-------------|----------|
| AS SHOWN | MAR 29 2005 | RSH | DSD | 6-27-08 |
| Scale: | Date: | Drawn By: | Checked By: | Revised: |

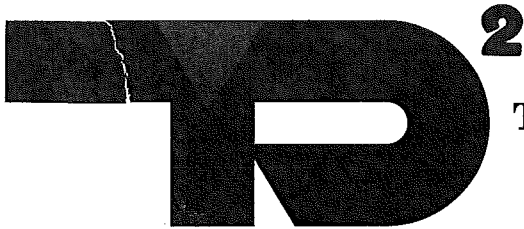
LOT 6, PAPIO VALLEY

2 THOMPSON, DREESSEN & DORNER, INC.
Consulting Engineers & Land Surveyors
10836 OLD MILL ROAD OMAHA, NEBRASKA 68154
PHONE: 402.330.8860 FAX: 402.330.5865 EMAIL: TD2MAIL@TD2CO.COM
WEBSITE: WWW.TD2CO.COM



1402-108

SHEET 5 OF 5



THOMPSON, DREESSEN & DORNER, INC.
Consulting Engineers & Land Surveyors

June 17, 2008

Mr. Marcus Baker
City Planner
City of La Vista
8116 Park View Boulevard
La Vista, NE 68128

| | |
|------------------------------------|----------------------------|
| ROBERT E. DREESSEN, P.E. | TIMOTHY T. PAPSTEIN, P.E. |
| NELSON J. HYMANS, P.E. | MICHAEL J. SMITH, L.S. |
| JAMES D. WARNER, L.S. | TROY J. NISSEN, P.E., S.E. |
| CHARLES E. RIGGS, P.E. | DOUGLAS E. KELLNER, P.E. |
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| ARTHUR D. BECCARD, P.E. | KURTIS L. ROHN, P.E. |
| DOUGLAS S. DREESSEN, P.E. | JEFFREY L. THOMPSON, P.E. |
| DEAN A. JAEGER, P.E. | DAREN A. KONDA, P.E. |
| RICHARD M. BROYLES, L.S. | MICHAEL T. CANIGLIA, L.S. |
| DAVID H. NEEF, L.S. | JEREMY T. STEENHOEK, P.E. |
| RONALD M. KOENIG, L.S. | JOSHUA J. STORM, P.E. |
| CHRIS E. DORNER, L.S. | |

RE: Rezoning & Conditional Use Permit Reviews 2008
Lot 6, Papio Valley I Business Park-12305 Cary Circle
Proposed Conditional Use Permit for Omaha Metro Gymnastics
TD² File No. 171-357.3

Marcus:

I have reviewed the application and supporting information that were received in this office on June 6, 2008 for a proposed conditional use permit for indoor recreation at the above-referenced location. The application indicates that the permit would apply to 9,000 square feet of the existing 37,500 square feet of space available at this location. I am of the opinion that the application is not consistent with Articles 6.05.02, 6.05.03, and 6.05.04 of Section 6.05 of the La Vista Zoning Regulations. The primary reason for this opinion is the amount of parking that would be needed by this use as compared to the amount of parking available. The application indicates a total of 31 parking spaces on the site for the 37,500 square feet of building. The proposed use could occupy all those parking spaces allowing for staff and parents of one group of students (or birthday party quests) while another group arrives and waits for their turn. This would leave no spaces for the rest of the building tenants to utilize.

I do not recommend approval of this use permit.

Submitted by,

THOMPSON, DREESSEN & DORNER, INC.

John M. Kottmann, P.E.

JMK/jlf

cc: File