

**CITY OF LA VISTA
PLANNING DIVISION**

RECOMMENDATION REPORT

CASE NUMBER: 4C

FOR HEARING OF: July 17, 2008

Report Prepared on July 8, 2008

I. GENERAL INFORMATION

- A. APPLICANT:** Omaha Metro Gymnastics, Eric Lilla
- B. PROPERTY OWNER:** Elite Builders, Inc., Brian Torczon.
- C. LOCATION:** 12305 Cary Circle
- D. LEGAL DESCRIPTION:** Papio Valley 1 Business Park, Lot 6
- E. REQUESTED ACTION(S):** Open a business for Omaha Metro Gymnastics, which would provide for an indoor recreational facility as conditionally permitted I-2 Zone District in the City of La Vista Zoning Ordinance.
- F. EXISTING ZONING AND LAND USE:**
I-2 Heavy Industrial, Gateway Corridor Overlay District, and Floodplain Overlay District; the property contains one existing building which houses seven bays of miscellaneous industrial uses and a newly constructed building of equivalent size.
- G. PROPOSED USES:** The Conditional Use Permit would allow for indoor recreation, specifically gymnastics for ages 9 months to 18 years; birthday parties; and a pro shop in a 9,000 sq ft unit within a 37,500 sq ft building.
- H. SIZE OF SITE:** 4.5 acres

II. BACKGROUND INFORMATION

- A. EXISTING CONDITION OF SITE:** The property contains two buildings which have tenant bays for industrial flex space. The newly constructed building has not passed its final inspection so it does not have a certificate of occupancy yet. A substantial portion of the property (approximately the southern half of the lot) is within the 100-year floodplain.
- B. GENERAL NEIGHBORHOOD/AREA LAND USES AND ZONING:**
 1. **North:** Papio Valley 1 Business Park; I-2 Light Industrial
 2. **East:** Papio Valley 1 Business Park; I-2 Light Industrial

3. **South:** Sarpy County Industrial Park; I-1 Heavy Industrial
4. **West:** Papio Valley 1 Business Park; I-2 Heavy Industrial

C. RELEVANT CASE HISTORY: None

III. ANALYSIS

- A. COMPREHENSIVE PLAN:** The Future Land Use Map of the Comprehensive Plan designates this property for industrial uses.
- B. OTHER PLANS:** Building plans are currently under review for the second building, in which the proposed indoor recreation facility is proposed.
- C. TRAFFIC AND ACCESS:**
 1. Access would be from an existing drive providing egress / ingress to Cary Circle. Two access points currently exist on the property. The plans need to be updated to show the access on the eastside of the property.
 2. Pedestrian access is provided by a perimeter sidewalk.
- D. UTILITIES:** All utilities are available to the site.
- E. PARKING REQUIREMENTS:**
 1. Parking requirements would follow the minimum needed for a recreational facility. Sixteen spaces exist on-site now, which are shared by seven different tenants (20 existing spaces are shown on the plan, and this needs to be corrected).
 2. Around 45 new spaces are planned for the new building under construction. These spaces will be shared by various tenants. *Note: the proposed minimum parking requirement for a recreation facility is one space per four occupants.*
- F. LANDSCAPING:** Plans show neither perimeter landscaping (trees or shrubs), nor parking lot interior landscaping. Existing landscaping is complete on site, so the plans should show the locations and species of trees, shrubs and other plantings.

IV. REVIEW COMMENTS:

1. Parking needs to be adequate for all tenants on the premises. The proposed parking area in the rear of the building is currently graveled, which would not be adequate for the city's parking standards. Any approved parking areas would need to be paved and striped.
2. 480 sq. feet of interior parking lot landscaping is required. This can be in the form of islands or "bump outs" into the parking lot from the perimeter

landscaping or from landscaping around the building. Landscaping requirements apply to the property owner to obtain a Certificate of Occupancy.

3. The plans do not delineate the 9,000 sq. feet of space Omaha Gymnastics will be leasing. Plans need to be revised to show this. An as-built plan should also be used, instead of the old grading plans.

V. STAFF RECOMMENDATION:

Continuance of the Conditional Use Permit for Omaha Metro Gymnastics until the following information can be reviewed by City Staff and Planning Commission:

1. The applicant shall demonstrate that the business can provide the necessary number of parking spaces without negatively impacting the parking required for future or existing tenants on the premises.
2. A landscape plan shall be submitted to the City of La Vista for review and approval. This plan shall show existing and proposed landscaping. Proposed landscaping shall be installed per the approved plan.
3. As-built plans shall be submitted to show tenant bays, accesses, existing parking, and the bay(s) used for indoor recreation shall be highlighted for the conditional use permit exhibit.

VI. ATTACHMENTS TO REPORT:

1. Vicinity Map
2. Draft CUP
3. Applicant's written proposal
4. Grading Plan, Site Utility Plan, and Site Paving Plan
5. City Engineer's Report

VII. COPIES OF REPORT TO:

1. Eric Lilla, Applicant
2. Brian Torczon, Owner
3. Larry Jobeun, Primary Contact
4. Doug Dreesen, TD2
5. Public Upon Request

Prepared by:

Community Development Director

7-10-08

City of La Vista Conditional Use Permit

Conditional Use Permit for Indoor Recreational Facility (Omaha Metro Gymnastics)

This Conditional Use Permit issued this _____ day of _____, 2008, by the City of La Vista, a municipal corporation in the County of Sarpy County, Nebraska ("City") to, Elite Builders, Inc. ("Owner"), pursuant to the La Vista Zoning Ordinance.

WHEREAS, Owner wishes to construct and operate an indoor recreational facility upon the following described tract of land within the City of La Vista zoning jurisdiction:

Lot 6, Papio Valley 1 Business Park located in the NE ¼ Section 19, Township 14 North, Range 12 East of the 6th P.M. Sarpy County, Nebraska, located at 12305 Cary Circle (units ???).

WHEREAS, Owner has applied for a conditional use permit for the purpose of locating and operating a indoor recreational facility; and

WHEREAS, the Mayor and City Council of the City of La Vista are agreeable to the issuance of a conditional use permit to the owner for such purposes, subject to certain conditions and agreements as hereinafter provided.

NOW, THEREFORE, BE IT KNOWN THAT subject to the conditions hereof, this conditional use permit is issued to the owner to use the area designated on Exhibit "A" hereto for an indoor recreational facility, said use hereinafter being referred to as "Permitted Use or Use".

Conditions of Permit

The conditions to which the granting of this permit is subject are:

1. The rights granted by this permit are transferable and any variation or breach of any terms hereof shall cause permit to expire and terminate without the prior written consent of the City (amendment to permit) or unless exempted herein.
2. In respect to the Permitted Use:
 - a. A site plan showing the property boundaries of the tract of land and easements, proposed structures, parking, access points, and drives shall be provided to the City and attached to the permit as "Exhibit B".
 - b. Hours of operation for said indoor recreational facility will generally be from _____ Monday through Friday and from _____ on the weekends.
 - c. There will be approximately _____ employees for the Permitted Use.
 - d. There shall be no storage, placement or display of goods, supplies or any other material, substance, container or receptacle outside of the indoor rec. facility, except trash receptacles and those approved in writing by the City.
 - e. There shall not be any outside storage of materials. All trash receptacles, benches and planters shall be placed on property and securely fastened to building or concrete. Trash dumpsters shall be placed with a trash enclosure of six feet in height.
 - f. There shall not be any on-street parking permitted on Cary Circle.
 - g. Off-street parking shall be provided for the Permitted Use and the number of parking spaces shall be

adequate to accommodate the patrons and guests of the Permitted Use without negatively impacting or limiting the number of parking spaces for other existing or future tenants.

- h. Landscaping requirements from Section 7.17 of the City of La Vista Zoning Ordinance shall be satisfied and maintained by the property owner.
- i. Owner shall obtain all required permits from the City of La Vista and shall comply with any additional requirements as determined by the Chief Building Official, including, but not limited to, building, fire, and ADA.
- j. Owner shall comply (and shall ensure that all employees, invitees, suppliers, structures, appurtenances and improvements, and all activities occurring or conducted, on the premises at any time comply) with any applicable federal, state and/or local regulations, as amended or in effect from time to time, including, but not limited to, applicable environmental or safety laws, rules or regulations.
- k. Owner hereby indemnifies the City against, and holds the City harmless from, any liability, loss, claim or expense whatsoever (including, but not limited to, reasonable attorney fees and court cost) arising out of or resulting from the acts, omissions or negligence of the owner, his agents, employees, assigns, suppliers or invitees, including, but not limited to, any liability, loss, claim or expense arising out of or resulting from any violation on the premises of any environmental or safety law, rule or regulation.

3. The applicant's right to maintain the use as approved pursuant to these provisions shall be based on the following:

- a. An annual inspection to determine compliance with the conditions of approval. The conditional use permit may be revoked upon a finding by the City that there is a violation of the terms of approval.
- b. The use authorized by the conditional use permit must be initiated within one (1) year of approval and shall become void two (2) years after the date of approval unless the applicant has fully complied with the terms of approval.
- c. All obsolete or unused structures, accessory facilities or materials with an environmental or safety hazard shall be abated and/or removed at owner's expense within twelve (12) months of cessation of the conditional use.

4. Notwithstanding any other provision herein to the contrary, this permit, and all rights granted hereby, shall expire and terminate as to a permitted use hereunder upon the first of the following to occur:

- a. Owner's abandonment of the permitted use. Non-use thereof for a period of twelve (12) months shall constitute a presumption of abandonment.
- b. Cancellation, revocation, denial or failure to maintain any federal, state or local permit required for the Use.
- c. Owner's breach of any other terms hereof and his failure to correct such breach within ten (10) days of City's giving notice thereof.

5. If the permitted use is not commenced within one (1) year from _____, 2008, this Permit shall be null and void and all rights hereunder shall lapse, without prejudice to owner's right to file for an extension of time pursuant to the La Vista Zoning Ordinance.

6. In the event of the owner's failure to promptly remove any safety or environmental hazard from the premises, or the expiration or termination of this permit and the owner's failure to promptly remove any permitted materials or any remaining environmental or safety hazard, the City may, at its option (but without any obligation to the owner or any third party to exercise said option) cause the same to be removed at owner's cost (including, but not limited to, the cost of any excavation and earthwork that is necessary or advisable) and the owner shall reimburse the City the costs incurred to remove the same. Owner hereby irrevocably grants the City, its agents and employees the right to enter the premises and to take whatever action as is necessary or appropriate to remove the structures or any environmental or safety hazards in accordance with the terms of this permit, and the right of the City to enter the premises as necessary or appropriate to carry out any other provision of this permit.

7. If any provision, or any portion thereof, contained in this agreement is held to be unconstitutional, invalid, or unenforceable, the remaining provisions hereof, or portions thereof, shall be deemed severable, shall not be affected, and shall remain in full force and effect.

Miscellaneous

The conditions and terms of this permit shall be binding upon owner, his successors and assigns.

1. Delay of City to terminate this permit on account of breach of owner of any of the terms hereof shall not constitute a waiver of City's right to terminate, unless it shall have expressly waived said breach and a waiver of the right to terminate upon any breach shall not constitute a waiver of the right to terminate upon a subsequent breach of the terms hereof, whether said breach be of the same or different nature.
2. Nothing herein shall be construed to be a waiver or suspension of, or an agreement on the part of the City to waive or suspend, any zoning law or regulation applicable to the premises except to the extent and for the duration specifically authorized by this permit.
3. Any notice to be given by City hereunder shall be in writing and shall be sufficiently given if sent by regular mail, postage prepaid, addressed to the owner as follows:

Contact Name and Address: Eric Lilla
Omaha Metro Gymnastics
13820 P Street
Omaha, NE 68128
(402) 505-7600

Brian Torczon
Elite Builders, Inc.
8007 S. 103rd Street
La Vista, NE 68128
(402) 306-0834

Effective Date:

This permit shall take effect upon the filing hereof with the City Clerk a signed original hereof.

THE CITY OF LA VISTA

By _____
Douglas Kindig, Mayor

Attest:

Pam Buethe
City Clerk

CONSENT AND AGREEMENT

The undersigned does hereby consent and agree to the conditions of this permit and that the terms hereof constitute an agreement on the part of the undersigned to fully and timely perform each and every condition and term hereof, and the undersigned does hereby warrant, covenant and agree to fully and timely perform and discharge all obligations and liabilities herein required by owner to be performed or discharged.

Owner:

By: _____

Title: _____

Date: _____

Omaha Metro Stars Gymnastics

It is the mission of OMSG to touch the lives of children of all ages and abilities, helping them to gain self-esteem and physical well-being through participation in the sport of gymnastics. According to the President's Council on Physical Fitness and Sports more than 13 percent of children between the ages of 2 and 5 are overweight. This figure rises to 19 percent for children ages 6 to 11. This lack of physical fitness can lead to a lifetime of health problems including diabetes, heart disease, and high cholesterol. In order to maintain the physical well-being of our young children, the National Association of Sports and Physical Education recommends infants, toddlers, and pre-schoolers should engage in at least 60 minutes of physical activity daily. Gymnastics is an excellent source of physical activity because it incorporates all areas of the body and also promotes the cognitive growth of a child. It is the goal of Omaha Metro Stars Gymnastics to improve the physical well-being of young children through the sport of gymnastics.

Omaha Metro Stars Gymnastics offers quality gymnastics instruction to children ages 9 months through 18 years of age. Through lesson plans created to meet the specific needs of young children, we intend to foster their physical, emotional, and social growth through gymnastics. All lesson plans are designed by a licensed occupational therapist and focus on developmental progression proven to encourage success in motor development.

Omaha Metro Stars strives to provide a safe and exciting environment to introduce children to the world of gymnastics. Research demonstrates that children learn best through exploration. Through our specially designed classes, young children have the opportunity to explore their bodies and the environment around them. Our focus is on the development of basic motor skills, balance, coordination, confidence, and social interaction. Each of our recreational classes targets a specific age group enabling lesson plans to cater to the developmental level of the children. In the descriptions that follow, the goals and target audience of each class is outlined.

1. Little Dippers

Little Dippers classes are for boys and girls who have met the developmental milestone of walking up to 3 years. Children will learn basic positions, simple tumbling skills, and explore gymnastics equipment. An adult is required to attend with each child. The ratio of this class is 7:1.

2. Big Dippers

Big Dippers classes are for boys and girls ages 2.5 through 4 years. Children will learn basic positions, tumbling skills, and motor coordination. Children are encouraged to attend this class independently. The ratio for this class is 5:1.

3. Shooting Stars

Shooting Stars classes are for boys and girls ages 4 and 5 years. Children will learn basic positions, more advanced tumbling skills, and motor coordination. Children will attend this class independently. The ratio of this class is 6:1.

4. Super Novas

Super Nova classes are for boys ages 5 through 7 years. Children will learn basic positions, gymnastics skills on each apparatus specific to men's gymnastics, and motor coordination. Children will attend this class independently. The ratio of this class is 6:1.

5. Shining Stars

Shining Stars classes are for girls ages 5 through 7 years. Children will learn basic positions, gymnastics skills on each apparatus specific to women's gymnastics, and motor coordination. Children will attend this class independently. The ratio of this class is 6:1.

6. Beginner, Intermediate, and Advanced Classes

Beginner, Intermediate and Advanced Classes are offered for girls and boys ages 7 and up. Classes are determined by gender and ability level. Specific skills must be mastered in order to move from Beginner to Intermediate and from Intermediate to Advanced. Movement is based up periodic testing of skills. The ratio of each class will be 7:1.

7. Tumbling Specific

Tumbling classes are offered for girls and boys ages 6 and up. Children are placed into classes by age with one class offered for children ages 6 – 9 years and 9 years and older. Classes focus specifically on tumbling skills and utilize the floor exercise apparatuses exclusively. The ration of each class will be 7:1.

8. Non Competitive Cheer

Non-competitive cheer classes are offered for children ages 6 and up. This class focuses on cheerleading fundamentals including tumbling, basic cheers, jumps, and dance. This class does not perform in the community or at competitions but is designed to offer children an introduction to the sport of cheerleading.

9. Special Stars

Special Stars classes are for boys and girls ages 3 through 12 years who present with differing abilities. Children are given the opportunity to explore their bodies and the environment despite physical or mental challenges. This class is taught by an occupational therapist trained in physical and cognitive disabilities.

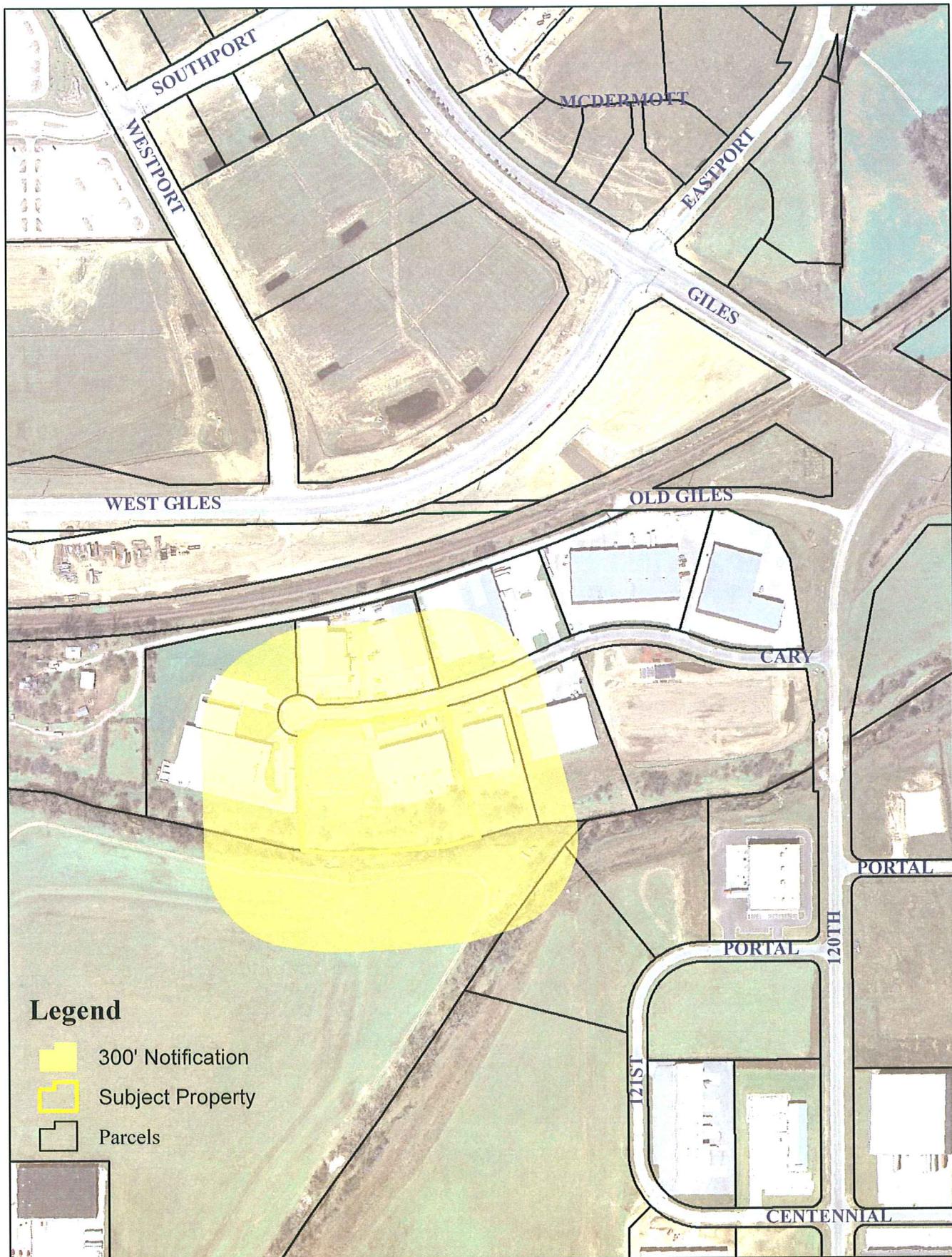
Children are placed in classes by age. As the child gains gymnastics experience and becomes familiar with the curriculum they progress through the program. It is essential to continually address the child's needs based not only on age, but also on the child's ability. It is up to the discretion of the instructors if a child is to progress based upon ability rather than age. It is important to continue to challenge every child in order to retain their interest in the program. Classes maintain low ratios to provide individualized instruction.

In addition to the aforementioned classes, other products and services that are offered include birthday parties and the OMSG pro-shop. Birthday parties provide an exciting party experience for up to 18 children. Parties at OMSG are a unique experience due to our structure and attention to detail. Parties include one hour of gymnastics instruction during which children learn over 20 simple gymnastics skills. Following the instruction children engage in parachute games and then utilize their new skills in an obstacle course. Families also have 30 minutes for refreshments and opening presents in our party room. Birthday parties include exclusive use of our facility, qualified instructors, all paper products, personalized invitations, and a parachute decorated by party guests.

The pro-shop is a designated area used to offer products related to gymnastics, including apparel and small gifts. Examples include leotards, t-shirts, shorts, items with OMSG logos, gymnastics accessories, and gymnastics equipment for home use. Students will find all necessary items for participation as well as items to display their pride in the sports of gymnastics and cheerleading.

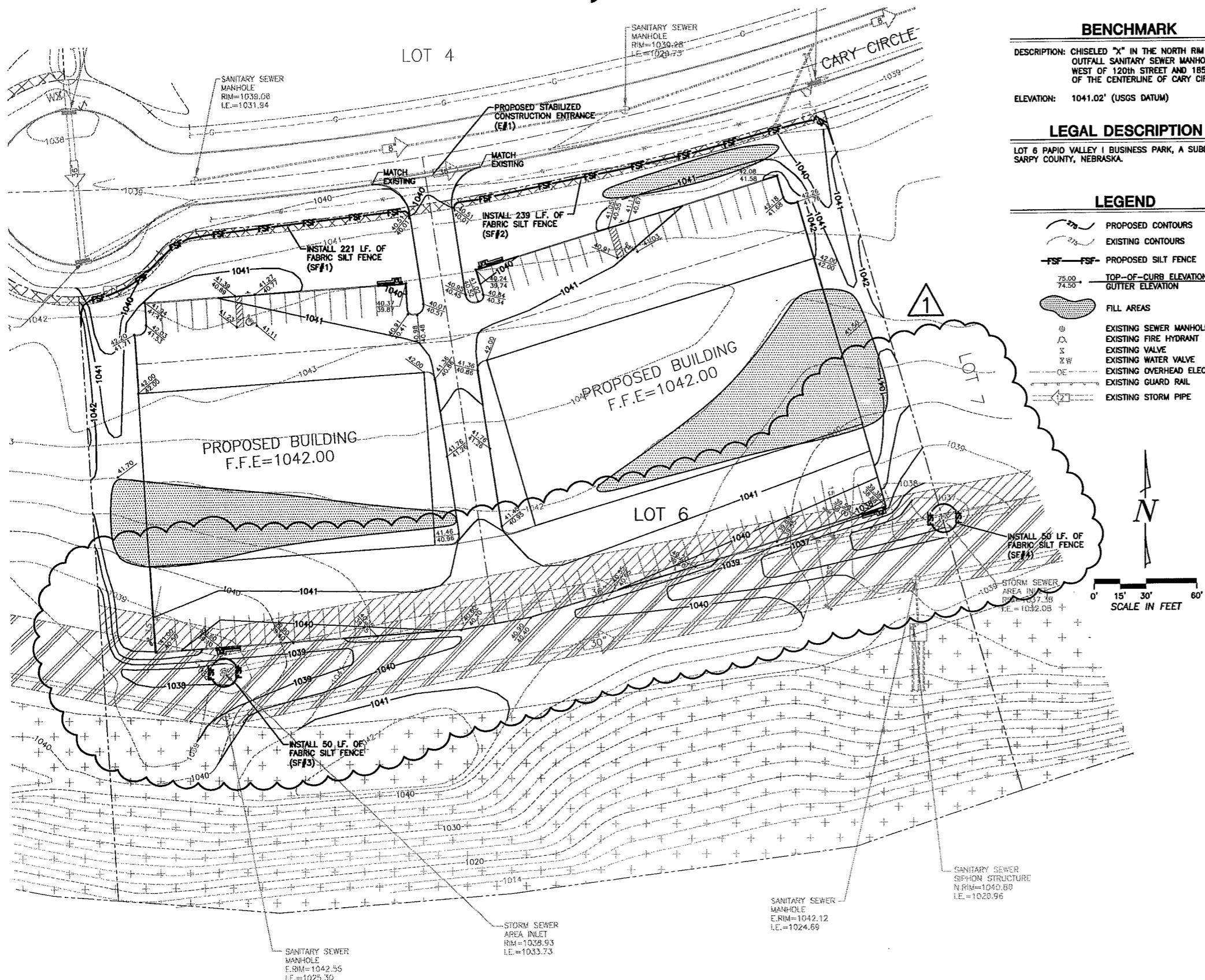
OMSG's hours of operation are from 10 am – 12 pm on Tuesdays, Wednesdays, and Thursdays, where we teach several pre-school gymnastics classes. We are open Monday through Friday from 4 pm – 8 pm where we teach the majority of our school-age students. We also offer classes on Saturdays between 8 am and 12 pm, and our birthday parties take place on Saturdays between 1 pm and 5 pm.

Vicinity Map



0 250 500
Feet

LOT 6, PAPIO VALLEY



BENCHMARK

DESCRIPTION: CHISELED "X" IN THE NORTH RIM OF THE OUTFALL SANITARY SEWER MANHOLE 100' WEST OF 120th STREET AND 185' SOUTH OF THE CENTERLINE OF CARY CIRCLE.

ELEVATION: 1041.02' (USGS DATUM)

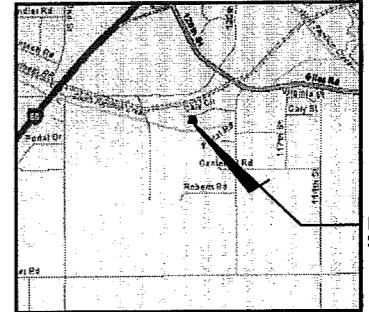
LEGAL DESCRIPTION

LOT 6 PAPIO VALLEY I BUSINESS PARK, A SUBDIVISION IN SARPY COUNTY, NEBRASKA.

LEGEND

- PROPOSED CONTOURS
- EXISTING CONTOURS
- PROPOSED SILT FENCE
- TOP-OF-CURB ELEVATION GUTTER ELEVATION
- FILL AREAS
- EXISTING SEWER MANHOLE
- EXISTING FIRE HYDRANT
- EXISTING VALVE
- EXISTING WATER VALVE
- EXISTING OVERHEAD ELECTRICAL LINE
- EXISTING GUARD RAIL
- EXISTING STORM PIPE

PROJECT SITE



VICINITY MAP

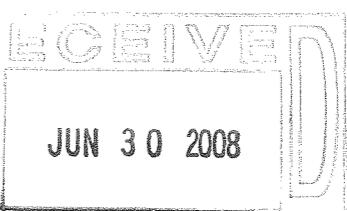
GRADING NOTES

1. THE PROPOSED CONTOURS SHOWN ON THE GRADING PLAN REPRESENT TOP OF PAVEMENT IN PAVED AREAS AND FINISH GRADE IN LANDSCAPED AREAS. GRADE SHALL GRADUALLY TAPER OVER SPOT ELEVATIONS IN A GENTLE SWEEPING CURVE (NO SHARP BREAK IN PLANE OF PAVING ALLOWED.)
2. ELEVATIONS SHOWN ARE REFERENCED TO U.S.G.S. DATUM. ADD 1000' TO SPOT ELEVATIONS.
3. THE CONTRACTOR SHALL VERIFY ALL UTILITY LOCATIONS IN THE FIELD PRIOR TO THE START OF CONSTRUCTION OPERATIONS. THE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR ANY DAMAGE TO EXISTING PROPERTY, UTILITIES, AND STRUCTURES, AND WILL REPAIR AT HIS/HER OWN EXPENSE. THE CONTRACTOR SHALL HAVE ALL EXISTING UTILITIES FIELD LOCATED IN THE FIELD PRIOR TO CONSTRUCTION THROUGH THE "ONE CALL" SYSTEM.
4. ALL DEBRIS RESULTING FROM CONSTRUCTION OPERATIONS SHALL BE HAULED OFF THE SITE AND PROPERLY AND LEGALLY DISPOSED OF. (NO PAY ITEM).
5. EXISTING CONTOURS ARE SHOWN AT 1 FOOT INTERVALS AND PROPOSED CONTOURS ARE AT 1 FOOT INTERVALS.
6. SPREAD A MINIMUM OF 4 INCH THICK TOPSOIL LAYER IN AREAS TO BE LANDSCAPED ON SITE.
7. CONTRACTOR TO PROVIDE WIND AND WATER EROSION CONTROL AS REQUIRED. CONTRACTOR SHALL TAKE PRECAUTIONS TO PREVENT SILT-LADEN RUNOFF FROM ENTERING STORM SEWER AND RUNNING ONTO ADJACENT PUBLIC AND PRIVATE PROPERTY IMMEDIATELY AFTER ANY SPILLAGE. EROSION CONTROL SHALL BE MAINTAINED THROUGHOUT THE ENTIRE CONSTRUCTION PERIOD. ALL EROSION CONTROL EFFORTS SHALL BE CONSIDERED SUBSIDIARY TO THE ITEMS FOR WHICH PAYMENT IS BEING MADE. THIS INCLUDES REMOVAL OF ACCUMULATED SEDIMENT FROM SILT FENCES.
8. COORDINATE GRADING WITH THE WORK OF ALL OTHER TRADES AND IN PARTICULAR THE STORM SEWER CONSTRUCTION.
9. THE CONTRACTOR SHALL BE RESPONSIBLE TO COMPLY WITH ALL OSHA REGULATIONS IN THE PROSECUTION OF THE WORK UNDER THIS CONTRACT.
10. FOR PAVEMENT DIMENSIONS REFER TO SHEET 4
11. VERIFY ELEVATION AT ALL OUTSIDE DOOR LOCATIONS WITH ARCHITECTURAL PLANS.

CALL BEFORE YOU DIG

DIGGERS HOTLINE
of
NEBRASKA

Statewide
1-800-331-5666
Metro Omaha
344-3565



2 THOMPSON, DREESSEN & DORNER, INC.
Consulting Engineers & Land Surveyors
10836 OLD MILL ROAD OMAHA, NEBRASKA 68154
PHONE: 402.330.8860 FAX: 402.330.8866 EMAIL: TD2MAIL@TD2CO.COM
WEBSITE: WWW.TD2CO.COM

DOUGLAS CIVIL
DIVISION
5-2733
S. OF NEBRASKA

scale:	AS SHOWN
date:	MAR 29 2005
drawn by:	DWG
checked by:	DSD
revision:	6-27-08

LOT 6, PAPIO VALLEY

GRADING PLAN

ELITE BUILDERS INC.

140210BSITE6-27-08.DWG

1402-108

SHEET 1 OF 5

EARTHWORK SPECIFICATIONS

GENERAL

A. Scope. Furnish all labor, materials, and equipment necessary to complete the work which includes but is not limited to the following:

1. Strip humus topsoil and vegetation and stockpile and redistributed when grading is completed.
2. In order to accept fill, the top 8 to 12 inches of the ground surface shall be scarified and recompacted.
3. Install piping for slope drain.
4. Place controlled fills utilizing on-site excavation in the specified locations and necessary fill materials and elevations. Adjust moisture content as necessary to prevent dusting through use of barrows and swales as necessary. Provide wind and water erosion control, including all fences and sediment traps. Maintain sediment traps and silt fences throughout the construction period.
5. Remove unsuitable material from the site.
6. Backfill placement, Respread topsoil, fine grade, seed and install erosion blanket where required.

B. Staking.

Construction staking shall be provided by the contractor.

EXECUTION:

A. General: Prior to undertaking the work the Contractor shall become thoroughly familiar with the site, with site conditions, and the sequence of work that will be necessary.

B. Stripping: The Contractor shall remove the existing vegetation and then strip the topsoil, crushed rock, and organic matter to a depth of not less than four inches across the entire work area shown. The Owner reserves the right to adjust the depth of stripings based on observations at the time of construction. All stripping shall be completed before any other work is commenced.

C. Placement of Controlled Fills: All exposed cut surfaces shall be proof-rolled prior to placement of fill materials. Controlled fill shall be in accordance with the moisture and density requirements set forth elsewhere in these specifications.

D. Fill Material: Fill material is suitable on-site cohesive soil that is non-silting which has a liquid limit not greater than 45, a plastic index not greater than 25, and a fraction passing the #200 sieve of not less than 80 percent. The material shall be free from brush, excessive moisture, sod, frozen or perishable material, debris, rubble, and organic matter.

E. Fill Material Requirements: All fill and backfill placed on the site shall be compacted to a dry density of at least 90% of the maximum dry density as determined by ASTM D-1557, Modified Proctor, including control of compacted fill and backfill and all subgrades under floor slabs and pavement shall not be more than 2% below or 5% above the optimum moisture content.

F. Water and Moisture Control.

1. Unfavorable Weather:
 - a. Do not place, spread, or compact any fill during unfavorable weather conditions.
 - b. Remove and replace or otherwise correct all work which is damaged as a result of weather or water related factors or does not meet the specifications at no expense to the Owner.
2. Site Management:
 - a. Provide suitable berms and channels to control or direct water to sediment basins and as may be necessary to prevent erosion, flooding, or other damage to the site, adjacent property, and the work.
3. Soil Moisture Content: When the moisture content of soil proposed for use as compacted fill material is more than the limit specified, it shall not be used unless and until the moisture content is reduced to the acceptable limit. The water content is below the limit specified appropriate amounts of water shall be added and blended uniformly throughout the material. Soils having moisture contents above the specified limits shall not be incorporated into the work.
4. Cleanup:
 - a. Clean and repair silt fences.
 - b. Leave entire job site clean and smooth with no areas that will pond run-off.

Exhibit "B"

CONSTRUCTION SCHEDULE & PHASING NOTES

ACTIVITY

SCHEDULE

Install all erosion control features needed and shown on the plans such as Stabilized Construction Entrances, Silt Basins, Riser Pipes, Outlet Pipes, Silt Traps, Silt Fence, Diversions, Terraces, Etc.

Proceed with stripping of existing vegetation and grading in accordance with the grading plan but disturbing no more at one time than is necessary.

Temporary seeding or mulching After install all erosion control features needed and shown on the plans. Furthermore, INSPECTOR approval must be obtained before the start of any stripping of existing vegetation and grading.

Permanent seeding After completion of paving and utilities in affected area

Removal of erosion control features Erosion control features may not be removed until 75% of the upstream area has been fully developed. Full development shall include all stabilization, paving, buildings, utilities, landscaping, and fully established permanent seeding. Furthermore, INSPECTOR approval must be obtained before removal of any erosion control features.

Exhibit "C"

STANDARD FEATURE DETAILS

CITY OF OMAHA EROSION & SEDIMENT CONTROL MANUAL	
FIGURE	NAME
2-1	Hay Bale Silt Check
2-2	Filter Cloth
2-3	Gravel Curb Inlet Sediment Filter
2-4	Stabilized Construction Entrance
2-7	Standard Sediment Basin 1
2-8	Standard Sediment Basin 2
2-9	Excavated Earth Outlet Sediment Trap
2-10	Pipe Outlet
2-11	Slope Outlet Sediment Trap
2-12	Riser Base Detail Sediment Basin
2-19	Typical Cross Section For Broad base and Backslope Terraces
2-20	Typical Cross Section For Narrow base and Flat Channel Terraces
3-1	Cross Section Details Diversion

CONSTRUCTION SEQUENCE

The following items are listed in chronological order that the work is expected to occur and any substantial deviations shall be approved by the Engineer.

1. Construct stabilized construction accesses.
2. Install erosion devices.
3. Perform clearing and grubbing operations.
4. Strip and stockpile topsoil.
5. Reseed topsoil.
6. Respread topsoil.
7. Clean and/or repair silt fences.
8. Perform permanent seeding.

EROSION CONTROL NOTES

1. All project procedures and materials shall conform to the following City of Omaha publication and any addendums thereto:
 - a. City of Omaha Erosion & Sediment Control Manual
 - b. City of Omaha Best Management Practices for Construction Sites: Cunningham, Standing Bear, and Zorinsky Landmarks
2. The CONTRACTOR must comply with oil noise and dust control ordinances of the City of Omaha.
3. The CONTRACTOR shall notify of utility companies 45 hours before work is started to verify utility locations (One Call 344-3565).
4. Barricades shall conform to Omaha Public Works "Barricading Standards, Specifications, Methods & Materials", and/or the "Manual on Uniform Traffic Control Devices".
5. The CONTRACTOR shall be responsible to comply with all OSHA regulations in the prosecution of work under the required lines and elevations.
6. The APPLICANT will apply for the STATE OF NEBRASKA Grading Permit. The CONTRACTOR shall check with the ENGINEER for STATE OF NEBRASKA approval of the STATE OF NEBRASKA Grading Permit before starting work. No work may begin until the permit has been received and the CONTRACTOR must comply with the terms of the permit.
7. The APPLICANT and INSPECTOR shall cooperate with the City of Omaha in regard to the construction activities to minimize the potential for erosion.
8. The CONTRACTOR shall cooperate with the APPLICANT and INSPECTOR in regard to the construction activities so as to minimize the potential for erosion.
9. The CONTRACTOR shall monitor perimeter silt fencing and install additional silt fencing if necessary or as directed by the INSPECTOR.
10. The CONTRACTOR shall periodically remove accumulated sediment from sediment traps, sediment basins, silt fences, and all other erosion control measures that store sediment if necessary or as directed by the INSPECTOR.
11. The CONTRACTOR shall build stabilized construction entrances. The CONTRACTOR shall monitor all stabilized construction entrances and maintain the entrances as needed or as directed by the INSPECTOR. The CONTRACTOR shall not only clean out the entrance to the site to eliminate excess points.
12. All erosion control features shall be kept in working order. The CONTRACTOR shall repair all damages caused by soil erosion and construction equipment at or before the end of each working day or as directed by the INSPECTOR.
13. Erosion control features may not be removed until 75% of the area has been fully developed. Full development shall mean installation of pavements, buildings, storm sewers, landscaping, and seeding.
14. The CONTRACTOR shall be responsible for providing containment dikes or other protective measures around oil-in-situ fueling and chemical storage areas.
15. In the event of a release of oil or hazardous substance, the CONTRACTOR shall comply with the requirements of the Nebraska Department of Environmental Quality for notification, containment, investigation, remedial action and disposal.
16. For dust control the CONTRACTOR shall use any of the following measures or a combination if necessary:
 - a. Water truck to spread water on striped areas.
 - b. Tank truck or other such equipment to spread water on haul roads.
 - c. Decrease vehicular speed on haul roads.
17. Diversions berms and level terraces shall be constructed as shown on the plans and as necessary to properly control sediment and protect adjacent properties. Diversions and Level terraces shall be in place at the end of each working day at any time that rain is forecast, and as directed by the INSPECTOR.
18. After 14 days of work stoppage in an area of at least 1 acre in size, either cover crop seeding, temporary seeding or permanent seeding shall be completed. This shall be in accordance with the requirements of Section 4.0 of the City of Omaha Soil Erosion and Sediment Control Manual.

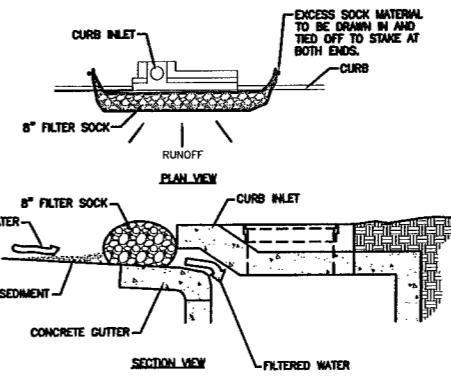
TEMPORARY SEEDING SPECIFICATIONS

1. TEMPORARY SEEDING MUST BE USED IN GRADED OR CLEARED AREAS THAT ARE NOT GRADED FOR A PERIOD OF 14 DAYS OR LONGER. THE AREAS SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF SECTION 4 OF THE CITY OF OMAHA "SOIL EROSION AND SEDIMENT CONTROL MANUAL". SEE TABLE 4-2 BELOW FOR COVER CROP AND TEMPORARY SEEDING MIXTURES, RATES AND TIME TABLES.

TIME OF YEAR	SPECIES*	SEEDING RATE
MAR. 15 - MAY 15	SPRING OATS	2 BU/AC
	BARLEY	2 BU/AC
	PERENNIAL RIGGESS	30 - 40 LBS/AC
	ORCHARD GRASS	20 - 25 LBS/AC
MAY 15 - JULY 15	GRAIN SORGHUM (DRILLED)	10 - 20 LBS/AC
	CORAGE SORGHUM (DRILLED)	10 - 20 LBS/AC
	HYBRID SUDAN GRASS	20 - 30 LBS/AC
	FOXTAIL MILLET	15 - 25 LBS/AC
JULY 16 - OCT. 15	SPRING OATS	2 BU/AC
	BARLEY	2 BU/AC
AUG. 15 - OCT. 15	WINTER WHEAT	1.5 BU/AC
	WINTER RYE	1.5 BU/AC
OCT. 15 - MAR. 15	NO PLANTING, CONSIDER USING MULCHES.	

*OTHER SEEDINGS AS RECOMMENDED BY QUALIFIED AGRONOMISTS OR SOIL CONSERVATIONISTS.

2. THIS SEEDING IS TO BE PERFORMED AS SOON AS THE GRADING IS COMPLETED AND TOPSOIL HAS BEEN RESPREAD.
3. FERTILIZER SHALL BE APPLIED AT THE RATE OF 30 POUNDS EACH OF NITROGEN AND PHOSPHOROUS PER ACRE.





AS SHOWN
MAR 29 2005
RSH
DSD
6-27-08

ELITE BUILDERS INC.

SITE UTILITY PLAN

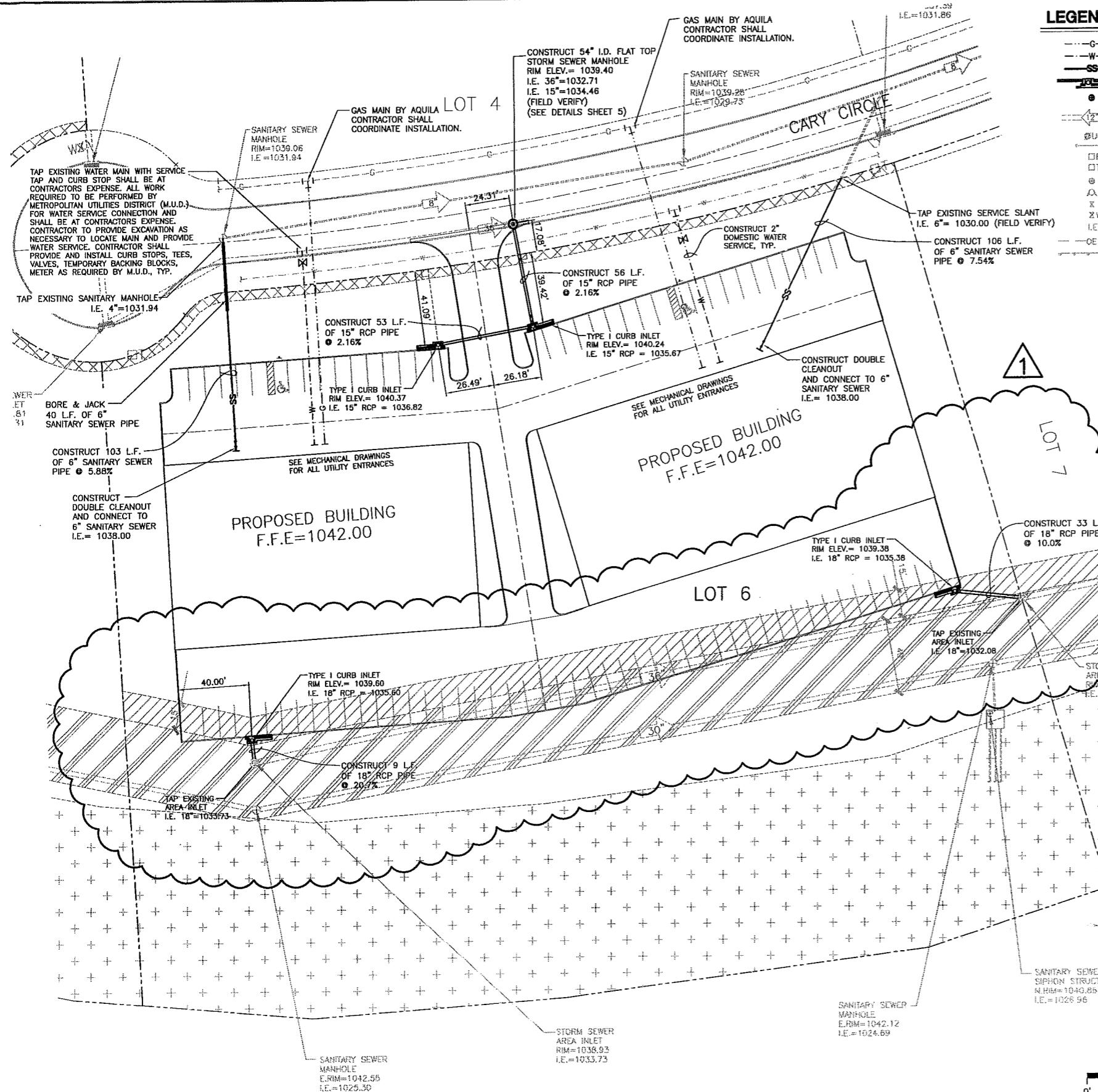
2 THOMPSON, DREESSEN & DORNER, INC.
Consulting Engineers & Land Surveyors
10836 OLD MILL ROAD OMAHA, NEBRASKA 68164
PHONE: 402.330.8860 FAX: 402.330.5866 EMAIL: TD2MAIL@TD2CO.COM
WEBSITE: WWW.TD2CO.COM

T

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SHEET 3 OF 5



LEGEND

G	PROPOSED GAS LINE
W	PROPOSED WATER LINE
SS	PROPOSED SANITARY SEWER
PS	PROPOSED STORM SEWER
PSM	PROPOSED STORM SEWER MANHOLE
	EXISTING STORM SEWER
UG	POWER POLE WITH UNDERGROUND DROP
OF	ELECTRICAL PEDESTAL
OT	TELEPHONE PEDESTAL
SH	SEWER MANHOLE
HY	FIRE HYDRANT
V	VALVE
WV	WATER VALVE
IE	INVERT ELEVATION
OE	OVERHEAD ELECTRICAL LINE
	GUARD RAIL

COX COMMUNICATIONS
(VOICE, VIDEO & DATA)
DODIE PROTZMAN
11505 WEST DODGE ROAD
OMAHA, NEBRASKA 68154
(402) 934-0269

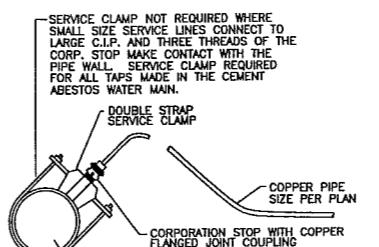
QWEST COMMUNICATIONS
JOHN STUTZMAN
7404 N. 78TH STREET, BUILDING A
OMAHA, NEBRASKA 68122
(402) 572-6439

AQUILA - GAS
DENISE MONTGOMERY
501 W. 6TH STREET
PAPILLION, NEBRASKA 68046
(402) 935-4875

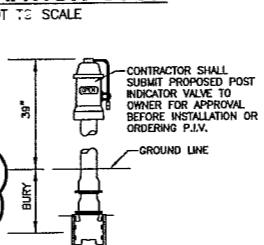
OMAHA PUBLIC POWERS DISTRICT
DEBBIE JENSEN
1210 WEST 6 STREET
PAPILLION, NEBRASKA 68046
(402) 552-5332

UTILITY NOTES

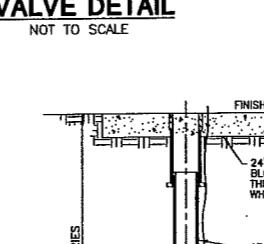
- THE CONTRACTOR IS TO PROVIDE CONCRETE PIERS FOR OPPD TRANSFORMERS PER PAGE 32 OF OPPD METERING MANUAL AND A CONCRETE SLAB PER METERING SPECIFICATIONS TO BE PROVIDED BY OPPD CUSTOMER SERVICE REPRESENTATIVE.
- CONTRACTOR IS TO INSTALL MINI-MARKER IN ENDS OF CONDUITS INSTALLED FOR OPPD BY THE CONTRACTOR. MINI-MARKERS ARE TO BE PROVIDED BY OPPD. IF OPPD LAYS CABLE PRIOR TO LAYING OF CONDUITS THEN CONTRACTOR IS TO LAY CONDUITS ON TOP OF OPPD CABLE AT TIME OF TRENCHING.
- PROVIDE THRUST BLOCKS ON ALL WATER MAINS AT FITTINGS. SEE SPECIFICATIONS AND DETAILS.
- COORDINATE UTILITY CONSTRUCTION WORK WITH THE WORK OF ALL OTHER TRADES ON THE SITE.
- REFER TO SITE LAYOUT PLAN FOR BUILDING AND PAVEMENT LOCATIONS WHEN UTILITY LINES ARE REFERENCED FROM SUCH STRUCTURES.
- SEE ARCHITECTURAL PLANS FOR CONTINUATION OF ALL UTILITY LINES INTO BUILDINGS. COORDINATE WITH OTHER CONTRACTORS AS NECESSARY FOR CONSTRUCTION AND TESTING.
- REFER TO DETAILS AND SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS.
- TRENCHING AND BACKFILLING OF PVC CONDUITS FOR TELEPHONE AND POWER UNDER EXISTING AND PROPOSED SIDEWALKS AND PAVEMENTS SHALL MEET THE REQUIREMENTS FOR SEWER BACKFILL.
- CONTRACTOR SHALL HAVE ALL EXISTING UTILITIES LOCATED AND SHALL CONTACT THE "ONE CALL" SYSTEM AT 344-3565 PRIOR TO ANY EXCAVATION. ANY DAMAGE TO EXISTING UTILITIES SHALL BE REPAIRED AT THE CONTRACTORS EXPENSE.
- DIMENSIONS SHOWN ARE TO CENTERLINES OF PIPES AND ARE FROM BUILDING FACES OR BACK OF CURB AS APPLICABLE. COORDINATES FOR STRUCTURES ARE GIVEN TO CENTERLINE OF COVERS OR GRATES ON SUCH STRUCTURES.
- THE CONTRACTOR SHALL VERIFY SIZE AND LOCATION OF ALL UTILITIES W/ OTHER TRADES DRAWINGS PRIOR TO CONSTRUCTION.
- THE CONTRACTOR SHALL ADJUST ALL UTILITY STRUCTURES TO GRADE AS REQUIRED. THESE INCLUDE, BUT ARE NOT LIMITED TO MANHOLES, FIRE HYDRANTS, STORM SEWER INLETS, JUNCTION BOXES, VALVE BOXES, AND CURB STOPS, SEWER CLEANOUTS AND ANY OTHER ITEMS THAT MAY FALL INTO THIS CLASSIFICATION. THESE ADJUSTMENTS SHALL BE (NO PAY ITEMS).
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL VERIFY ALL GRADES AND TAP ELEVATIONS WHERE PROPOSED UTILITIES ARE TO TIE INTO EXISTING UTILITIES. THE CONTRACTOR IS RESPONSIBLE TO STUDY THE PROPOSED PLANS AND NOTIFY THE OWNERS ENGINEER OF ANY INCONSISTENCIES, DISCREPANCIES OR CONSTRUCTABILITY PROBLEMS IF THEY MAY ARISE.



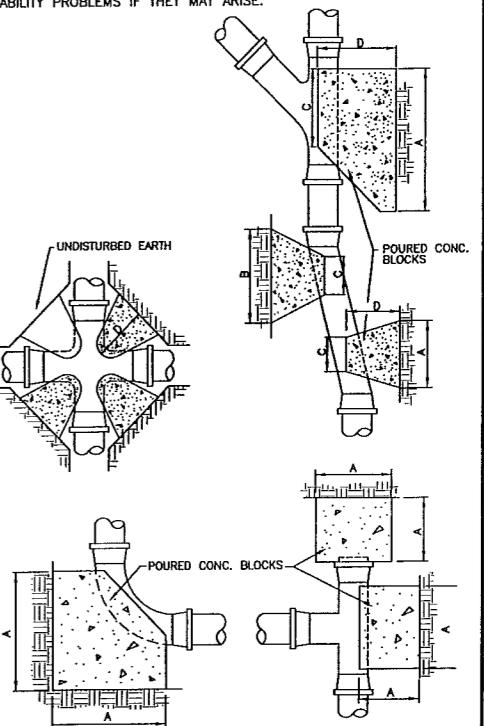
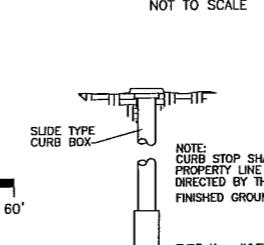
CORPORATION STOP



POST INDICATOR VALVE DETAIL



VALVE BOX SETTING

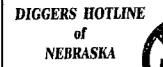


DIMENSIONS							TOTAL SOIL BEARING AREA SQ.F.	
PIPE SIZE	A	B	C	D	TEES	90°	45°	WYES CROSSES
UP TO 8" DIA.	12"	21/2"	12"	8"	2	4	4	2
10" TO 12" DIA.	24"	24/12"	10"	5"	8	5	5	5
10" TO 14" DIA.	24"	24/12"	10"	5"	12	6.5	6.5	6.5
16" TO 20" DIA.	42"	30/18"	12"	6.5"	12	6.5	6.5	6.5

TYPICAL THRUST BLOCK DETAIL

NO SCALE

CALL BEFORE YOU DIG



Statewide
1-800-331-5666
Metro Omaha
344-3565

50' WIDE BRIDGE REPLACEMENT EASEMENT RECORDED AS INSTRUMENT NO. 98-30452 OF THE SARPY COUNTY RECORDS AND AS SHOWN ON THE FINAL PLAT OF PAPIO VALLEY I BUSINESS PARK.

40' WIDE PERMANENT SEWER EASEMENT GRANTED TO S.D.I. NO. 65 RECORDED IN MISC. BOOK 45 AT PAGE 254 OF THE SARPY COUNTY RECORDS, ASSIGNED TO THE CITY OF OMAHA RECORDED AS INSTRUMENT NO. 94-15619 OF THE SARPY COUNTY RECORDS AND AS SHOWN ON THE FINAL PLAT OF PAPIO VALLEY I BUSINESS PARK.

15' WIDE STORM SEWER AND DRAINAGE EASEMENT AS SHOWN ON THE FINAL PLAT OF PAPIO VALLEY I BUSINESS PARK.

5' WIDE UTILITY EASEMENT AS DESCRIBED IN THE FINAL PLAT DEDICATION OF PAPIO VALLEY I BUSINESS PARK.

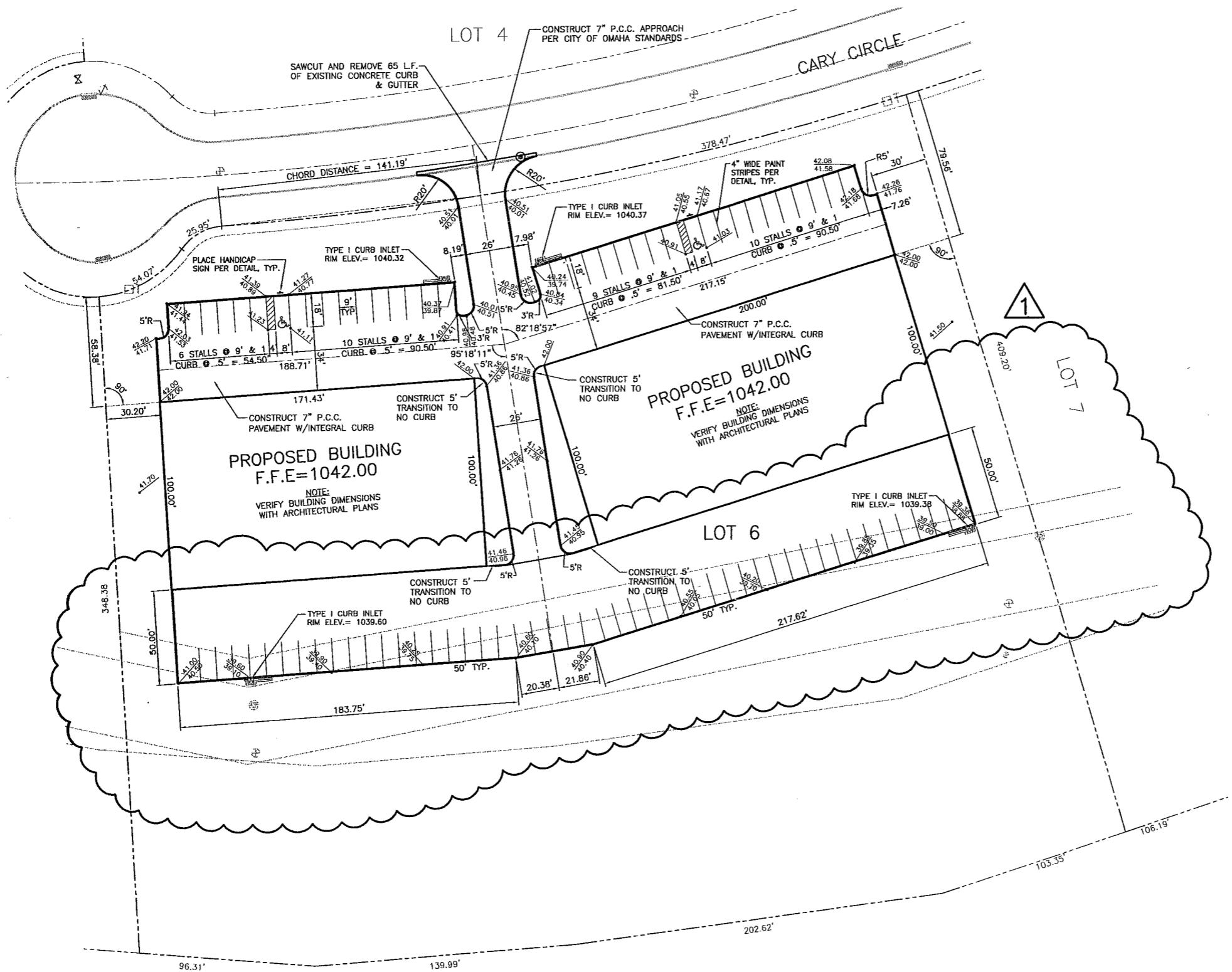
105' WIDE CHANNEL AND MAINTENANCE EASEMENT AS SHOWN ON THE FINAL PLAT OF PAPIO VALLEY I BUSINESS PARK.

15' WIDE STORM SEWER AND DRAINAGE EASEMENT AS SHOWN ON THE FINAL PLAT OF PAPIO VALLEY I BUSINESS PARK.

5' WIDE UTILITY EASEMENT AS DESCRIBED IN THE FINAL PLAT DEDICATION OF PAPIO VALLEY I BUSINESS PARK.

CURB STOP
NOT TO SCALE

SHEET 3 OF 5



PAVING NOTES

1. THE CONTRACTOR SHALL VERIFY ALL UTILITY LOCATIONS IN THE FIELD PRIOR TO THE START OF CONSTRUCTION OPERATIONS. THE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR ANY DAMAGE TO EXISTING PROPERTY, UTILITIES, AND STRUCTURES, AND WILL REPAIR AT HIS OWN EXPENSE. THE CONTRACTOR SHALL HAVE ALL EXISTING UTILITIES FIELD LOCATED IN THE FIELD PRIOR TO CONSTRUCTION THROUGH THE "ONE CALL" SYSTEM.
2. DIMENSIONS SHOWN ARE TO EDGE OF SLAB, BACK OF CURB, OR FACE OF BUILDING AS APPLICABLE. CONTRACTOR SHALL VERIFY DIMENSIONS WITH OWNER AND ARCHITECT BEFORE BEGINNING CONSTRUCTION.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ALL BARRICADES, FLAGGER, AND TRAFFIC CONTROL DURING CONSTRUCTION OPERATIONS. NO SEPARATE PAYMENT WILL BE MADE FOR TRAFFIC CONTROL.
4. SEE ARCHITECTURAL SPECIFICATIONS AND DRAWINGS FOR LANDSCAPING REQUIREMENTS.
5. ALL RADII ARE 5 FOOT UNLESS OTHERWISE DIMENSIONED.
6. COORDINATE WORK WITH ALL OTHER TRADES.
7. THE CONTRACTOR SHALL BE RESPONSIBLE TO COMPLY WITH ALL OSHA REGULATIONS IN THE PROSECUTION OF THE WORK UNDER THIS CONTRACT.
8. 1. THE CONTRACTOR SHALL ADJUST ALL UTILITIES TO FINISHED PAVEMENT GRADE AS REQUIRED. (NO PAY ITEM)
2. VERIFY ALL ELEVATIONS AT ALL OUTSIDE DOOR LOCATIONS WITH ARCHITECT TO PREVENT FROST HEAVE DAMAGE.
9. ALL CONCRETE FOR P.C.C. PAVEMENT SHALL BE L6AE (AIR-ENTRAINED) PER CITY OF OMAHA STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, LATEST EDITION.
10. WATER REDUCING ADMIXTURES SHALL NOT BE USED UNLESS APPROVED BY THE ENGINEER.
11. CONCRETE PAVEMENT SHALL BE CURED USING A WHITE PIGMENTED LIQUID MEMBRANE FORMING CURING COMPOUND THAT HAS BEEN APPROVED BY THE CITY OF OMAHA. MINIMUM RATE OF APPLICATION SHALL BE 200 SQ. FEET PER GALLON IF A MECHANICAL POWER SPRAYER IS USED, AND 100 SQ. FEET PER GALLON IF A HAND SPRAYER IS USED.
12. SEE SPECIFICATIONS FOR COMPACTION AND FILL REQUIREMENTS UNDER PAVING AND WALK AREAS.
13. SEE SPECIFICATIONS FOR PAVING TEST REQUIREMENTS.
14. WHEEL CHAIR RAMPS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE MOST CURRENT CITY OF OMAHA STANDARD PLATE 1-82.
15. GRADES SHALL GRADUALLY TAPER SHARP OVER SPOT ELEVATIONS IN A GENTLE SWEEPING CURVE (NO SHARP BREAK IN PLANE OF PAVING ALLOWED) ELEVATION ARE REFERENCED TO I.S.G.S. DATUM.

THOMPSON, DREESSEN & DORNER, INC.
Consulting Engineers & Land Surveyors
10836 OLD MILL ROAD OMAHA, NEBRASKA 68154
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10836 OLD MILL ROAD OMAHA, NEBRASKA 68154
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WEBSITE: WWW.TD2CO.COM

LOT 6, PAPIO VALLEY

ELITE BUILDERS INC.

Date:	MAR 29 2000
Drawn by:	RSH
checked by:	DSD
revision:	16-27-08

1108F106 27 08 DMC

1402-108

HEET 4 OF 5



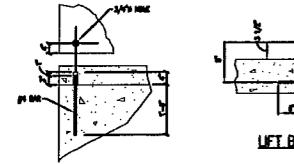
15' 30' 60'
SCALE IN FEET

REINFORCING BAR SCHEDULE					
BAR	SHAPE	NO. SIZE	LENGTH	BAR	SHAPE
A	3 1/8	14'-0"		C	6 5 4'-0"
B	2 6 10'-0"			D	12 5 2'-7"
C	4 6 7'-7"			E	3 5 1'-7"
D	1 6 5'-1"			F	4 4 5'-1"
E	4 4 5'-1"			G	10 4 5'-1"
F	4 4 5'-1"			H	10 4 5'-1"
G	4 4 5'-1"			J	3 5 1'-7"
H	4 4 5'-1"			K	10 4 5'-1"
LIFT SET DETAIL	5 4 2'-6"			M	10 4 5'-1"
ANCHOR SET DETAIL	4 4 5'-1"			N	10 4 5'-1"

* GALVANIZED OR EPOXY COATED FACE BAR

CURB INLET DATA W/7" PAVEMENT		
PIPE	DIMENSIONS	PIPE
DA	DIA	12"
12"	12"-0"	3.200
15"	15"-0"	3.416
18"	18"-0"	3.512
24"	24"-0"	3.703

** ADD 383 CU. YDS. CONC. FOR ONE FOOT INCREASE OF "X"



ANCHOR BAR DETAIL

FRONT ELEVATION

SECTION

TYPE I CURB INLET DETAIL

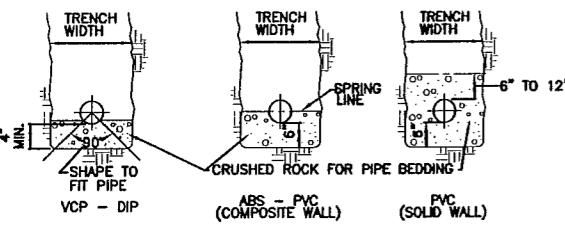
NO SCALE

TRENCH WIDTH: MINIMUM = PIPE O.D. PLUS 1'-4"

MAXIMUM = PIPE O.D. PLUS 2'-0" {SEE SECTION 701.04}

BACKFILL: SEE SECTION 701.08

UNSTABLE TRENCH: SEE SECTION 701.05.03C



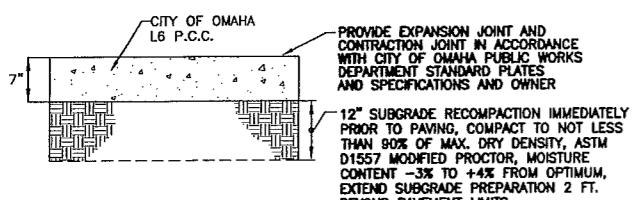
NOTES:
1. CRUSHED ROCK FOR PIPE BEDDING SHALL CONFORM TO THE REQUIREMENTS OF THE STANDARD SPEC. EXCEPT THAT THE GRADUATIONS SHALL BE AS FOLLOWS:

SLEEVE SIZE	PERCENTAGE PASSING
3/4 INCH	100
3/8 INCH	60 ± 15
NO. 4	30 ± 15
NO. 10	15 ± 10
NO. 200	5 ± 5

2. CRUSHED ROCK FOR MINIMUM PIPE BEDDING SHALL BE INCLUDED IN THE UNIT PRICE BID FOR THE APPLICABLE TYPE OF SEWER

MINIMUM BEDDING TYPES

NO SCALE



7" CONCRETE PAVEMENT

NO SCALE

SEE ARCHITECTURAL PLANS
FOR SIGN LETTERING

18"x18" 18 GA STEEL
BAKED ENAMEL INTERACTION HANDICAP
SYMBOL ONE SIGN PER POST
AT EACH HANDICAP SPACE.

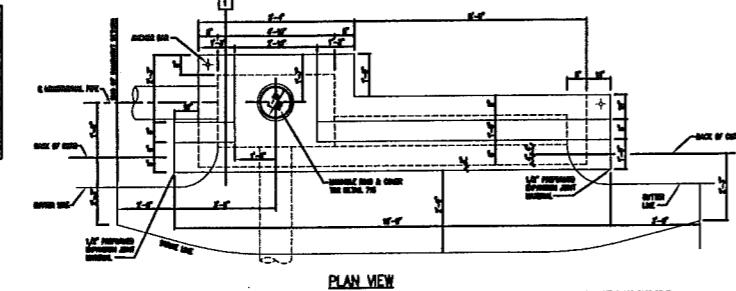
WHITE

PROVIDE "VAN-ACCESSIBLE"
SIGN AT ALL V.H.C. STALLS
ONLY

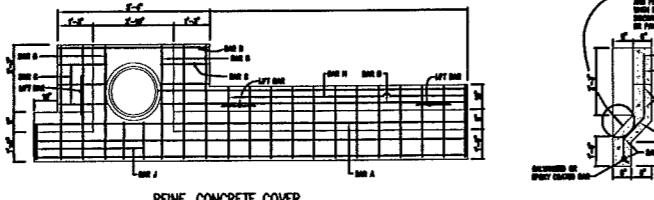
"U" SHAPED CHANNEL POST 8'
LONG AT 31 LBS./FT. ANCHORED IN
9" DIA. x 24" DEEP CONCRETE.

HANDICAP SIGN

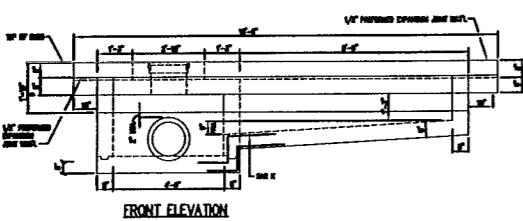
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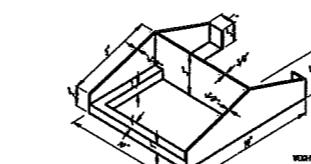
PLAN VIEW



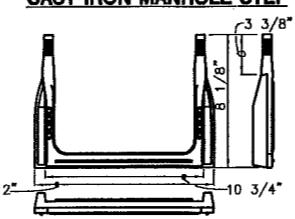
REINFORCED CONCRETE COVER



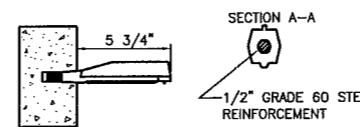
SECTION



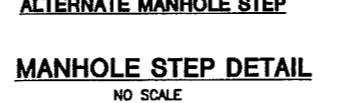
CAST IRON MANHOLE STEP



COPOLYMER POLYPROPYLENE PLASTIC

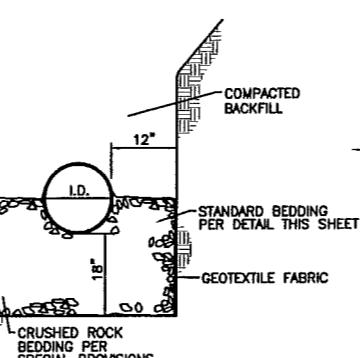


ALTERNATE MANHOLE STEP



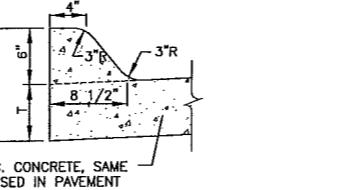
MANHOLE STEP DETAIL

NO SCALE



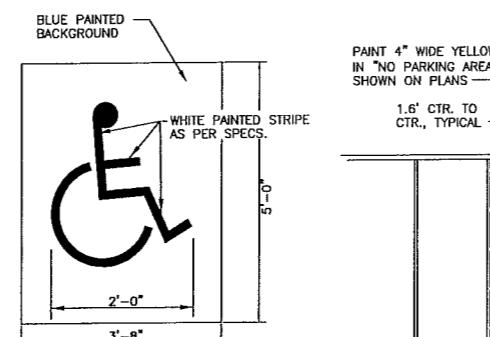
STORM SEWER PIPE BEDDING (UNSTABLE TRENCH)

NOT TO SCALE



INTEGRAL CURB DETAIL

NO SCALE

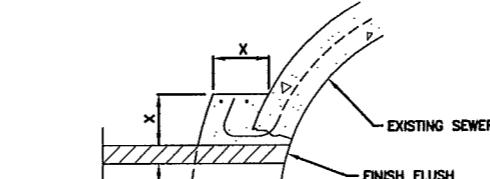


HANDICAP SYMBOL

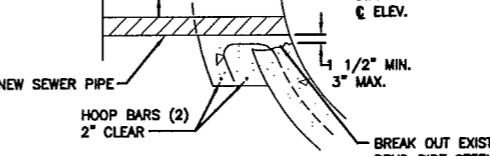
NO SCALE

HANDICAP STRIPING DETAIL

NOT SCALE



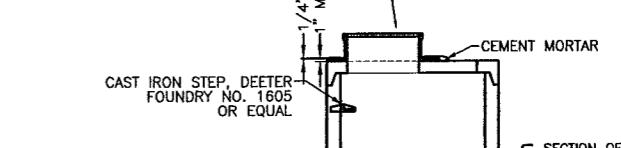
CAST IRON MANHOLE STEP



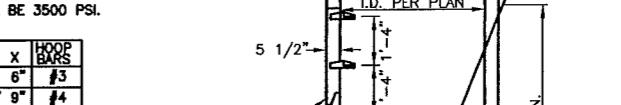
SEWER TAP

NO SCALE

HEAVY DUTY, NON-ROCKING RING & SOLID COVER, DEETER FOUNDRY
NO. 1102 OR 1931



CAST IRON STEP, DEETER FOUNDRY NO. 1605
OR EQUAL



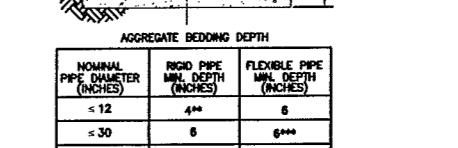
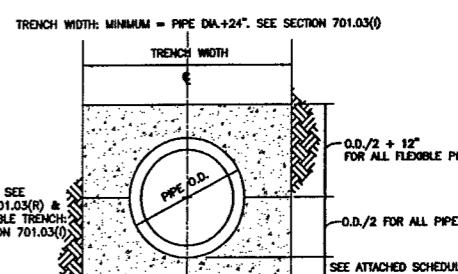
SECTION OF EXISTING 36" PIPE TO BE REMOVED FOR
MANHOLE CONSTRUCTION



NOTE:
NO. 4 REINFORCING BARS SHALL
BE USED THROUGHOUT THE
MANHOLE BASE & SPACED AT 12"
CTRS. HOLD 3" CLEAR ON REBARS.

FLAT TOP STORM SEWER MANHOLE DETAIL

NO SCALE



* SEE ASTM C1479 FOR MINIMUM DEPTH FOR PCC PIPE.
** OR ONE-FOURTH (1/4) OF THE DIAMETER, WHICHEVER IS GREATER.

1. RIGID PIPE INCLUDED BUT IS NOT LIMITED TO PCC, DUCTILE IRON, VITRIFIED CLAY, FIBERGLASS, AND PVC TRUSS. FLEXIBLE PIPE IS NOT AS AN PIPE HAVING A PIPE STIFFNESS ONE HUNDREDTH (1/100) OF A POUND INCH PER INCH OR LESS. FLEXIBLE PIPE INCLUDES BUT IS NOT LIMITED TO CORRODED STEEL, CORRODED ALUMINUM, SOLID WALL PVC, CORRUGATED PVC, AND PROFILE WALL PVC. THE ENGINEER SHALL DETERMINE WHETHER A PIPE MATERIAL NOT LISTED IS RIGID OR FLEXIBLE.

2. AGGREGATE BEDDING MATERIAL SHALL CONSIST OF RECYCLED PCC, CRUSHED LIMESTONE, CRUSHED STONE, COAL ASH, OR ASH, PIPE HAVING A PIPE STIFFNESS ONE HUNDREDTH (1/100) OF A POUND INCH PER INCH OR LESS. FLEXIBLE PIPE INCLUDES BUT IS NOT LIMITED TO CORRODED STEEL, CORRODED ALUMINUM, SOLID WALL PVC, CORRUGATED PVC, AND PROFILE WALL PVC. THE ENGINEER SHALL DETERMINE WHETHER A PIPE MATERIAL NOT LISTED IS RIGID OR FLEXIBLE.

(#200 (75 UM) STANDARD SIEVE SHALL BE EIGHT (8) PERCENT AND THE NOMINAL MAXIMUM SIZE SHALL CONFORM TO THE REQUIREMENTS OUTLINED IN THE TABLE BELOW.)

AGGREGATE GRADATION REQUIREMENTS

NOMINAL PIPE DIAMETER (INCHES)

NOMINAL MAXIMUM SIZE

12" 4"

30" 6"

60" 12"

>60" 18"

N/A

* SEE ASTM C1479 FOR MINIMUM DEPTH FOR PCC PIPE.

** OR ONE-FOURTH (1/4) OF THE DIAMETER, WHICHEVER IS GREATER.

1. RIGID PIPE INCLUDED BUT IS NOT LIMITED TO PCC, DUCTILE IRON, VITRIFIED CLAY, FIBERGLASS, AND PVC TRUSS. FLEXIBLE PIPE IS NOT AS AN PIPE HAVING A PIPE STIFFNESS ONE HUNDREDTH (1/100) OF A POUND INCH PER INCH OR LESS. FLEXIBLE PIPE INCLUDES BUT IS NOT LIMITED TO CORRODED STEEL, CORRODED ALUMINUM, SOLID WALL PVC, CORRUGATED PVC, AND PROFILE WALL PVC. THE ENGINEER SHALL DETERMINE WHETHER A PIPE MATERIAL NOT LISTED IS RIGID OR FLEXIBLE.

2. AGGREGATE BEDDING MATERIAL SHALL CONSIST OF RECYCLED PCC, CRUSHED LIMESTONE, CRUSHED STONE, COAL ASH, OR ASH, PIPE HAVING A PIPE STIFFNESS ONE HUNDREDTH (1/100) OF A POUND INCH PER INCH OR LESS. FLEXIBLE PIPE INCLUDES BUT IS NOT LIMITED TO CORRODED STEEL, CORRODED ALUMINUM, SOLID WALL PVC, CORRUGATED PVC, AND PROFILE WALL PVC. THE ENGINEER SHALL DETERMINE WHETHER A PIPE MATERIAL NOT LISTED IS RIGID OR FLEXIBLE.

(#200 (75 UM) STANDARD SIEVE SHALL BE EIGHT (8) PERCENT AND THE NOMINAL MAXIMUM SIZE SHALL CONFORM TO THE REQUIREMENTS OUTLINED IN THE TABLE BELOW.)

AGGREGATE GRADATION REQUIREMENTS

NOMINAL PIPE DIAMETER (INCHES)

NOMINAL MAXIMUM SIZE

18" 3/4"

30" 1 1/2"

>30" 2" or 3"

N/A

* SEE ASTM C1479 FOR MINIMUM DEPTH FOR PCC PIPE.

** OR ONE-FOURTH (1/4) OF THE DIAMETER, WHICHEVER IS GREATER.

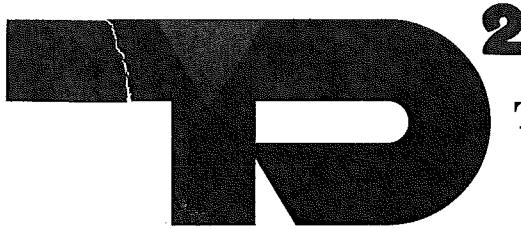
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AGGREGATE GRADATION REQUIREMENTS

NOMINAL PIPE DIAMETER (INCHES)



THOMPSON, DREESSEN & DORNER, INC.

Consulting Engineers & Land Surveyors

June 17, 2008

Mr. Marcus Baker
City Planner
City of La Vista
8116 Park View Boulevard
La Vista, NE 68128

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RE: Rezoning & Conditional Use Permit Reviews 2008
Lot 6, Papio Valley I Business Park-12305 Cary Circle
Proposed Conditional Use Permit for Omaha Metro Gymnastics
TD² File No. 171-357.3

Marcus:

I have reviewed the application and supporting information that were received in this office on June 6, 2008 for a proposed conditional use permit for indoor recreation at the above-referenced location. The application indicates that the permit would apply to 9,000 square feet of the existing 37,500 square feet of space available at this location. I am of the opinion that the application is not consistent with Articles 6.05.02, 6.05.03, and 6.05.04 of Section 6.05 of the La Vista Zoning Regulations. The primary reason for this opinion is the amount of parking that would be needed by this use as compared to the amount of parking available. The application indicates a total of 31 parking spaces on the site for the 37,500 square feet of building. The proposed use could occupy all those parking spaces allowing for staff and parents of one group of students (or birthday party guests) while another group arrives and waits for their turn. This would leave no spaces for the rest of the building tenants to utilize.

I do not recommend approval of this use permit.

Submitted by,

THOMPSON, DREESSEN & DORNER, INC.

John M. Kottmann, P.E.

JMK/jlf

cc: File