

**CITY OF LA VISTA
MAYOR AND CITY COUNCIL REPORT
JUNE 19, 2007 AGENDA**

Subject:	Type:	Submitted By:
APPLICATIONS FOR REPLAT, CONDITIONAL USE PERMIT (HOTEL), FINAL PUD PLAN & AMENDMENT TO PUD ORDINANCE — SOUTHPORT WEST REPLAT THREE	◆ RESOLUTION(S) ◆ ORDINANCE RECEIVE/FILE	ANN BIRCH COMMUNITY DEVELOPMENT DIRECTOR

SYNOPSIS

Public hearings have been scheduled, and an ordinance and resolutions have been prepared to facilitate the development of the Marriott Courtyard project in Southport West. Specific action is requested on the following:

1. Amendment to the PUD ordinance to allow for a zero setback on the side lot line;
2. Replat and final PUD plan for approximately 19.33 acres to be known as Southport West Replat Three; and
3. Conditional Use Permit to locate and operate a Courtyard by Marriott hotel on Lot 1, Southport West Replat Three.

The site is generally located southwest of I-80 and Giles Road.

FISCAL IMPACT

N/A.

RECOMMENDATION

Approve subject to resolution of items identified by the city engineer and staff.

BACKGROUND

Public hearings have been scheduled to consider an application for a replat of Lot 1, Southport West Replat Two; an application for a conditional use permit to locate and operate a Courtyard by Marriott hotel on proposed Lot 1, Southport West Replat Three; and an application for a final PUD Plan. Staff is also recommending an amendment to the PUD ordinance to allow for a zero setback on the side lot line. The property is zoned C-3 Highway Commercial/Office Park with the Gateway Corridor and PUD-1 Overlay Districts. The lot is owned by JQH LaVista III Development, LLC. The application was submitted by Carl James of Pellham Phillips Architects and Engineers on behalf of the owner.

The applicant is proposing to construct a six story hotel with 243 rooms, and will include meeting rooms, a restaurant, a lounge and recreational facilities. An airport shuttle service is also being proposed by the applicant which will help reduce the demand for parking spaces and reduce traffic congestion in and around the site.

The hotel is proposed to be connected to the La Vista Conference Center through an enclosed walkway. The property is being replatted so that the Embassy Suites hotel, the La Vista Conference Center and the Marriott Courtyard hotel will be located on individually platted lots with their respective parking areas, however easements provide for the parking areas and access to be shared among all of the users.

The most recent PUD ordinance for Southport West included setbacks of 60 feet to property lines for buildings under eight stories and 125 feet to property lines for buildings over eight stories. Because of the proposed replat, lot lines are being created between connecting structures. An amendment to the PUD ordinance has been prepared to allow for a zero setback on the side lot line where the structures connect.

City Engineer John Kottmann and staff have reviewed the applications for the replat, conditional use permit and final PUD plan, and have the following comments:

1. Southport West Replat Three must be filed and recorded prior to execution of the conditional use permit.
2. The applicant will need to complete the FAA permit process and obtain approval prior to obtaining building permits.
3. All requirements of the Southport West PUD Plan and Design Guidelines must be met prior to execution of the conditional use permit. Final design approval is pending.
4. All signage shall comply with the La Vista sign regulations and the adopted Southport West PUD Plan and Design Guidelines.
5. Prior to the issuance of a building permit, the applicant shall pay the tract sewer connection fee.
6. Prior to the issuance of a building permit, the Fire Chief should review the fire hydrant location(s) for adequacy to serve the facility.
7. Pedestrian sidewalks and walkways need to provide safe and convenient linkages to perimeter sidewalks. The pedestrian connection at the southwest corner of the development from the sidewalk to the parking lot dead-ends at a parking stall. The island should be moved to this location to accommodate the sidewalk.
8. The PUD plan should show an enclosed connection between the buildings on Lots 1 and 2 as has been represented by the developer.

On May 17, 2007, the Planning Commission recommended approval of the replat application, conditional use permit and amendment to the PUD plan to City Council subject to the resolution of items identified in the staff report.

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ORDINANCE NO. ____

AN ORDINANCE OF THE CITY OF LA VISTA, NEBRASKA, AMENDING SECTION 8.B.i.b. OF ORDINANCE NO. 1013 TO CHANGE THE BUILDING SETBACKS IN PARCEL 1, PREVIOUSLY KNOWN AS LOT 1, SOUTHPORT WEST REPLAT TWO, BEING REPLATTED AS LOTS 1 THRU 3, SOUTHPORT WEST REPLAT THREE; TO REPEAL SECTION 8.B.i.b. OF ORDINANCE NO. 1013 AS PREVIOUSLY ENACTED; TO PROVIDE FOR SEVERABILITY; AND TO PROVIDE FOR THE EFFECTIVE DATE HEREOF.

BE IT ORDAINED BY THE MAYOR AND CITY COUNCIL OF THE CITY OF LA VISTA, NEBRASKA:

Section 1. Amendment to Section 8.B.i.b. of Ordinance No. 1013. Section 8.B.i.b. of Ordinance No. 1013 is hereby changed to read as follows:

- b. Building Setback. No part of any building eight (8) stories and over in height shall be erected within sixty (60) feet of the perimeter property line. No part of any building under eight (8) stories in height shall be erected within one hundred twenty-five (125) feet of the perimeter property line. The building setback from an internal lot line may be zero (0) feet if approved by the City as part of a PUD Plan.

Section 2. Repeal of Section 8.B.i.b. of Ordinance No. 1013 as Previously Enacted. Section 8.B.i.b. of Ordinance No. 1013 as previously enacted is hereby repealed.

Section 3. Severability Clause. If any section, subsection, sentence, clause or phrase of this ordinance is, for any reason, held to be unconstitutional or invalid, such unconstitutionality or invalidity shall not affect the validity of the remaining portions of this ordinance. The Mayor and City Council of the City of La Vista hereby declare that it would have passed this ordinance and each section, subsection, sentence clause or phrase thereof, irrespective of the fact that any one or more sections, subsections, sentences, clauses or phrases be declared unconstitutional or invalid.

Section 4. Effective Date. This Ordinance shall be in full force and effect after its passage, approval, and publication as provided by law.

PASSED AND APPROVED THIS 19TH DAY OF JUNE, 2007.

CITY OF LA VISTA

Douglas Kindig, Mayor

ATTEST:

Pamela A. Buethe, CMC
City Clerk

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RESOLUTION NO. _____

A RESOLUTION OF THE MAYOR AND CITY COUNCIL OF THE CITY OF LA VISTA, NEBRASKA, AUTHORIZING APPROVAL OF A REPLAT AND PLANNED UNIT DEVELOPMENT (PUD-1) FOR LOTS 1-3, SOUTHPORT WEST REPLAT THREE, BEING A REPLAT OF LOT 1, SOUTHPORT WEST REPLAT TWO, LOCATED IN THE SW ¼ OF SECTION 18; AND THE SE ¼ OF SECTION 18; ALL LOCATED IN T14N, R12E OF THE 6TH P.M., SARPY COUNTY, NEBRASKA, GENERALLY LOCATED SOUTHWEST OF I-80 AND AND GILES ROAD.

WHEREAS, the owners of the above described piece of property have made application for approval of a replat and final PUD plan for the proposed Lots 1-3, Southport West Replat Three; and

WHEREAS, the City Administrator and the City Engineer have reviewed the replat and final PUD plan; and

WHEREAS, on May 17, 2007, the La Vista Planning Commission held a public hearing and reviewed the replat and PUD plan and has recommended approval subject to the resolution of items identified in the staff report.

NOW THEREFORE, BE IT RESOLVED by the Mayor and City Council of the City of La Vista, Nebraska, that the replat and final PUD plan for Lots 1-3, Southport West Replat Three, being a replat of Lot 1, Southport West Replat Two, located in the SW ¼ of Section 18; and the SE ¼ of Section 18; all located in the T14N, R12E of the 6th P.M., Sarpy County, Nebraska, generally located southwest of I-80 and Giles Road be, and hereby is, approved subject to the satisfactory resolution of all items in the staff report and execution of a Subdivision Agreement as approved by the City Administrator and City Attorney.

PASSED AND APPROVED THIS 19TH DAY OF JUNE 2007.

CITY OF LA VISTA

Douglas Kindig, Mayor

ATTEST:

Pamela A. Buethe, CMC
City Clerk

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RESOLUTION NO. _____

A RESOLUTION OF THE MAYOR AND CITY COUNCIL OF THE CITY OF LA VISTA, NEBRASKA AUTHORIZING THE EXECUTION OF A CONDITIONAL USE PERMIT FOR JQH-LAVISTA COURTYARD DEVELOPMENT, LLC TO OPERATE A HOTEL (COURTYARD BY MARRIOTT) ON LOT 1, SOUTHPORT WEST REPLAT THREE.

WHEREAS, JQH-LaVista Courtyard Development, LLC has applied for a conditional use permit for the purpose of operating a hotel (Marriott by Courtyard) on Lot 1, Southport West Replat Three, located southwest of I-80 and Giles Road; and

WHEREAS, the La Vista Planning Commission has reviewed the application and recommends approval; and

WHEREAS, the Mayor and City Council of the City of La Vista are agreeable to the issuance of a conditional use permit for such purposes, subject to the following conditions:

1. Southport West Replat Three must be filed and recorded prior to the execution of the conditional use permit.
2. The applicant will need to complete the FAA permit process and obtain approval prior to obtaining full building permits.
3. All requirements of the Southport West PUD Plan and Design Guidelines must be met prior to execution of the conditional use permit. Final design approval is pending.
4. All signage shall comply with the La Vista sign regulations and the adopted Southport West PUD Plan and Design Guidelines.
5. Prior to the issuance of a building permit, the applicant shall pay the tract sewer connection fee.
6. Prior to the issuance of a building permit, the Fire Chief should review the fire hydrant location(s) for adequacy to serve the facility.
7. Pedestrian sidewalks and walkways need to provide safe and convenient linkages to perimeter sidewalks. The pedestrian connection at the southwest corner of the development from the sidewalk to the parking lot dead-ends at a parking stall. The island should be moved to this location to accommodate the sidewalk.
8. The PUD plan should show an enclosed connection between the buildings on Lots 1 and 2 as has been represented by the developer.

NOW THEREFORE, BE IT RESOLVED, that the Conditional Use Permit presented at the June 19, 2007, City Council meeting for JQH-LaVista Courtyard Development, LLC to operate a hotel (Courtyard by Marriott) on Lot 1, Southport West Replat Three be, and hereby is approved, and the Mayor and City Clerk be and hereby are, authorized to execute same on behalf of the City with such revisions or amendments thereto that the City Administrator may determine necessary to carry out the intent of the City Council.

PASSED AND APPROVED THIS 19th DAY OF JUNE 2007.

CITY OF LA VISTA

Douglas Kindig, Mayor

ATTEST:

Pamela A. Buethe, CMC
City Clerk

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**CITY OF LA VISTA
PLANNING DIVISION**

RECOMMENDATION REPORT

CASE NUMBER:

FOR HEARING OF: June 19, 2007
Report Prepared on June 15, 2007

I. GENERAL INFORMATION

- A. APPLICANT:** JQH-La Vista Courtyard Development, LLC
- B. PROPERTY OWNER:** JQH La Vista III Development, LLC
- C. LOCATION:** 12520 Westport Pkwy
- D. LEGAL DESCRIPTION:** Lot 1, Southport West Replat Two
- E. REQUESTED ACTION(S):** CUP Review, Replat and PUD Amendment
- F. EXISTING ZONING AND LAND USE:**
C-3, Highway Commercial / Office Park District; PUD-1, Planned Unit Development; and Gateway Corridor District.
- G. PURPOSE OF REQUEST:** The proposal is build a Courtyard by Marriott Hotel on a separated lot from the adjoining La Vista Conference Center and Embassy Suites Hotel. An amendment to the PUD is requested to allow for a zero setback on the side lot line.
- H. SIZE OF SITE:** 4.9 acres

II. BACKGROUND INFORMATION

- A. EXISTING CONDITION OF SITE:** Embassy Suites and La Vista Conference Center are under construction on Lot 1 of the Southport West Replat Two.
- B. GENERAL NEIGHBORHOOD/AREA LAND USES AND ZONING:**
 - 1. North:** Interstate 80 Interchange
 - 2. East:** C-3, Southport East/Office and other commercial uses
 - 3. South:** C-3, Southport West Replat One/Cabela's and City parking lot
 - 4. West:** C-3, Southport West/Vacant
- C. RELEVANT CASE HISTORY:** Southport West Replat Two, PUD Plan and Conditional Use Permit for the Embassy Suites Hotel and La Vista Conference Center were approved in 2006.

D. APPLICABLE REGULATIONS:

1. Section 6.05, Zoning Ordinance, CUP Standards for Approval
2. Southport West PUD Plan: Architectural and Site Design Guidelines
3. Section 5.12, Zoning Ordinance, regarding C-3 Zoning District
4. Section 5.17, Zoning Ordinance, regarding Gateway Corridor District
5. Section 3.08, Subdivision Regulations, regarding Replats

III. ANALYSIS

A. COMPREHENSIVE PLAN: The Future Land Use Map of the Comprehensive Plan designates this property for commercial uses in the gateway corridor.

B. OTHER PLANS: Southport West PUD Plan

C. TRAFFIC AND ACCESS:

1. Access is proposed to Westport Parkway. The access points noted on the replat are consistent with what was previously approved. The PUD plan shows the location of the existing driveways into the City parking lot to demonstrate coordination with the proposed entrances.
2. Parking for the hotel facility would consist of 246 on-site, non-covered parking spaces. In addition, the adjoining parking lot for the conference center and Embassy Suites hotel may be utilized for shared parking. There has been considerable discussion regarding the amount of parking required for all three facilities however staff believes there will be adequate shared parking for the proposed uses. (See attached letter from John Kottmann dated April 10, 2007, RE: Proposed PUD Plan Amendment, comment #8.)
3. The application states that shuttle services will be provided to the airport.
4. A traffic study was conducted prior to approval of the first CUP for Embassy Suites to evaluate the impact two hotels and the conference center would have on public roads in the area. The proposed replat will not change any trip generation or traffic impacts from what have been anticipated and considered previously from the subject site. Arterial street improvements on the roadway system in the Southport area will be needed in the years ahead as the developments in this area are completed and overall traffic increases in the Giles Road corridor. The City has begun planning for such improvements and will need to continue to do so.

5. Lot 1, the conference center lot, does not have direct access to a private or public street; however, a blanket access easement will allow for ingress and egress.

D. UTILITIES: All utilities are available to the site; the proposed replat should not affect the overall drainage plan for the subdivision as previously agreed upon.

IV. REVIEW COMMENTS:

1. The proposed hotel would be six stories with 243 rooms, including meeting rooms, a restaurant, a lounge and recreational facilities. The recreational facilities include a swimming pool, fitness center, spa, outdoor playground and patio.
2. This hotel would assist in serving the patrons of the adjoining conference center; an enclosed walkway has been represented to be constructed as a connection to the conference center however the PUD plan does not show this connection.
3. The property is being replatted so that the two hotels and the conference center would each have their respective lots with parking areas; although it is understood that the parking areas will be shared among the users.
4. The building footprint for the proposed hotel would be over 37,000 sq. ft. and about 68,000 sq. ft. of open/green space is planned for the site.
5. Building design review has been substantially completed however several design elements are under discussion or need additional information prior to any building permit approvals:
 - The glass curtain wall above the entrance canopy needs to be revised to add interest and detail; this portion of the building does not have “an eclectic style that is weighted towards the historical” as required. Options would include sun shades, a different proportion of punched windows, more brick, etc.
 - A roof plan which shows the screening of the first floor rooftop mechanical units;
 - The exterior screening used for individual room mechanical units;
 - The design of the enclosed walkway which connects the hotel to the conference center; and
 - A detailed site lighting plan.
6. The most recent PUD Plan for Southport West included setbacks of 60 feet to property lines for buildings under eight stories and 125 feet to property lines for buildings over eight stories. Because of the proposed replat, lot lines are being created between the structures resulting in zero setbacks. A PUD amendment has been prepared to allow for the perimeter property line setbacks to be left as written however a new category has been created for internal lot lines which would allow for zero setbacks.

7. The airport shuttle service proposed by the applicant would help reduce the demand for parking spaces and would reduce traffic congestion in and around the site. This proposal would satisfy the CUP standard found in Section 6.05.11 of the Zoning Ordinance regarding an increased burden on public facilities.
8. Pedestrian sidewalks and walkways need to provide safe and convenient linkages to perimeter sidewalks. The pedestrian connection at the southwest corner of the development from the sidewalk to the parking lot dead-ends at a parking stall. The island should be moved to this location to accommodate the sidewalk.
9. Information indicating the applicant has completed the FAA permit process for this hotel.


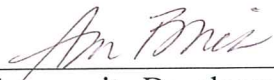
V. **STAFF RECOMMENDATION:** Approval of the Courtyard by Marriott Hotel Conditional Use Permit, Southport West Replat Three final plat, and the PUD amendments subject to addressing items noted above.

VI. **ATTACHMENTS TO REPORT:**

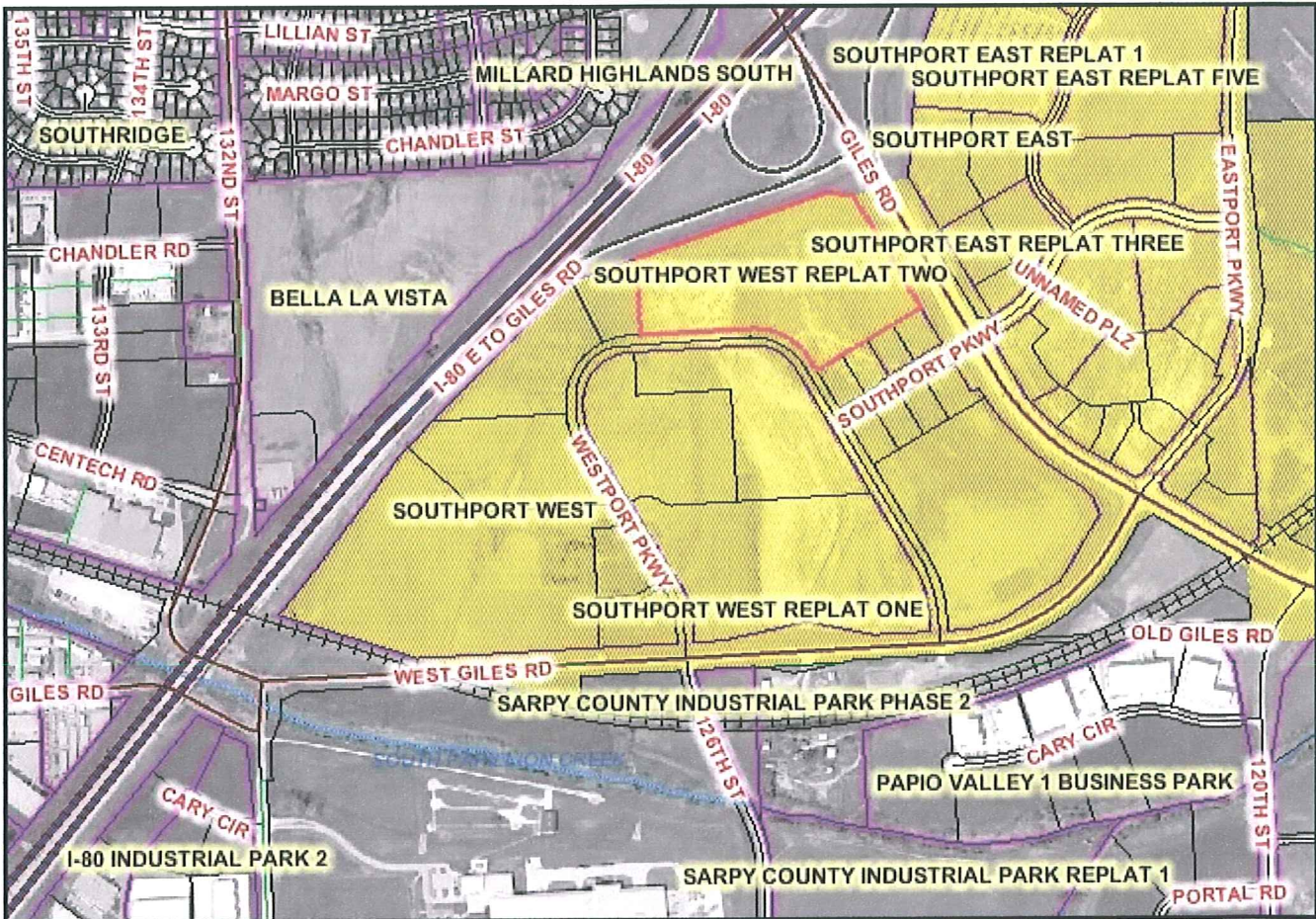
1. Vicinity Map
2. City Engineer's comments
3. Southport West Replat Three PUD Plan
4. Southport West Replat Three Final Plat
5. Courtyard by Marriott CUP Site Development Plan

VII. **COPIES OF REPORT TO:**

1. Applicant
2. Carl James, Pellham Phillips
3. Anthony Moody, Embassy Suites Hotel Omaha
4. John Meng-Frecker, E&A Consulting
5. Ricky Carter, Kirkham Michael Associates


Prepared by: _____
 6-14-07
Community Development Director Date

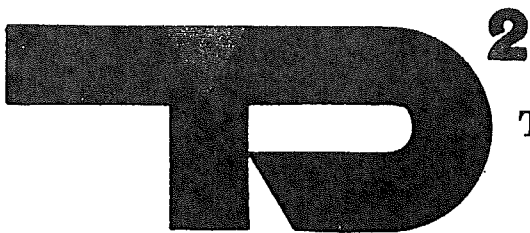
Sarpy County Map



Parcel ID Number	011590193	Legal Description	LOT 1 SOUTHPORT WEST REPLAT TWO
Owner Name	JQH LAVISTA III DEVELOPMENT LLC	Neighborhood Code	500
Mailing Address	300 JOHN Q HAMMONS PRKWY #900	Property Type	COMM
City State	SPRINGFIELD MO	Improvements Value	\$1,500,000
Zip Code	65806-	Land Value	\$4,210,725
Property Class	2000	Total Value	\$5,710,725
Property Class Codes	01 03 03 01 03 07	Estimated Acres	19.32
Property Address	12520 WESTPORT PKWY	Tax District	27044

Disclaimer: This data is for informational purposes only, and should not be substituted for a true titles search, property appraisal, survey, or for zoning district verification. Sarpy County and the Sarpy County GIS Coalition assume no legal responsibility for the information contained in this data.

Map Scale
1 inch = 821 feet



THOMPSON, DREESSEN & DORNER, INC.

Consulting Engineers & Land Surveyors

April 10, 2007

Mr. Marcus Baker
City Planner
City of La Vista
8116 Park View Boulevard
La Vista, Nebraska 68128

ROBERT E. DREESSEN, P.E.	TIMOTHY T. PAPSTEIN, P.E.
NELSON J. HYMANS, P.E.	MICHAEL J. SMITH, L.S.
JAMES D. WARNER, L.S.	TROY J. NISSEN, P.E./S.E.
CHARLES E. RIGGS, P.E.	DOUGLAS F. KELLNER, P.E.
KA "KIP" P. SQUIRE III, P.E., S.E.	KEVIN L. TRUE, L.S.
JOHN M. KOTTMANN, P.E.	GARY A. NORTON, P.E.
ARTHUR D. BECCARD, P.E.	BRIAN L. LODES, P.E.
JOSEPH G. KOSINOVSKY, P.E.	KURTIS L. ROHN, P.E.
DOUGLAS S. DREESSEN, P.E.	JEFFREY L. THOMPSON, P.E.
DEAN A. JAEGER, P.E.	DAREN A. KONDA, P.E.
RICHARD M. BROYLES, L.S.	MICHAEL T. CANIGLIA, L.S.
DAVID H. NEEF, L.S.	JEREMY T. STEENHOEK, P.E.
RONALD M. KOENIG, L.S.	JOSHUA J. STORM, P.E.
CHRIS E. DORNER, L.S.	

RE: Proposed Conditional Use Permit
Lot 1, Southport West Replat Three
Proposed Courtyard Hotel
TD² File No. 171-345.2

Mr. Baker:


I have reviewed the documents you provided to me in your transmittal dated April 3, 2007 for the proposed conditional use permit. I offer the following comments:

1. I have reviewed the proposed use against the standards found in Section 6.05 of the Zoning Regulations and have no objections based on engineering aspects of those standards. Please note that the most recent traffic impact study for Southport West as a whole was prepared in June 2006. This study included 470 hotel rooms and a conference center on what is being platted at Southport West Replat Three. The proposed Courtyard Hotel will raise that room count to 500 rooms. This is not a substantial change in my opinion and will not change the findings of this previous traffic impact study. That study shows that arterial street improvements on the roadway system in the Southport area will be needed in the years ahead as the developments in this area are completed and overall traffic increases in the Giles Road corridor. The City has begun planning for such improvements and will need to continue to do so.
2. The applicant will need to complete the FAA permit process relative to the height of the proposed hotel.
3. The PUD plans will need to be approved in order to facilitate the proposed hotel. Please refer to my review letter on the PUD.

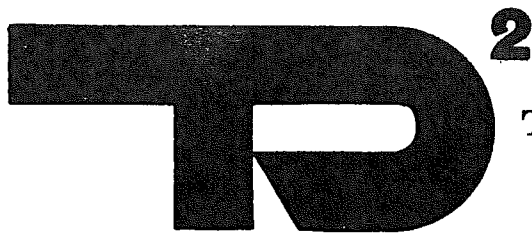
I have no objections to the proposed Conditional Use Permit for a hotel on Lot 1, Southport West Replat Three.

Submitted by,

THOMPSON, DREESSEN & DORNER, INC.


John M. Kottmann, P.E.

JMK/jlf



THOMPSON, DREESSEN & DORNER, INC.

Consulting Engineers & Land Surveyors

April 10, 2007

Mr. Marcus Baker
City Planner
City of La Vista
City of La Vista
8116 Park View Boulevard
La Vista, Nebraska 68128

RE: Proposed PUD Plan Amendment
Lots 1-3, Southport West Replat Three
Proposed Hotels & Conference Center
TD² File No. 171-345.3

Mr. Baker:

I have reviewed the documents you provided to me in your transmittal dated April 3, 2007 for the proposed conditional use permit. I offer the following comments:

1. The most recent PUD amendment approved on October 23, 2006, included setback requirements of 60 feet to property lines for buildings under eight stories in height and 125 feet to property lines for buildings over eight stories in height. The current plan shows creating lot lines between the structures on the site with zero setbacks. The most recent amendment contemplated the perimeter lot lines of the PUD district and did not address the idea of internal lot lines. Therefore, the PUD amendment for this PUD plan will need to differentiate between PUD district perimeter lot lines and internal PUD district lot lines. The perimeter property line setbacks could be left as written, but a new category for internal lot lines should be provided which would allow for zero setbacks should be considered.
2. The PUD plan needs to address sidewalk connections from the proposed buildings to the external sidewalk system. The plan shows only one sidewalk connection from the conference center main entrance. I recommend consideration of secondary sidewalk connections at two other locations to accommodate probable pedestrian movements.
3. The PUD plan needs to show the location of the existing driveways into the City parking lot on the southerly side of Westport Parkway to demonstrate coordination of the proposed entrances with these existing entrances. What is labeled as Cabela's parking lot should be changed to say "City Parking Lot".
4. The distances from the proposed parking lot perimeters to the right of way lines along Westport Parkway and I-80 should be identified on the PUD plan to demonstrate compliance with the greenspace requirements in the Southport West Design Guidelines.

ROBERT E. DREESSEN, P.E.
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JOSHUA J. STORM, P.E.

5. The Southport West Design Guidelines require 10 feet of landscaping along interior lot lines. At the westerly perimeter of the PUD Plan there is a shared access driveway centered on the lot line, which makes it impossible to place the 10 feet of greenspace along the property line. I recommend that the row of islands adjacent to this shared drive contain an amount of greenspace equivalent to the 10 feet strip that would have been required along the property line. The PUD amendment may need to address this situation.
6. There is a data table on the PUD plan that shows composite open space on the combined three lots to be 22.9 percent. This is less than the 25 percent required in the latest PUD amendment and the Southport West Design Guidelines. The applicant needs to identify whether they will revise the plan to meet this requirement or whether they are requesting an amendment to the PUD to allow a lower percentage.
7. The applicant needs to provide information on the amount of parking lot interior green space. The latest PUD amendment and the Southport West Design Guidelines require 10 percent. It is unknown whether the proposed plan complies with this requirement.
8. The PUD plan contains information on proposed and required parking. This data shows 1990 stalls required and 953 stalls provided. The City undertook the creation of a City Parking Lot in order to provide for shared uses between developments in Southport and to allow for peak event overflow from one facility or use to another. The applicable zoning regulation requirements are one space per unit for the hotels and one space for four persons of licensed capacity in places of assembly like the conference center. For retail, the requirement is 4.5 spaces per 1,000 square feet of gross floor area. The largest variable in this instance is the capacity of the conference center. It appears the data table on the submitted PUD plan is based on the Code capacity of the conference center being 6,000 persons. The applicant should confirm that this is what was used to show the 1500 stall requirement for the conference center. Previous communications with the applicant and the manager of the facility have indicated much lower capacities or parking requirements are expected for the conference center. Perhaps it would be helpful to review what is known about the composite parking for Cabela's, the hotels and the conference center so far:

Available parking:

Cabela's Lot	123 spaces
City Parking Lot	776 spaces
Proposed Hotel/Conf. Lot	953 spaces
Total	1852 spaces

Then we can examine the parking requirements for the hotels and Cabela's since those are fairly certain requirements. I recommend applying a 15 percent reduction to the composite parking requirements to account for multi-purpose trips such as those parked at the hotel that walk across the street to Cabela's. The 15 percent factor is very judgmental, but is based on typical multi-purpose trip reduction factors applied in traffic impact studies.

Required parking:

Cabela's (129,000 sf at 4.5/1,000 sf)	581 spaces
Two Hotels (500 hotel rooms)	500 spaces
Total	1081 spaces
After 15% reduction	919 spaces

Therefore, with 1852 spaces available this leaves 933 spaces available for the conference center. Again, we need to adjust for multi-purpose trips. That is some hotel guests will also be attending conference center functions. For purposes of examining the conference center use by itself, we would adjust the 933 stalls upwards and use 1097 equivalent stalls available. At four persons per space this would result in 4,388 person capacity for the conference center. This is in contract to the code interpretation that rates the conference center at 6,000 persons (needs to be confirmed), the general manager's opinion that the more likely capacity of the facility is 2,800 persons and the parking study done by JQH of their facilities showing an average of 84.02 square feet of meeting space for each parking stall. With 42,000 square feet of meeting space in the proposed conference center the study would show a requirement of 500 stalls. The experience of JQH in owning and operating such facilities is probably the best source of information in this instance. I am of the opinion that the proposed parking is adequate. It may be necessary to address the adjustment to the parking requirement in either the amendment to the PUD or in the conditional use permit. This could be in the form of reserving the right of the City to limiting the size of functions at the conference to be commensurate with 933 parking stalls if parking capacity problems are found to exist.

I recommend approval of the PUD plan subject to revising the plan to address the items noted in this letter and any other concerns that you or other City staff have identified. The language of the PUD amendment should be prepared prior to the request moving forward to City Council.

Submitted by,

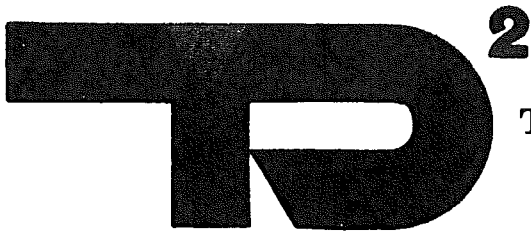
THOMPSON, DREESSEN & DORNER, INC.



John M. Kottmann, P.E.

JMK/jlf

cc: File



THOMPSON, DREESSEN & DORNER, INC.
Consulting Engineers & Land Surveyors

April 10, 2007

Mr. Marcus Baker
City Planner
City of La Vista
8116 Park View Boulevard
La Vista, Nebraska 68128

ROBERT E. DREESSEN, P.E.	TIMOTHY T. PAPSTEIN, P.E.
NELSON J. HYMANS, P.E.	MICHAEL J. SMITH, L.S.
JAMES D. WARNER, L.S.	TROY J. NISSEN, P.E./S.E.
CHARLES E. RIGGS, P.E.	DOUGLAS E. KELLNER, P.E.
KA "KIP" P. SQUIRE III, P.E., S.E.	KEVIN L. TRUE, L.S.
JOHN M. KOTTMANN, P.E.	GARY A. NORTON, P.E.
ARTHUR D. BECCARD, P.E.	BRIAN L. LODES, P.E.
JOSEPH G. KOSINOVSKY, P.E.	KURTIS L. ROHN, P.E.
DOUGLAS S. DREESSEN, P.E.	JEFFREY L. THOMPSON, P.E.
DEAN A. JAEGER, P.E.	DAREN A. KONDA, P.E.
RICHARD M. BROYLES, L.S.	MICHAEL T. CANIGLIA, L.S.
DAVID H. NEEF, L.S.	JEREMY T. STEENHOEK, P.E.
RONALD M. KOENIG, L.S.	JOSHUA J. STORM, P.E.
CHRIS E. DORNER, L.S.	

RE: 2007 Minor & Administrative Plat Reviews
Southport West Replat Three
Review of Initial Submittal
TD² File No. 171-344.2

Mr. Baker:

I have reviewed the proposed final plat that you provided me under your transmittal dated April 3, 2007.
I offer the following comments:

TRAFFIC & ACCESS

1. The proposed replat will not change any trip generation or traffic impacts from what have been anticipated and considered previously from the property in this application.
2. Perimeter sidewalks will be required as the lots are built upon. These sidewalks will need to be 6 inches thick, 5 feet wide, and placed at least 6 feet from edge of walk to back of curb. The sidewalk will need to be curvilinear in design and that will be part of the design review process.
3. There is an existing blanket ingress/egress easement over all of the Southport West subdivision, except for areas occupied by buildings. This blanket easement allows for sharing of the access points identified on the plat to Southport and Westport Parkways.
4. The access points noted on the replat are consistent with what was previously approved. However, refer to my comment letter on the PUD plan concerning verification of driveway alignment with the City parking lot driveways.

UTILITIES & DRAINAGE

5. The proposed replatting should not affect the overall drainage plan for the subdivision previously agreed upon.
6. The lots will have access to existing public utilities in Westport Parkways.

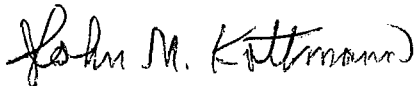
MISCELLANEOUS

7. Article 3.08.04 of the Subdivision Regulations requires a concurrent preliminary plat. However, Article 3.08.08 implies that a preliminary plat is not required if the guidelines of Article 3.09.03 do not apply. Therefore, it is my opinion that a preliminary plat is not required.
8. The plat will create a lot that does not have direct vehicular access to a public street. Article 4.15 of the Subdivision Regulations states that each lot shall be provided with satisfactory vehicular access by means of a public street or approved private street. In this case, an approved private street will occur through the PUD process.
9. The City Attorney should review the replat and provide an amendment to the subdivision agreement as appropriate.
10. I assume that you have received a properly completed and signed application form from the applicant.

I recommend that the final plat of Southport West Replat Three contingent upon the PUD being approved. The City Attorney should prepare an amendment to the Subdivision Agreement as he determines necessary, prior to this case moving forward to City Council.

Prepared by,

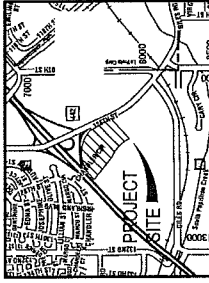
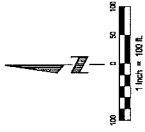
THOMPSON, DREESSEN & DORNER, INC.



John M. Kottmann, P.E.

JMK/jlf

cc: File



VICINITY MAP

LEGAL DESCRIPTION

BEING A REPLATTING OF ALL OF LOT 1, SOUTHPORT WEST REPLAT TWO, A SUBDIVISION LOCATED IN THE SW1/4 OF SECTION 18, AND ALSO THE SE1/4 OF SAID SECTION 18; ALL LOCATED IN TOWNSHIP 14 NORTH, RANGE 12 EAST OF THE 6TH P.M., SARPY COUNTY, NEBRASKA.

CONTAINING AN AREA OF 19.333 ACRES, MORE OR LESS.

DEVELOPER

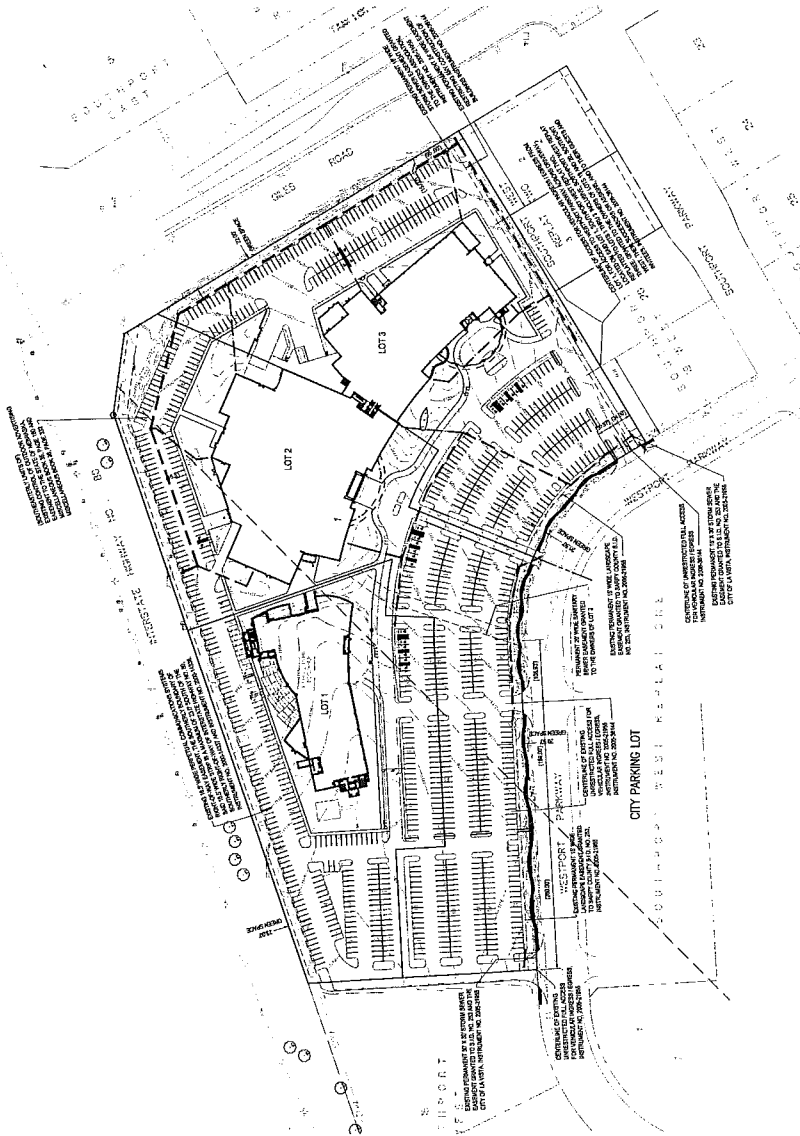
JOH LAVISTA DEVELOPMENT, LLC
300 JOHN Q. HAMMONS PARKWAY #900
SPRINGFIELD, MISSOURI 65806-2550

ZONING

EXISTING: C 3
PROPOSED: C 3, LOTS 1 THRU 3 INCLUSIVE

NOTES:

1. ALL ANGLES ARE 90° UNLESS OTHERWISE NOTED.
2. ALL LOTS LINES ARE RADIAL TO CURVED STREET UNLESS SHOWN AS SUCH.
3. ALL DIMENSIONS AND ANGLES SHOWN WITH PARENTHESES ARE FOR THE LOCATION OF EASEMENTS.
4. EXISTING RESTRICTION, DRIVE VEHICULAR ACCESS WILL NOT BE ALLOWED TO 12TH STREET (NORTH HIGHWAY 405) ROAD/LOT 1, 2, 3, 4, 5, 6, 7, 8, 9, 10, 11, 12, 13, 14, 15, 16, 17, 18, 19, 20, 21, 22, 23, 24, 25, 26, 27, 28, 29, 30, 31, 32, 33, 34, 35, 36, 37, 38, 39, 40, 41, 42, 43, 44, 45, 46, 47, 48, 49, 50, 51, 52, 53, 54, 55, 56, 57, 58, 59, 60, 61, 62, 63, 64, 65, 66, 67, 68, 69, 70, 71, 72, 73, 74, 75, 76, 77, 78, 79, 80, 81, 82, 83, 84, 85, 86, 87, 88, 89, 90, 91, 92, 93, 94, 95, 96, 97, 98, 99, 100, 101, 102, 103, 104, 105, 106, 107, 108, 109, 110, 111, 112, 113, 114, 115, 116, 117, 118, 119, 120, 121, 122, 123, 124, 125, 126, 127, 128, 129, 130, 131, 132, 133, 134, 135, 136, 137, 138, 139, 140, 141, 142, 143, 144, 145, 146, 147, 148, 149, 150, 151, 152, 153, 154, 155, 156, 157, 158, 159, 160, 161, 162, 163, 164, 165, 166, 167, 168, 169, 170, 171, 172, 173, 174, 175, 176, 177, 178, 179, 180, 181, 182, 183, 184, 185, 186, 187, 188, 189, 190, 191, 192, 193, 194, 195, 196, 197, 198, 199, 200, 201, 202, 203, 204, 205, 206, 207, 208, 209, 210, 211, 212, 213, 214, 215, 216, 217, 218, 219, 220, 221, 222, 223, 224, 225, 226, 227, 228, 229, 230, 231, 232, 233, 234, 235, 236, 237, 238, 239, 240, 241, 242, 243, 244, 245, 246, 247, 248, 249, 250, 251, 252, 253, 254, 255, 256, 257, 258, 259, 260, 261, 262, 263, 264, 265, 266, 267, 268, 269, 270, 271, 272, 273, 274, 275, 276, 277, 278, 279, 280, 281, 282, 283, 284, 285, 286, 287, 288, 289, 290, 291, 292, 293, 294, 295, 296, 297, 298, 299, 300, 301, 302, 303, 304, 305, 306, 307, 308, 309, 310, 311, 312, 313, 314, 315, 316, 317, 318, 319, 320, 321, 322, 323, 324, 325, 326, 327, 328, 329, 330, 331, 332, 333, 334, 335, 336, 337, 338, 339, 340, 341, 342, 343, 344, 345, 346, 347, 348, 349, 350, 351, 352, 353, 354, 355, 356, 357, 358, 359, 360, 361, 362, 363, 364, 365, 366, 367, 368, 369, 370, 371, 372, 373, 374, 375, 376, 377, 378, 379, 380, 381, 382, 383, 384, 385, 386, 387, 388, 389, 390, 391, 392, 393, 394, 395, 396, 397, 398, 399, 400, 401, 402, 403, 404, 405, 406, 407, 408, 409, 410, 411, 412, 413, 414, 415, 416, 417, 418, 419, 420, 421, 422, 423, 424, 425, 426, 427, 428, 429, 430, 431, 432, 433, 434, 435, 436, 437, 438, 439, 440, 441, 442, 443, 444, 445, 446, 447, 448, 449, 450, 451, 452, 453, 454, 455, 456, 457, 458, 459, 460, 461, 462, 463, 464, 465, 466, 467, 468, 469, 470, 471, 472, 473, 474, 475, 476, 477, 478, 479, 480, 481, 482, 483, 484, 485, 486, 487, 488, 489, 490, 491, 492, 493, 494, 495, 496, 497, 498, 499, 500, 501, 502, 503, 504, 505, 506, 507, 508, 509, 510, 511, 512, 513, 514, 515, 516, 517, 518, 519, 520, 521, 522, 523, 524, 525, 526, 527, 528, 529, 530, 531, 532, 533, 534, 535, 536, 537, 538, 539, 540, 541, 542, 543, 544, 545, 546, 547, 548, 549, 550, 551, 552, 553, 554, 555, 556, 557, 558, 559, 560, 561, 562, 563, 564, 565, 566, 567, 568, 569, 570, 571, 572, 573, 574, 575, 576, 577, 578, 579, 580, 581, 582, 583, 584, 585, 586, 587, 588, 589, 590, 591, 592, 593, 594, 595, 596, 597, 598, 599, 600, 601, 602, 603, 604, 605, 606, 607, 608, 609, 610, 611, 612, 613, 614, 615, 616, 617, 618, 619, 620, 621, 622, 623, 624, 625, 626, 627, 628, 629, 630, 631, 632, 633, 634, 635, 636, 637, 638, 639, 640, 641, 642, 643, 644, 645, 646, 647, 648, 649, 650, 651, 652, 653, 654, 655, 656, 657, 658, 659, 660, 661, 662, 663, 664, 665, 666, 667, 668, 669, 670, 671, 672, 673, 674, 675, 676, 677, 678, 679, 680, 681, 682, 683, 684, 685, 686, 687, 688, 689, 690, 691, 692, 693, 694, 695, 696, 697, 698, 699, 700, 701, 702, 703, 704, 705, 706, 707, 708, 709, 710, 711, 712, 713, 714, 715, 716, 717, 718, 719, 720, 721, 722, 723, 724, 725, 726, 727, 728, 729, 730, 731, 732, 733, 734, 735, 736, 737, 738, 739, 740, 741, 742, 743, 744, 745, 746, 747, 748, 749, 750, 751, 752, 753, 754, 755, 756, 757, 758, 759, 760, 761, 762, 763, 764, 765, 766, 767, 768, 769, 770, 771, 772, 773, 774, 775, 776, 777, 778, 779, 780, 781, 782, 783, 784, 785, 786, 787, 788, 789, 790, 791, 792, 793, 794, 795, 796, 797, 798, 799, 800, 801, 802, 803, 804, 805, 806, 807, 808, 809, 810, 811, 812, 813, 814, 815,



LOT #	AREA
1	215,436 SQ. FT.
2	342,096 SQ. FT.
3	264,610 SQ. FT.

LOT #	AREA	BLDG	% COV.
1	214,438 SQ. FT.	37,644 SQ. FT.	17.5 %
2	342,066 SQ. FT.	81,512 SQ. FT.	23.8 %
3	284,810 SQ. FT.	49,048 SQ. FT.	19.3 %

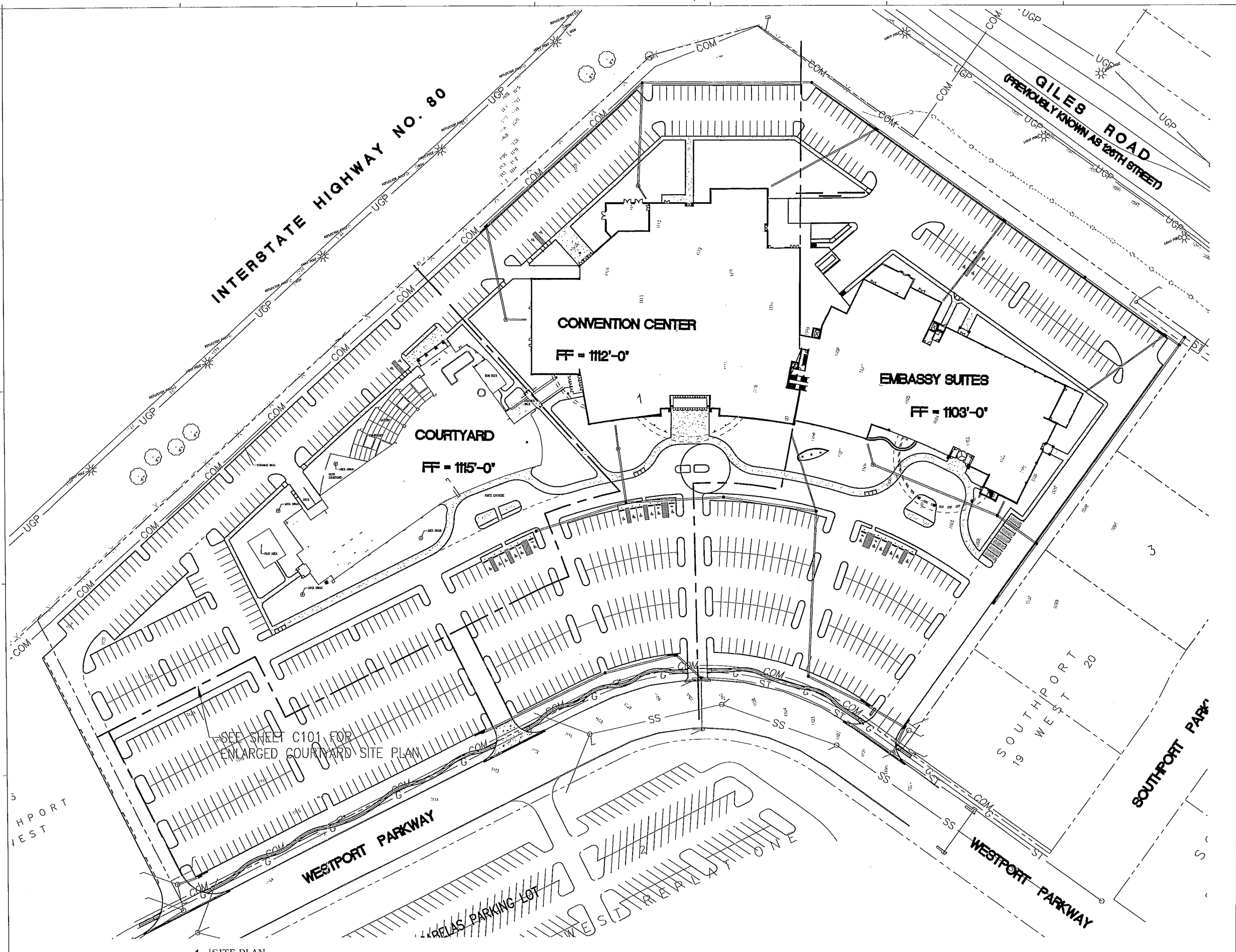
LOT#	AREA	OPEN	% OPEN	PARKING
1	215,435 SQ. FT.	88,868 SQ. FT.	31.8 %	13.9 %
2	342,099 SQ. FT.	97,800 SQ. FT.	28.6 %	12.2 %
3	284,819 SQ. FT.	88,114 SQ. FT.	23.9 %	10.1 %

PARKING SPACES *	
	REQUIRED AVAILABLE
1	212 249
2	500 430
3	213 277

100	025	165
-----	-----	-----

SEE KOLTMAN AWAL 555 DATED 4-10-2007

RECEIVED
JUN 14 2007



REVISIONS



**COURTYARD BY
MARRIOTT HOTEL**
LA VISTA, NEBRASKA

John Q. Hammons, Inc.
2000 John Q. Hammons Parkway
St. Joseph, Missouri 64506
(417) 266-1111

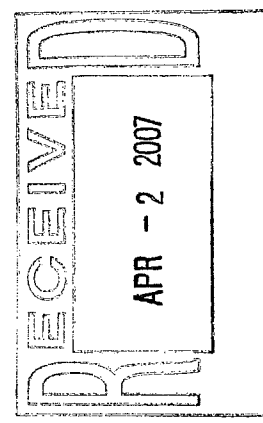
**PRELIMINARY
NOT FOR
CONSTRUCTION
SCH. DESIGN**

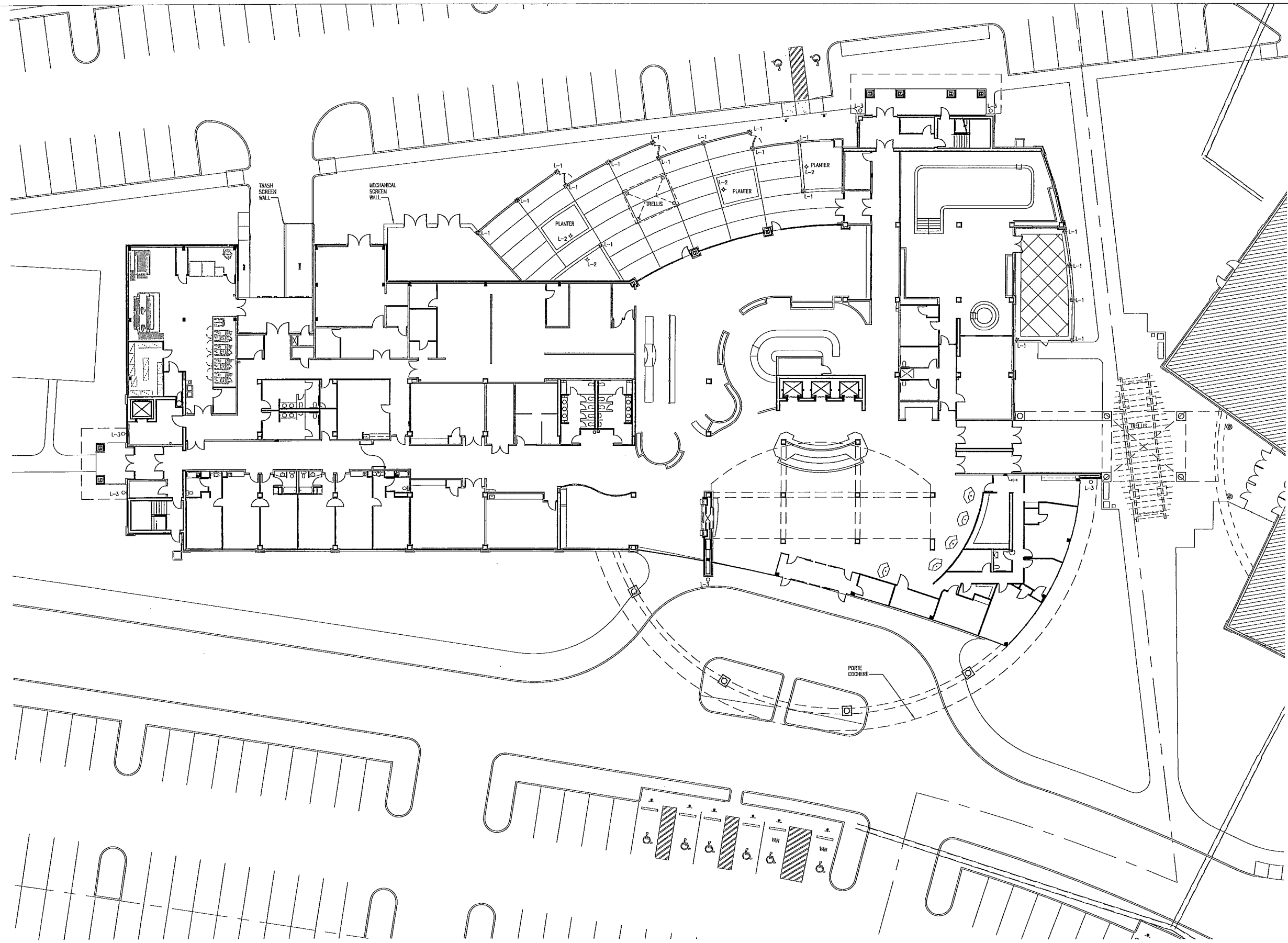


**PELLHAM
PHILLIPS
ARCHITECTS
ENGINEERS**

Project # 20208
Date: 05/01/2007

C101

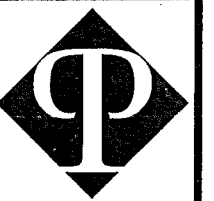




REVISIONS

COURTYARD BY
MARRIOTT HOTEL

LA VISTA, NEBRASKA



PELLHAM
PHILLIPS
ARCHITECTS
ENGINEERS

Pellham - Phillips
1111 S. Glenstone, Springfield, MO 65804
T(417)885-1822 F(417)885-2481
www.pphillips.com
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Project #20206 -
Date: 05/11/2007

A101

City of La Vista Conditional Use Permit

Conditional Use Permit for Hotel

This Conditional Use Permit issued this _____ day of _____, 2007, by the City of La Vista, a municipal corporation in the County of Sarpy County, Nebraska ("City") to, JQH-LaVista Courtyard Development, LLC ("Owner"), pursuant to the La Vista Zoning Ordinance.

WHEREAS, Owner wishes to construct and operate a hotel upon the following described tract of land within the City of La Vista zoning jurisdiction:

Lot 1, Southport West Replat Three located in the SW¼ of Section 18, and also the SE ¼ of Section 18, Township 14 North, Range 12 East of the 6th P.M. Sarpy County, Nebraska.

WHEREAS, Owner has applied for a conditional use permit for the purpose of locating and operating a hotel; and

WHEREAS, the Mayor and City Council of the City of La Vista are agreeable to the issuance of a conditional use permit to the owner for such purposes, subject to certain conditions and agreements as hereinafter provided.

NOW, THEREFORE, BE IT KNOWN THAT subject to the conditions hereof, this conditional use permit is issued to the owner to use the area designated on Exhibit "A" hereto for a hotel, said use hereinafter being referred to as "Permitted Use or Use".

Conditions of Permit

The conditions to which the granting of this permit is subject are:

1. The rights granted by this permit are transferable and any variation or breach of any terms hereof shall cause permit to expire and terminate without the prior written consent of the City (amendment to permit) or unless exempted herein.
2. In respect to the proposed Use:
 - a. A site plan showing the property boundaries of the tract of land and easements, proposed structures, parking, access points, and drives shall be provided to the City and attached to the permit as Exhibit "B".
 - b. The hours of operation will be 24 hours a day seven days a week.
 - c. There shall not be any outside storage of materials. All trash receptacles, benches and planters shall be placed on property and securely fastened to building or concrete.
 - d. The premises shall be developed and maintained in accordance with the site plan (Exhibit "B") as approved by the City and incorporated herein by this reference. Any modifications must be submitted to the Chief Building Official for approval.
 - e. Exterior lighting, when used, shall enhance the building design and the adjoining landscape. Building fixtures shall be of a design and size compatible with the building and adjacent areas. Lighting shall be restrained in design and excessive brightness avoided. Lighting shall be designed to a standard that does not impact adjoining properties.

- f. Owner shall obtain all required permits from the City of La Vista and shall comply with any additional requirements as determined by the Chief Building Official, including, but not limited to, building, fire, FAA and ADA.
 - g. Owner shall comply (and shall ensure that all employees, invitees, suppliers, structures, appurtenances and improvements, and all activities occurring or conducted, on the premises at any time comply) with any applicable federal, state and/or local regulations, as amended or in effect from time to time, including, but not limited to, applicable environmental or safety laws, rules or regulations.
 - h. Owner hereby indemnifies the City against, and holds the City harmless from, any liability, loss, claim or expense whatsoever (including, but not limited to, reasonable attorney fees and court cost) arising out of or resulting from the acts, omissions or negligence of the owner, his agents, employees, assigns, suppliers or invitees, including, but not limited to, any liability, loss, claim or expense arising out of or resulting from any violation on the premises of any environmental or safety law, rule or regulation.
3. In respect to the Gateway Corridor Overlay District and Southport West PUD Plan and Design Guidelines:
- a. Building Exterior (Style and Building Materials)
 - i. The elevation plans (Exhibits "C-1 and C-2") and material samples submitted indicate a combination of brick, E.I.F.S., precast concrete and metal panels. The building has a recognizable base, mid-façade and cornice; however the area of the glass curtain wall over the entry lacks interest and detail. Revisions are necessary to meet the general style requirements of the design guidelines which state the "development should have an eclectic style that is weighted towards the historical".
 - ii. The design of the enclosed walkway which connects the hotel to the conference center must be submitted for review.
 - iii. All window mullions shall be natural aluminum.
 - iv. The building has a combination of pitched and curved roofs. The curved roof is utilized as a design element emphasizing the entry and signage. The pitched roof is noted to be 5/12 rather than the required 6/12 due to FAA height restrictions.
 - v. The project has incorporated five of the eight optional building elements to the exterior design of the building as prescribed by the Southport West Design Guidelines. Trellises are illustrated on Exhibit "D" which match the trellises designed on the adjoining conference center; the project also incorporates square columns, a pitched roof, a curved roof, and a Porte' Cochere.
 - b. Mechanical Units
 - i. According to the building elevations (Exhibits "C-1 and C-2"), there are louvers integrated with the windows at each individual room. Such louvers shall be painted to match the surrounding wall finishes.
 - ii. All roof top mechanical units shall be screened from view from public rights-of-way through the use of permanent architectural screens that are integrated with the overall design of the building. Roof top units are only proposed to be placed on the flat roof above the first floor on the north elevation however detailed plans must be submitted.
 - iii. The plans identify the appropriate screening for the ground level units however detailed building plans must be reviewed.
 - c. Refuse Screening
 - i. The plans indicate that the refuse containers will be screened with brick masonry walls to match the material on the main structure. Two gates with steel frames and perforated metal will be utilized on the enclosure per the design guidelines.
 - d. Landscaping and Site Treatment
 - i. The landscape plan (Exhibit "E") has identified the required landscaping to the site and shall be incorporated accordingly.
 - ii. Any changes to the landscape plan must be approved by the City of La Vista.

- iii. All perimeter sidewalks shall be serpentine.
 - e. Exterior Light Fixtures
 - i. All exterior light fixtures used on this project for parking lots shall be in accordance with the Southport West Design Guidelines. A Site Lighting Plan must be submitted and approved.
 - ii. Additional exterior decorative light fixtures to be used for pedestrian plazas and as feature lights are attached as Exhibit "G", and are compatible with the fixtures used on the adjacent Embassy Suites hotel.
 - iii. All additional exterior light fixtures must be submitted for approval.
 - f. Signage
 - i. All signs shall comply with the City's sign regulations.
- 4. The applicant's right to maintain the use as approved pursuant to these provisions shall be based on the following:
 - a. An annual inspection to determine compliance with the conditions of approval. The conditional use permit may be revoked upon a finding by the City that there is a violation of the terms of approval, if the violation continues after written notice from the City to Owner and a reasonable time for Owner to cure such violation.
 - b. The use authorized by the conditional use permit must be initiated within one (1) year of approval and shall become void two (2) years after the date of approval unless the applicant has fully complied with the terms of approval.
 - c. All obsolete or unused structures, accessory facilities or materials with an environmental or safety hazard shall be abated and/or removed at owner's expense within twelve (12) months of cessation of the conditional use.
- 5. Notwithstanding any other provision herein to the contrary, this permit, and all rights granted hereby, shall expire and terminate as to a permitted use hereunder upon the first of the following to occur:
 - a. Owner's abandonment of the permitted use. Non-use thereof for a period of twelve (12) months shall constitute a presumption of abandonment.
 - b. Cancellation, revocation, denial or failure to maintain any federal, state or local permit required for the Use.
 - c. Owner's breach of any other terms hereof and his failure to correct such breach within ten (10) days of City's giving notice thereof.
- 6. If the permitted use is not commenced within one (1) year from _____, this Permit shall be null and void and all rights hereunder shall lapse, without prejudice to owner's right to file for an extension of time pursuant to the La Vista Zoning Ordinance.
- 7. In the event of the owner's failure to promptly remove any safety or environmental hazard from the premises, or the expiration or termination of this permit and the owner's failure to promptly remove any permitted materials or any remaining environmental or safety hazard, the City may, at its option (but without any obligation to the owner or any third party to exercise said option) cause the same to be removed at owner's cost (including, but not limited to, the cost of any excavation and earthwork that is necessary or advisable) and the owner shall reimburse the City the costs incurred to remove the same. Owner hereby irrevocably grants the City, its agents and employees the right to enter the premises and to take whatever action as is necessary or appropriate to remove the structures or any environmental or safety hazards in accordance with the terms of this permit, and the right of the City to enter the premises as necessary or appropriate to carry out any other provision of this permit.
- 8. If any provision, or any portion thereof, contained in this agreement is held to be unconstitutional, invalid, or unenforceable, the remaining provisions hereof, or portions thereof, shall be deemed severable, shall not be affected, and shall remain in full force and effect.

Miscellaneous

The conditions and terms of this permit shall be binding upon owner, his successors and assigns.

1. Delay of City to terminate this permit on account of breach of owner of any of the terms hereof shall not constitute a waiver of City's right to terminate, unless it shall have expressly waived said breach and a waiver of the right to terminate upon any breach shall not constitute a waiver of the right to terminate upon a subsequent breach of the terms hereof, whether said breach be of the same or different nature.
2. Nothing herein shall be construed to be a waiver or suspension of, or an agreement on the part of the City to waive or suspend, any zoning law or regulation applicable to the premises except to the extent and for the duration specifically authorized by this permit.
3. Any notice to be given by City hereunder shall be in writing and shall be sufficiently given if sent by regular mail, postage prepaid, addressed to the owner as follows:

Contact Name and Address: Steve Minton
John Q. Hammons Hotels
300 John Q. Hammons Parkway
Springfield, Missouri 65806
(417) 873-3580

Effective Date:

This permit shall take effect upon the filing hereof with the City Clerk a signed original hereof.

THE CITY OF LA VISTA

By _____
Douglas Kindig, Mayor

Attest:

Pamela A. Bueth, CMC
City Clerk

CONSENT AND AGREEMENT

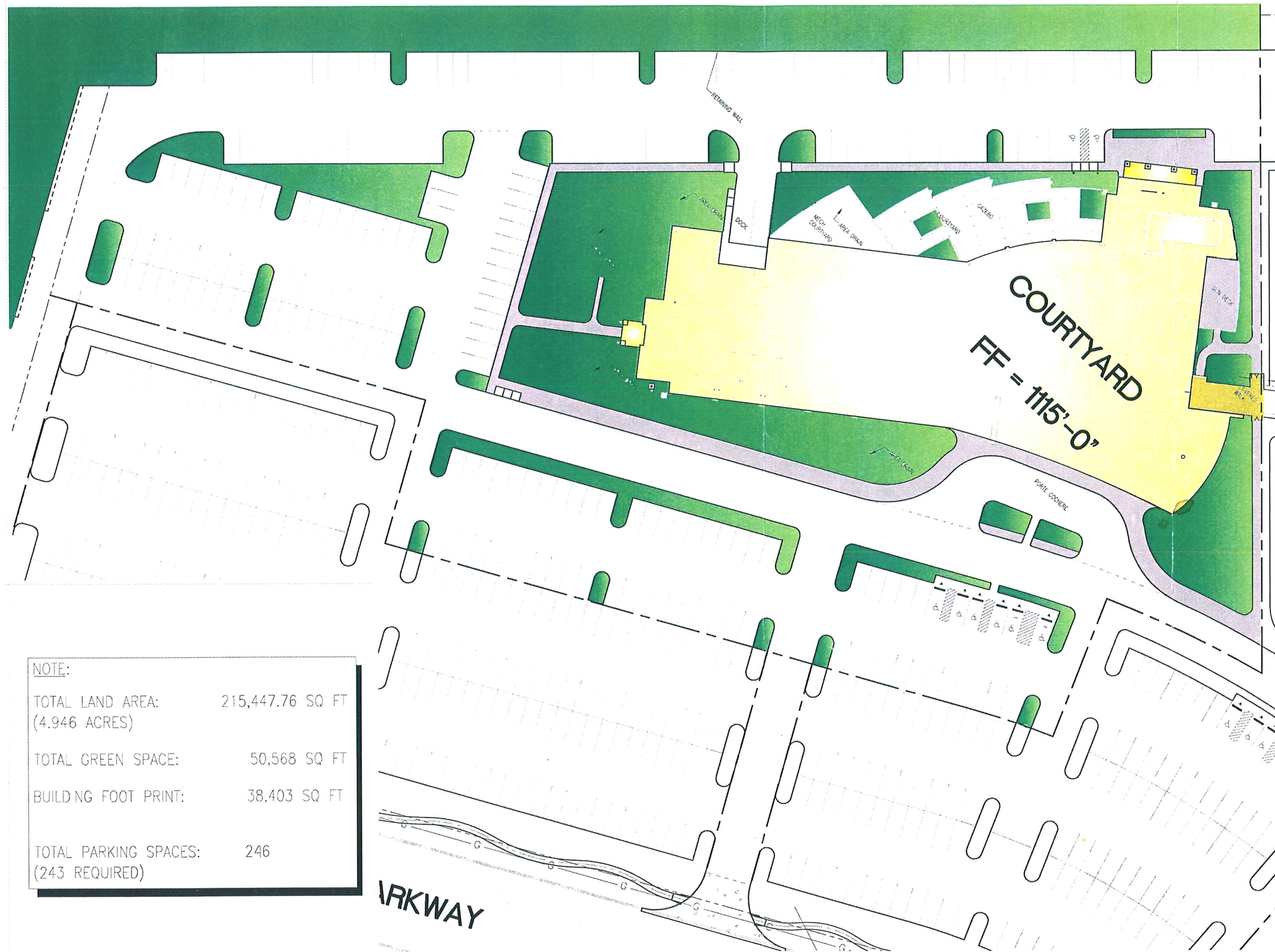
The undersigned does hereby consent and agree to the conditions of this permit and that the terms hereof constitute an agreement on the part of the undersigned to fully and timely perform each and every condition and term hereof, and the undersigned does hereby warrant, covenant and agree to fully and timely perform and discharge all obligations and liabilities herein required by owner to be performed or discharged.

Owner:

By: _____

Title: _____

Date: _____



REVISIONS



**COURTYARD BY
MARRIOTT HOTEL**
LA VISTA, NEBRASKA



John Q. Hammons
Architect
3001 Adams Street, Suite 100
Omaha, NE 68102
402.491.1111

**PRELIMINARY
NOT FOR
CONSTRUCTION
& CH. DESIGN**



**PELLHAM
PHILLIPS**
ARCHITECTS
ENGINEERS

Project # 302006
Date: 05/01/2007

C101

RECEIVED
APR - 2 2007

EXHIBIT "A"





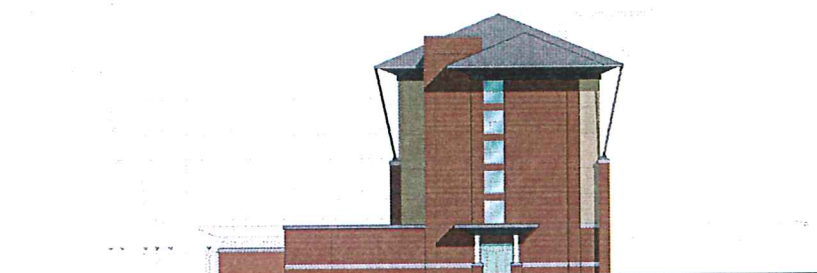
SOUTH ELEVATION



EAST ELEVATION



NORTH ELEVATION



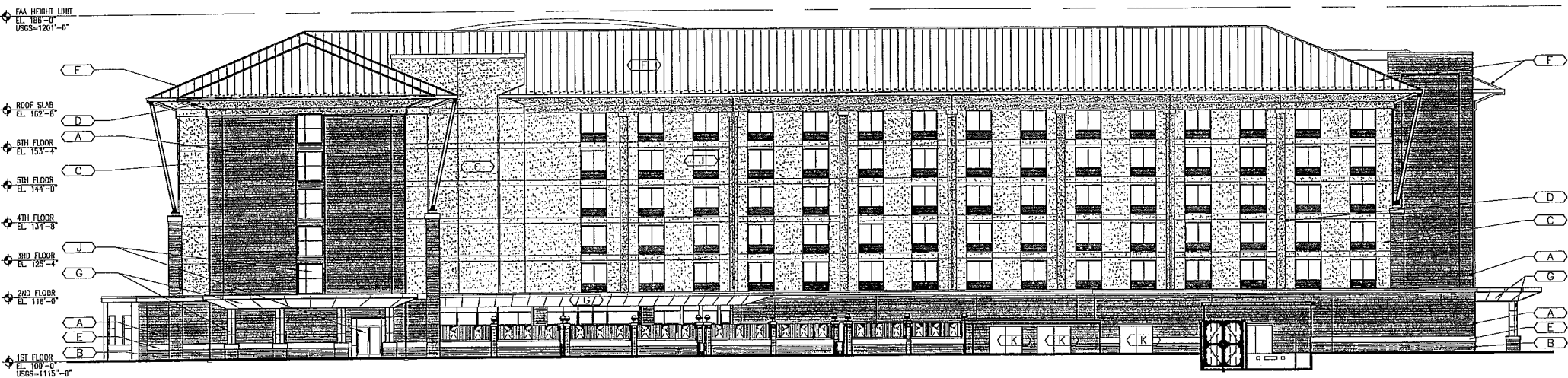
WEST ELEVATION

EXHIBIT "C-1"

COURTYARD BY MARRIOTT
LA VISTA, NEBRASKA

DEVELOPMENT FOR:
JOHN Q. HAMMONS
CITY OF LA VISTA

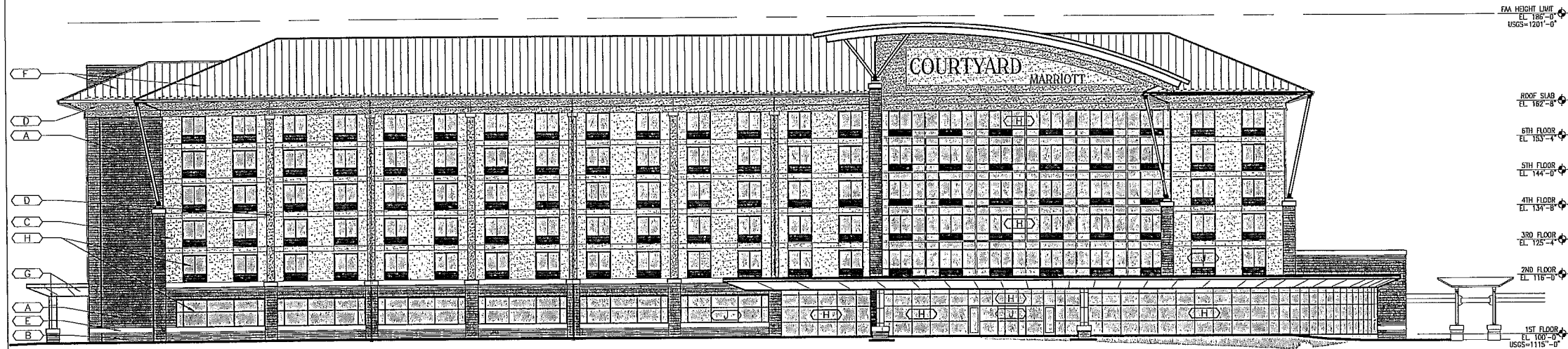




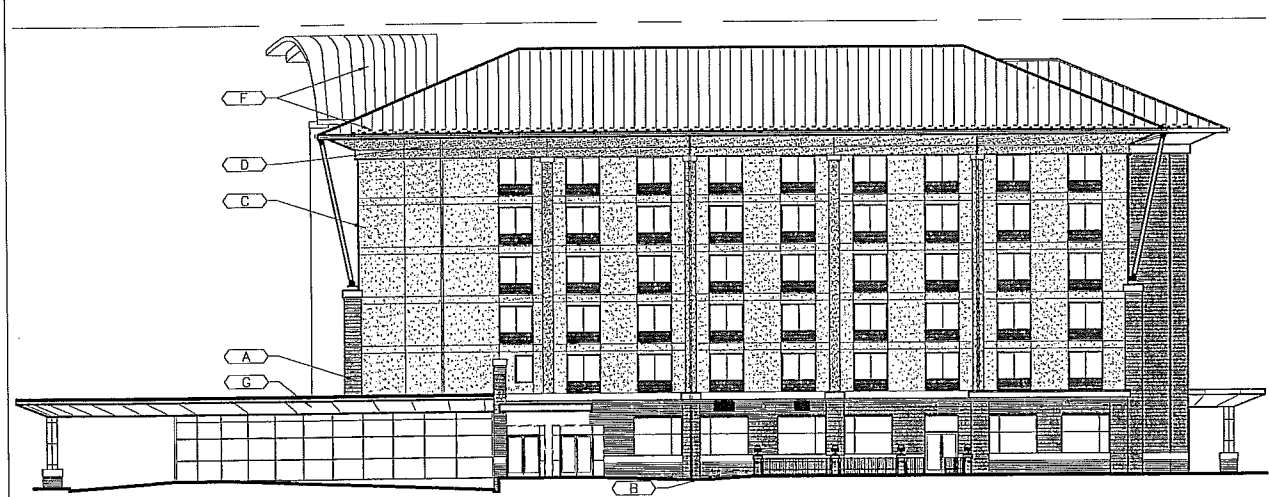
4 NORTH ELEVATION
1/16"=1'-0"

MATERIAL LEGEND:

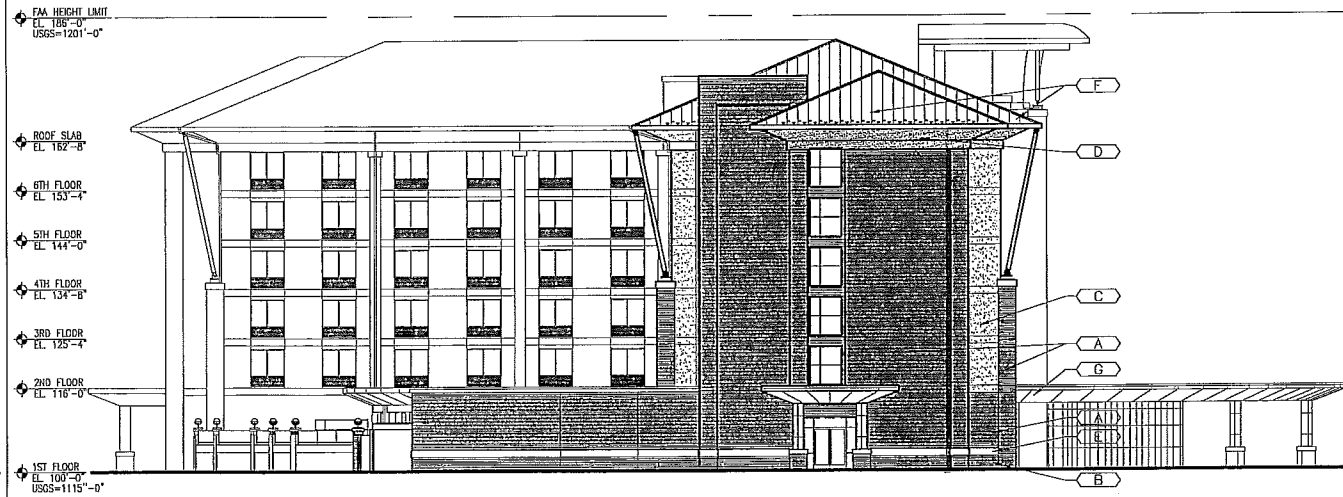
- A BRICK VENEER - COLOR 1
- B BRICK VENEER - COLOR 2
- C EXTERIOR INSULATION SYSTEM - COLOR 1
- D EXTERIOR INSULATION SYSTEM - COLOR 2
- E PRECAST BAND
- F METAL ROOF
- G METAL COLUMN/FASCIA WRAP
- H TINTED INSULATING GLASS W/ ALUM. FRAME
- J ALUMINUM WINDOW OR DOOR & FRAME
- K HOLLOW METAL DOOR & FRAME



3 SOUTH ELEVATION
1/16"=1'-0"



2 EAST ELEVATION
1/16"=1'-0"



1 WEST ELEVATION
1/16"=1'-0"

REVISIONS

COURTYARD BY
MARRIOTT HOTEL

LA VISTA, NEBRASKA



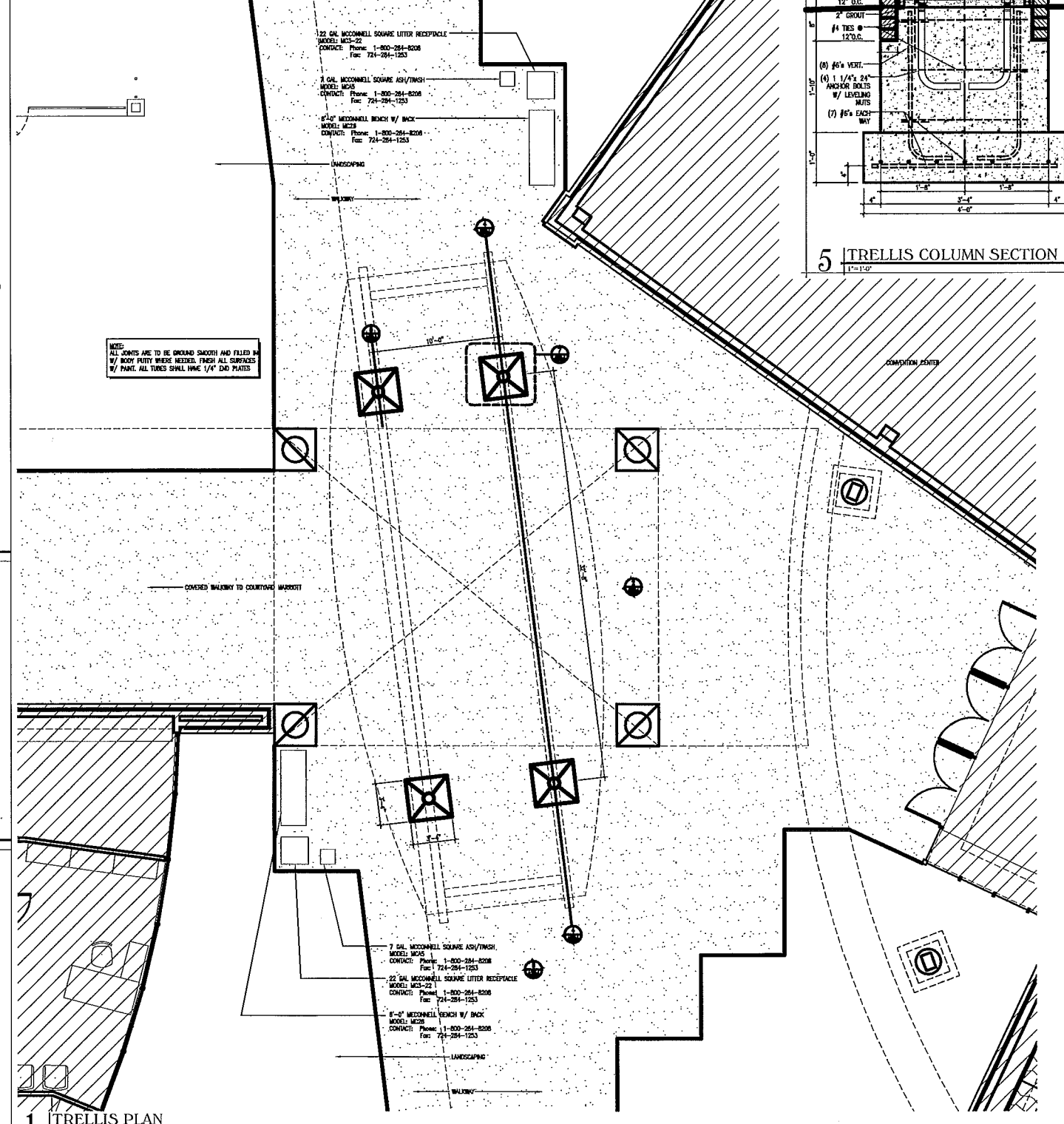
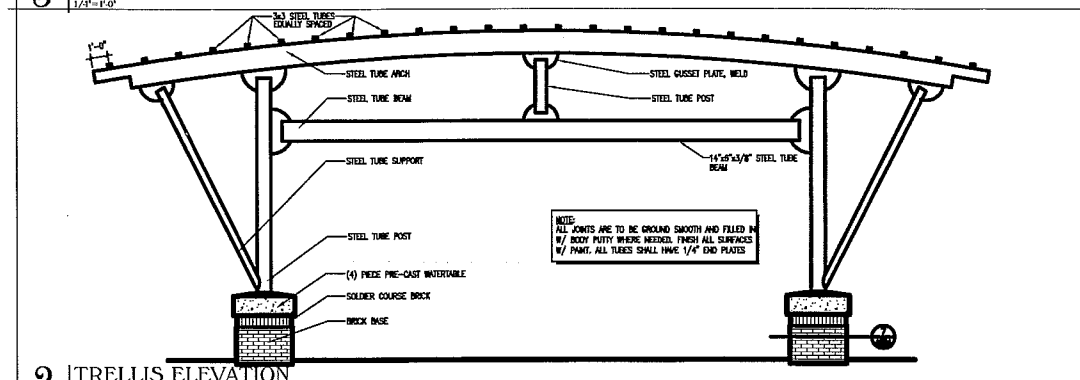
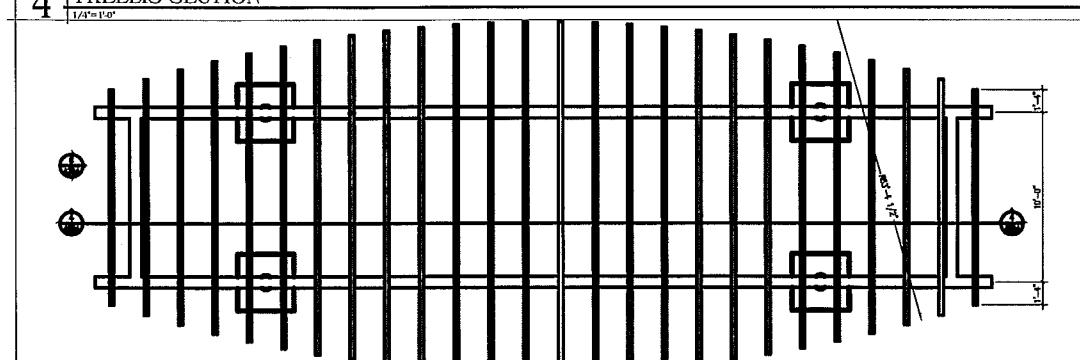
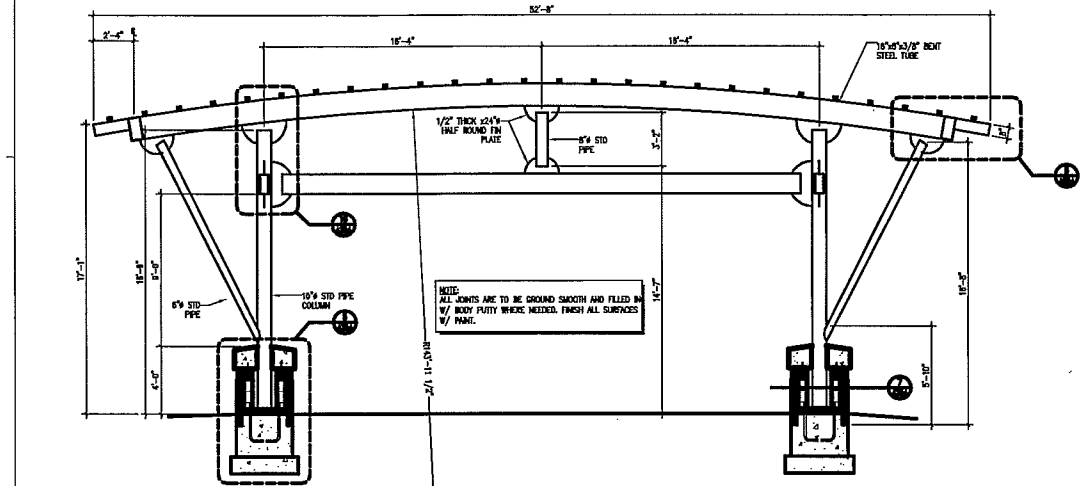
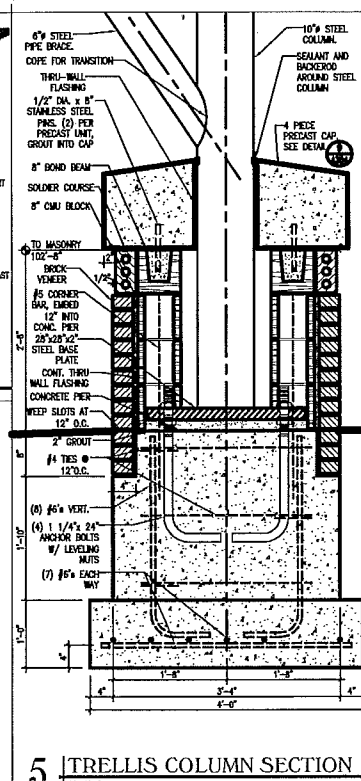
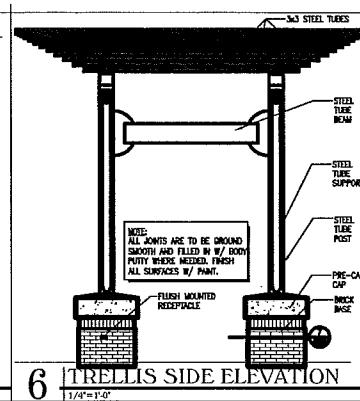
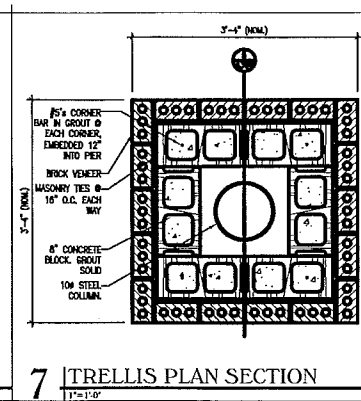
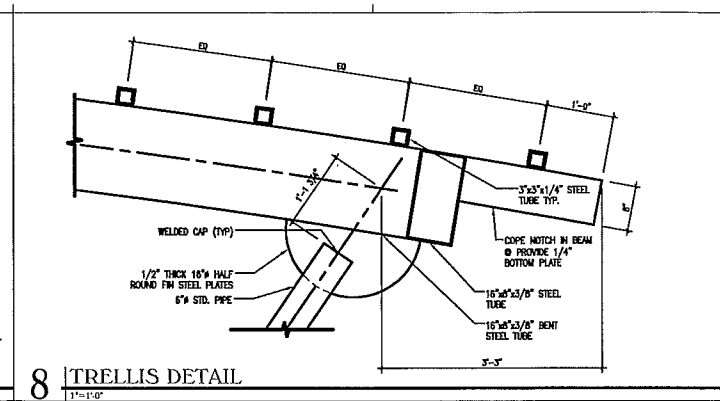
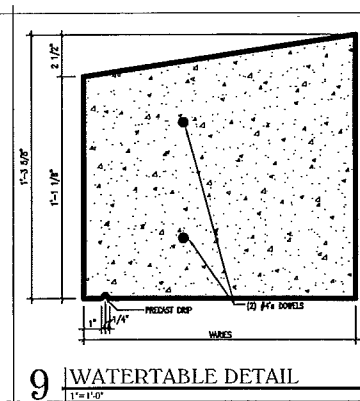
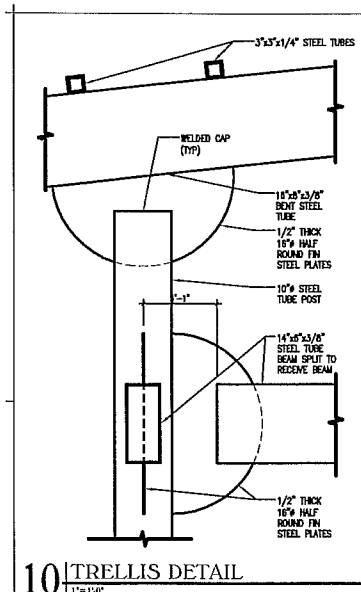
PELLHAM
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ENGINEERS

Pellham - Phillips
1111 S. Glasstone, Springfield, MO 65804
TEL: (417) 863-1832 FAX: (417) 863-2481
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A201

EXHIBIT "C-2"



REVISIONS

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417-884-4800 • 417-884-0000

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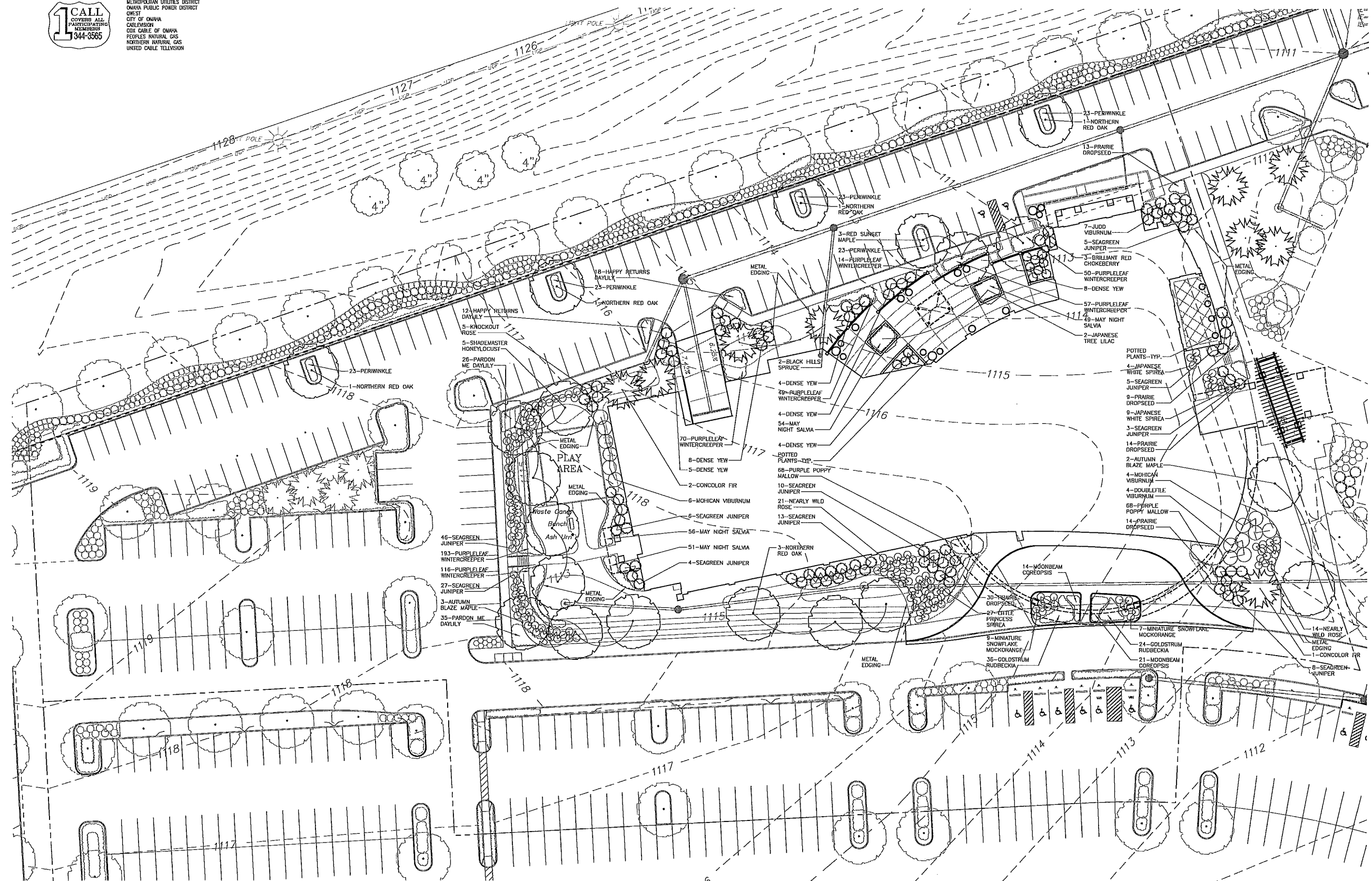
Project # 80908
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C304

EXHIBIT "D"

Retain the Location Request Number for YOUR Own Protection!



METROPOLITAN UTILITIES DISTRICT
OMAHA PUBLIC POWER DISTRICT
CITY OF OMAHA
CABLEVISION
COX CABLE OF OMAHA
PEOPLES NATURAL GAS
NORTHERN NATURAL GAS
UNITED CABLE TELEVISION



1 PLANTING PLAN
SCALE: 1"=20'-0"

REVISIONS



COURTYARD BY
MARRIOTT HOTEL

LA VISTA, NEBRASKA

John Q. Hammons

300 John Q. Hammons Parkway
Springfield, Missouri 65806
77-864-4500



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Project # 20206
Date: 05/25/2007

L101



Big Muddy
Workshop
Landscape Architects
Interior Designers
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Omaha, Nebraska 68107
402/541-8111 402/541-8112



0 10' 20' 40' 60'

EXHIBIT "E" Page 1

